



TOWN OF VERNON

OFFICE OF THE
LOCAL HISTORIC PROPERTIES COMMISSION

14 PARK PLACE, VERNON, CT 06066

Tel: (860) 870-3601

Fax: (860) 870-3580

E-Mail: dwheelock@vernon-ct.gov

DATE: June 23, 2020

TO: Members, Local Historic Properties Commission

FROM: Robert B. Hurd, Chairman

RE: Notice of Regular Meeting

The Local Historic Properties Commission (LHPC) will hold its **Regular Meeting via Zoom** on **Thursday, July 9, 2020** at **7:30 PM**.

Join Zoom Meeting

<https://us02web.zoom.us/j/88448561628?pwd=d091YzVxQkZlUHU0WWtyanNgcGxMQT09>

Password: 8Qit5M

or

Dial in information: 1 646 876 9923

Meeting ID: 884 4856 1628

Password: 571854

AGENDA:

1. Roll Call
2. Approval of Minutes
 - 2.1 Regular Meeting – April 9, 2020
3. Communications – no action required
 - 3.1 Correspondence received this month
4. Review of PZC, ZBA and Demolition Applications
 - 4.1 Review #PZ-2020-08 - Special Permit Application from Saint Bernard RC Church, Rockville, CT
5. Unfinished Business – Deferred
6. New Business – Deferred
7. Adjourn

To assure a quorum if you cannot attend, please contact Bob Hurd via telephone at 860-402-6375 or E-mail at rbhurdaia@gmail.com.

Cc: Hurd
Iacobello
Nelson
Quinn
Saucier
Nicholson
Sierakowski
Trapp
K. Daigle, Town Clerk
S. Gately, Economic Development Coordinator
G. McGregor, Town Planner
S. Prattson, Building Official
LHPC file



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Minutes – Regular Meeting – April 9, 2020

Chairman Hurd called the meeting to order at 7:40 PM via ZOOM Audio Teleconference due to the COVID-19 pandemic.

1.0 Roll Call – Members were present: Hurd, Saucier, and Nelson. Absent were members Iacobello and Quinn and Alternates Sierakowski, Trapp, and Nicholson. Shuan Gately, Economic Development Coordinator and meeting host was also present.

2.0 Approval of Minutes

2.1 Regular Meeting – February 13, 2020 – deferred; no March meeting.

3.0 Communications – deferred.

4.0 Review of PZC, ZBA, and Demolition Applications

4.1 Request for waiver of 90-day demolition delay for property at 652 Dart Hill Road, RB Kenneth Boynton, Owner/Developer. This typical 1950's ranch style house with attached garage is in rough shape and has been used by the Fire Department and SWAT teams for training. Plans are to build fifteen single family condo units on the property and has been approved by PZC. A motion was made by Saucier, seconded by Nelson and unanimously voted to approve the waiver of the 90-day demolition delay for the property at 652 Dart Hill Road, Kenneth Boynton, owner.

4.2 Request for waiver of 90-day demolition delay for property at 28 Snipsic Street, RB Connecticut Water Company, Owner. This is a vacant vernacular two story mill house, built prior to 1900. The pipes have burst and there is a vandalism concern. The plans are to subdivide the parcel with the Water Company retaining the waterfront section and selling the remaining section along the street for residential development. A motion was made by Nelson, seconded by Saucier and unanimously voted to approve the waiver of the 90-day demolition delay for property at 28 Snipsic Street, Connecticut Water Company, owner.

5.0 Unfinished Business - deferred

The LHPC and the Building Department will be following the Town of Vernon Code of Ordinances, Chapter 3, Sec. 3-3, Demolition Delay, as pertains to the procedure of the Building Department publishing the legal notice of applicants..

6.0 New Business - deferred

7.0 The meeting was adjourned at 7:54 PM with a motion made by Nelson, seconded by Saucier and unanimously approved.

DRAFT FOR APPROVAL

Carol S. Nelson, Secretary

Date Approved:

RECEIVED**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)** JUN 15 2020**APPLICATION**

TOWN PLANNERS OFFICE

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Rev. Richard Ricard

Title: Pastor

Company: St. Bernard's Church

Address: 25 St. Bernard's Terrace, Vernon, CT 06066

Telephone: (860) 875-0753

Fax: _____

E-mail: fr.rick@cath-comm.org

II. PROPERTY OWNER (S):

Name: St. Bernard's Roman Catholic

Title: Non-Profit

Company: St. Bernard's Church

Address: 25 St. Bernard's Terrace, Vernon, CT 06066

Telephone: (860) 875-0753 Fax: (860) 871-7460

E-mail: rectory@saintbernardchurch.org

III. PROPERTY

Address: 25 St. Bernard's Terrace, Vernon, CT 06066

Assessor's ID Code: Map # 40 Block # 110 Lot/Parcel # 4

Land Record Reference to Deed Description: Volume: 72 Page 57
29 700
18 200
46 309

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☒ No ☐ Yes

☐ No work will be done in regulated area

☐ Work will be done in the regulated area

☐ IWC application has been submitted

☐ IWC application has not been submitted

Zoning District Downtown Business Residential (DBR)

Is this property located within five hundred (500) feet of a municipal boundary?

☒ No

☐ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☐ Manchester
☐ South Windsor
☐ Tolland

Check if Historic Status Applies:

☒ Located in historic district:

☒ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: Blessed Sacrament Parish Center

Project Contact Person:

Name: Glenn Yeakel, AIA, LEED AP

Title: Lead Architect

Company: Friar Architecture

Address: 21 Talcott Notch Road, Farmington, CT 06032

Telephone: (860) 678-1291 **Fax:** _____

E-mail: gsy@friar.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: To renovate St. Bernard's School, and provide vehicular traffic and parking improvements.

General Activities: The existing St. Bernard School will be renovated and a 2,573 +/- square foot addition is proposed.

The existing Parish Center will be demolished to provide additional parking, as well as minor reconfiguration of the existing parking fields to increase green space. Vehicular traffic improvements include a new one-way access road connecting the eastern parking lot to the western parking lot. The existing play area will be relocated by others.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

X **Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)**

Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

X **Special Permit(s) (ZR Section 17.3)**

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- X Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- X Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

_____ Other Special Permit(s). Cite ZR Section and describe activity:

_____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

_____ **Zoning:**

_____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

_____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

_____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

_____ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:


Signature

6-15-2020
Date

Signature

Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

USE THIS FORM ONLY IF THE REQUIREMENTS OF
8.3(a)/22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK

FROM:

REFERENCE:

DATE:

The attached documents, consisting of:

Are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: _____

Vernon Town Clerk _____
Signature

Date: _____

40-0110-00004
ST BERNARDS ROMAN CATHOLIC
CHURCH
ST BERNARDS TERRACE
VERNON CT 06066-3258

40-0108-00014
VERNON TOWN OF
C/O BOARD OF EDUCATION
VERNON CT 06066

40-0110-00006
MCCONNELL DUNCAN
34 SCHOOL ST
VERNON CT 06066

40-0112-00011
FERRABELO DANIEL & VENUS
80 HIGH ST
SOUTH WINDSOR CT 06074

40-0090-0001B
COURTHOUSE PLAZA OF ROCKVILLE CENTRE
20 EAST MAIN ST
VERNON CT 06066-0666

40-0108-00007
VERNON TOWN OF
14 PARK PL
VERNON CT 06066

40-0112-00005
CORNERSTONE FOUNDATION INC THE
15 PROSPECT ST
VERNON CT 06066

40-0117-00003
ROCKVILLE EAST MAIN CORPORATION
ONE GOLD ST APT 14C
HARTFORD CT

40-0108-00004
GUILMETTE STEPHEN & KATHLEEN H
19 HOLMES RD
ELLINGTON CT 06029

40-0108-00003
BAILEY CHERYL A & JAMES T
25 COTTAGE ST
VERNON CT 06066-3241

40-0110-00014
CONNECTICUT STATE OF
DEPARTMENT OF PUBLIC WORKS
ATTN: RICHARD TEDDER
HARTFORD CT 06106

40-0108-00006
RASHID HAMID FAMILY LLP THE
27 NAEK RD
VERNON CT 06066

40-0090-0001A
ROCKVILLE BANKS LLC
C/O CORNERSTONE
231 FARMINGTON AVE
FARMINGTON CT 06032

40-0110-00011
BLACK CANOE LLC
1783 FOREST DR STE 334
ANNAPOLIS MD 21401

40-0108-0006A
CONNECTICUT STATE OF
DPW ATTN: RICHARD TEDDER
165 CAPITAL AVE
HARTFORD CT 06106

40-0110-00007
EDWARDS BRIAN
PO BOX 802
VERNON CT 06066

40-0110-00009
DEPASTINO DAVID P & RENEE MEUNIER
41 ST BERNARDS TER
VERNON CT 06066

40-0111-00002
HEWITT BRYAN & ANGELA
870 MAIN ST
SOMERS CT 06071

40-0112-00001
WILCOX REALTY & ASSOCIATES LLC
PO BOX 906
EAST WINDSOR CT 06088

40-0110-00001
26 PARK ST LLC
164 DOCKEREL RD
TOLLAND CT 06084

40-0108-00015
ROCKVILLE GROUP LLC THE
444A NORTH MAIN ST STE 200
EAST LONGMEADOW MA 01028

40-0110-00008
FAZZINO KIMBERLY A TRUSTEE
FAZZINO FAMILY LIVING TRUST
69 SUNNYVIEW DR
VERNON CT 06066

40-0110-00013
BLACK CANOE LLC
1783 FOREST DR STE 334
ANNAPOLIS MD 21401

40-0112-00012
SPRING VENTURES LLC
49 TANKERHOOPEN RD
VERNON CT 06066

40-0117-00004
BROOKLYN EAST MAIN LLC
C/O HOWARD FROMSON
1 GOLD ST APT 14C
HARTFORD CT 06103

40-0110-00005
ST BERNARD CHURCH SOCIETY
ST BERNARD TERRACE
VERNON CT 06066-3258



BLESSED SACRAMENT PARISH CENTER

25 ST. BERNARD'S TERRACE

VERNON, CT

SITE PLAN APPROVAL

BENEFACTORS

MAE TOBIN, FRANCES TIERNEY & ARLINE RAMSDELL

CONSTRUCTION MANAGER

GENERAL BUILDERS, LLC

530 SILAS DEANE HWY.

WETHERSFIELD, CONNECTICUT

ARCHITECT

FRIAR ARCHITECTURE

21 TALCOTT NOTCH ROAD

FARMINGTON, CONNECTICUT

CIVIL ENGINEER

MACCHI ENGINEERS, LLC

44 GILLETT STREET

HARTFORD, CT 06105

MEP/FP & STRUCTURAL ENGINEER

LOUREIRO ENGINEERING ASSOCIATES, INC.

100 NORTHWEST DRIVE

PLAINVILLE, CT 06062



BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

LOWER LEVEL FLOOR PLAN

Vernon, Connecticut

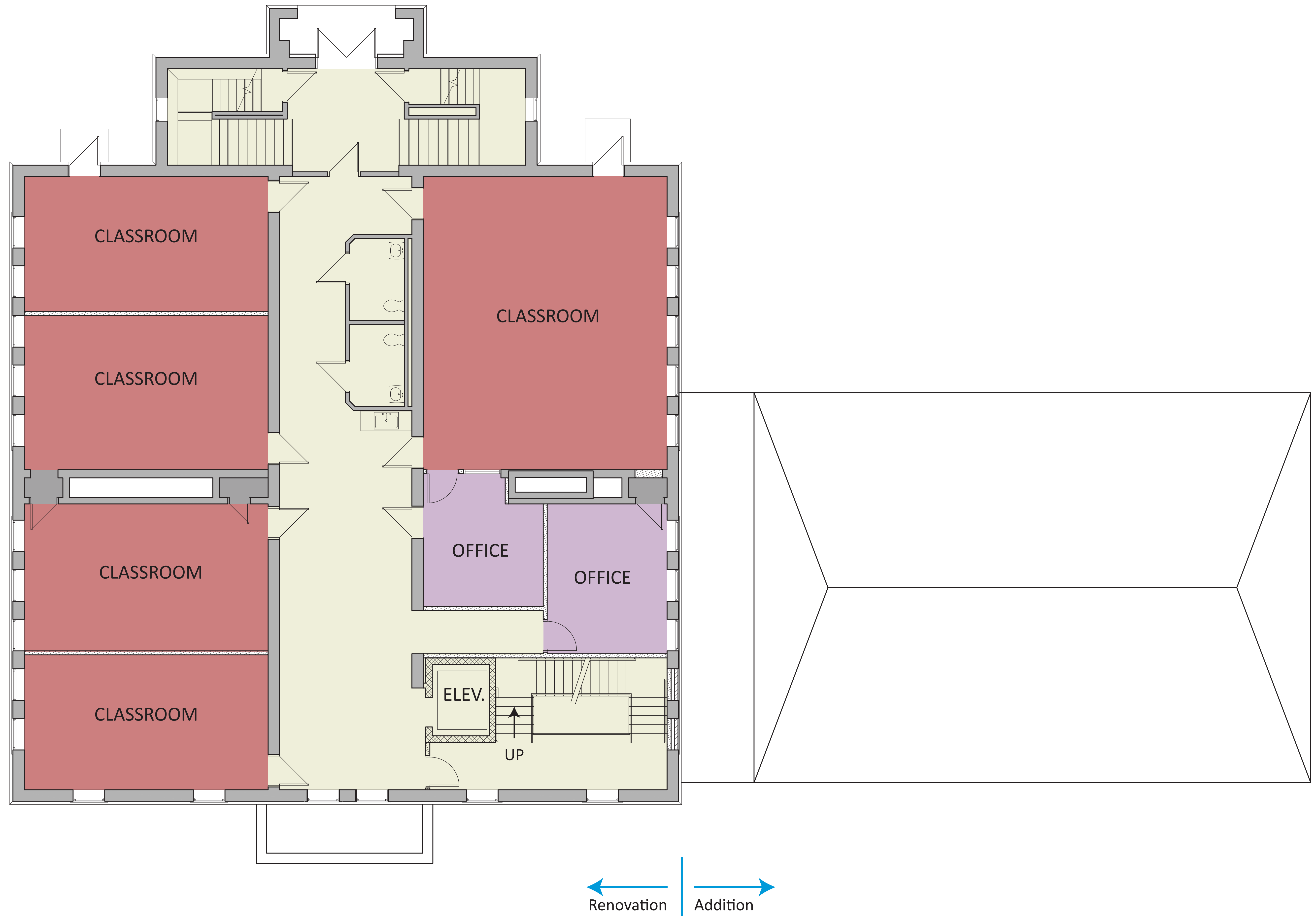


06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

STREET LEVEL FLOOR PLAN

Vernon, Connecticut

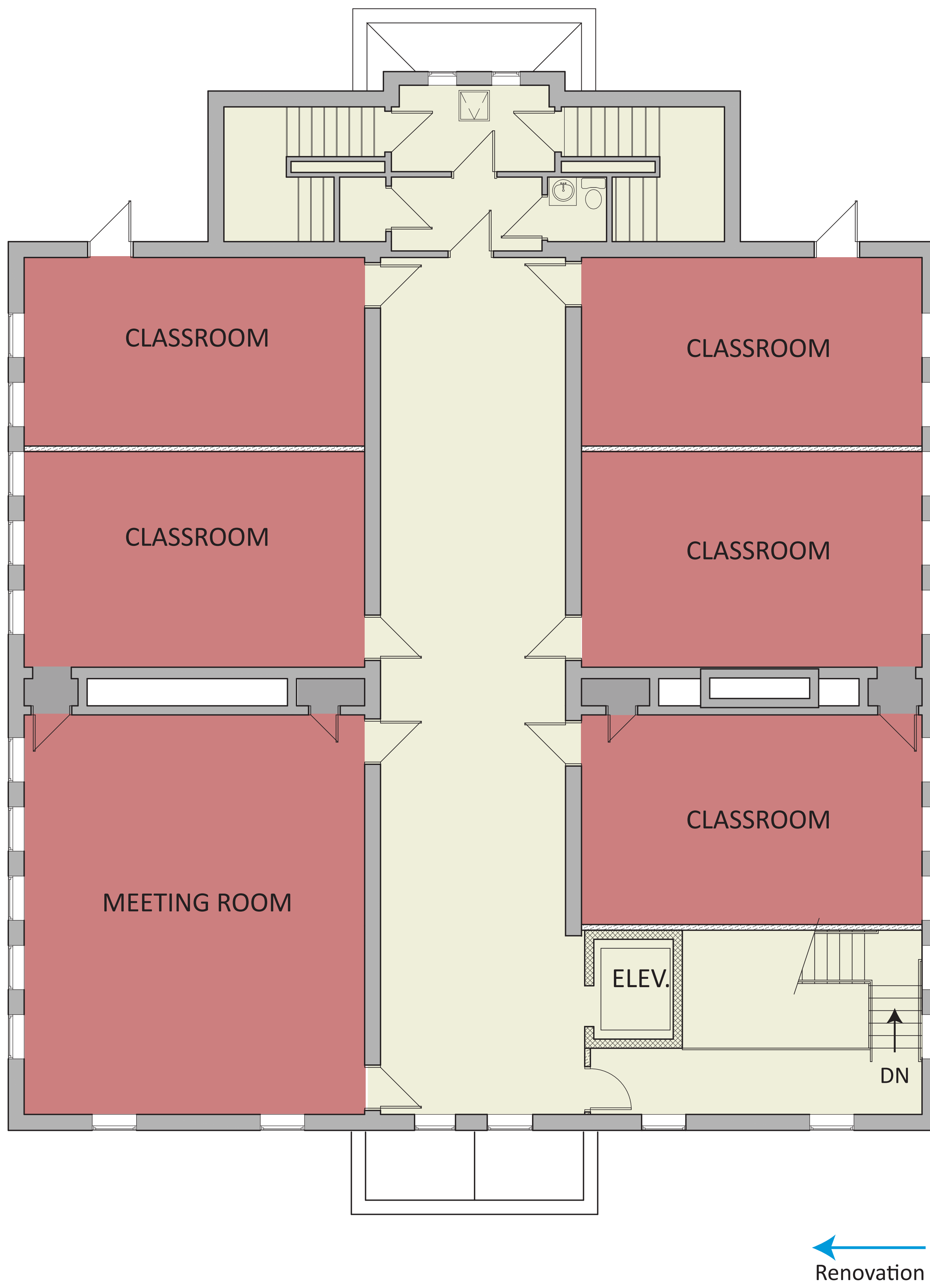


06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

UPPER LEVEL FLOOR PLAN

Vernon, Connecticut



06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

F R I A R





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

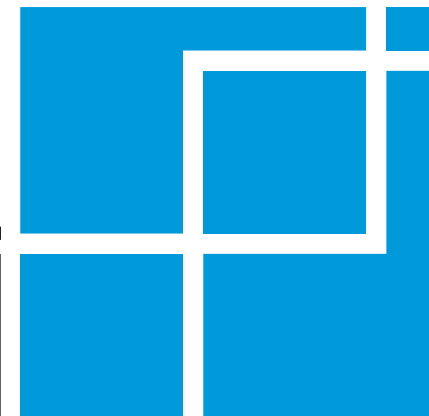
SOUTH ELEVATION

Vernon, Connecticut

06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR





EAST ELEVATION



NORTH ELEVATION

BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

EAST & NORTH ELEVATION

Vernon, Connecticut

06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR



SEDIMENT AND EROSION CONTROL PLAN

1) PROJECT DESCRIPTION

THIS CONSISTS OF THE CONSTRUCTION OF A NEW ADDITION TO THE ST. BERNARD CHURCH SCHOOL, ALONG WITH THE DEMOLITION OF THE EXISTING PARISH CENTER. THE EXISTING PARKING LOTS EAST OF THE PARISH CENTER AND SOUTH OF THE SCHOOL WILL BOTH BE DEMOLISHED AND REPLACED TO CONNECT WITH A ONE WAY DRIVE AISLE SOUTH OF THE NEW ADDITION. THE EXISTING PARISH CENTER TO BE DEMOLISHED WILL BE REPLACED WITH ADDITIONAL PARKING SPACES FOR THE PROPOSED PARKING LOT.

SPECIFIC WORK INCLUDES THE FULL CONSTRUCTION OF THE NEW ADDITION, DEMOLITION OF EXISTING PARKING LOTS TO THE EXTENTS SHOWN ON SITE PLANS, NEW PARKING LOT AND ACCESS ROAD CONFIGURATION, GRADING AND UTILITIES, AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED. ALL STRIPPED TOPSOIL AND SOIL SHALL BE STOCKPILED WITH THE APPROPRIATE EROSION CONTROL MEASURES IN PLACE.

A. MAINTENANCE/REPAIR OF EROSION & SEDIMENTATION CONTROL MEASURES:

DURING ALL STAGES OF CONSTRUCTION, AS WELL AS AFTER CONSTRUCTION IS COMPLETE, MAINTENANCE AND REPAIR OF EROSION & SEDIMENTATION CONTROL DEVICES IS ESSENTIAL. THE FOLLOWING ARE MINIMUM REQUIREMENTS:

PRE-CONSTRUCTION

- 1) A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

DURING CONSTRUCTION

- 1) INSPECTION OF EROSION PRONE AREAS SHOULD OCCUR WITHIN 12 HOURS AFTER RAINFALL EVENTS IN EXCESS OF ONE INCH PER HOUR INTENSITY OR A RAINFALL EVENT WITH A TOTAL PRECIPITATION OF 1/2 INCH OR MORE. NOTE THAT THIS WILL REQUIRE THE INSTALLATION OF A RAINFALL GAUGE ON THE SITE, WHICH SHOULD BE MONITORED AND A RECORD KEPT OF EACH RAINFALL EVENT. CONCERNS SHOULD BE LOGGED AND REPAIRS SHOULD BE MADE IMMEDIATELY. FOR RAINFALL EVENTS OVER A PERIOD OF MORE THAN ONE DAY, INSPECTIONS AS DESCRIBED ABOVE SHOULD BE PERFORMED EACH DAY.
- 2) WEEKLY INSPECTIONS OF ALL EROSION & SEDIMENTATION CONTROL DEVICES, EROSION PRONE AREAS OR OTHER AREAS OF CONCERN SHOULD BE PERFORMED. INSPECTIONS SHOULD INCLUDE ALL SILT FENCE, HAY BALES, SILT SACKS, CATCH BASIN SUMPS, HAY SLOPE MATTING, ETC. AND REPAIRS SHOULD BE MADE AS NECESSARY.
- 3) LOGS OF ALL INSPECTIONS AND REPAIRS SHOULD BE KEPT ON SITE, INCLUDING DATES & CONCERNS NOTED DURING INSPECTIONS, TIMING OF REPAIRS & ACTIONS TO BE TAKEN, DATES OF ACTUAL ACTIONS & RESPONSES, AND INITIALS OF THOSE INVOLVED.
- 4) ALL SILT FENCING, HAY MATTING AND OTHER EROSION CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

POST CONSTRUCTION

- 1) EROSION PRONE AREAS- INSPECT MONTHLY FOR THE FIRST SIX (6) MONTHS, AND BI-MONTHLY FOR THE SECOND SIX (6) MONTHS. AFTER CONSTRUCTION IS COMPLETE, ALL SILT FENCING AND EROSION CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- 2) PARKING AREAS AND ACCESS DRIVES SHOULD BE SWEEP CLEAN ANNUALLY EACH SPRING IMMEDIATELY AFTER WINTER SANDING IS NO LONGER NEEDED.
- 3) SEDIMENT FROM CATCH BASIN SUMPS AND MANHOLES SHOULD BE PERFORMED YEARLY AFTER WINTER SANDING IS COMPLETE.
- 4) ANY ERODED AREAS, OR MALFUNCTIONING COMPONENTS OF THE DRAINAGE SYSTEM, SHOULD BE REPAIRED IMMEDIATELY.

B. STANDARDS & GUIDELINES

- 1) CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CT DEEP), GENERAL PERMIT FOR GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DETERMINING WASTEWATERS FROM CONSTRUCTION ACTIVITIES
- 2) FOR WORK WITHIN PUBLIC STREETS: TOWN OF TOLLAND APPLICABLE CONSTRUCTION AND DEVELOPMENT STANDARDS INCLUDING THE PLANNING, ZONING, SUBDIVISION AND WETLANDS REGULATIONS.
- 3) REQUIREMENTS, SPECIFICATIONS, DETAILS AND INSTRUCTIONS AS SET FORTH IN THESE DOCUMENTS.
- 4) CONNECTICUT GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL (2002), AS AMENDED, AND THE CONNECTICUT D.O.T. "ON SITE MITIGATION FOR CONSTRUCTION ACTIVITIES".
- 5) CONNECTICUT D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817 SHALL BE USED FOR MATERIAL REQUIREMENTS, TECHNICAL SPECIFICATIONS AND CONSTRUCTION METHODS.

C. GENERAL NOTES

- 1) GRADING & CLEARING: THE SEQUENCE OF GRADING AND CONSTRUCTION ACTIVITIES MAY BE MODIFIED TO SUIT ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD DURING CONSTRUCTION WHEN APPROVED BY THE ENGINEER. OTHERWISE THE FOLLOWING SEQUENCE OF EROSION & SEDIMENTATION CONTROL WILL BE IMPLEMENTED FOR EACH PROPOSED PHASE OF CONSTRUCTION. THE FOLLOWING NOTES WILL APPLY SEPARATELY TO EACH OF THE PROPOSED PHASES AND CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- 2) LIMIT CLEARING OF VEGETATION AND TOPSOIL TO AREAS DESIGNATED FOR IMMEDIATE CONSTRUCTION. AREAS TO BE LEFT EXPOSED TO EROSION FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY SEEDED AFTER ROUGH GRADING AS MAY BE SHOWN ON THE CONSTRUCTION PLANS.
- 3) KEEP SOIL EXPOSED TO EROSION AT A MINIMUM IN AREA AND TIME.
- 4) MAINTAIN THE MAXIMUM ATTAINABLE BUFFER BETWEEN CONSTRUCTION ACTIVITIES AND WETLANDS AND WATERCOURSES. MINIMUM BUFFER ZONES SHALL BE ADHERED TO UNLESS PREVIOUSLY APPROVED OR PERMITTED.
- 5) CLEAN DEPOSITED MATERIAL AS REQUIRED. THIS TYPICALLY SHALL MEAN WHEN SILT REACHES ONE-FOOT DEEP IN THE SUMP OF A CATCH BASIN, AND HALF THE HEIGHT OF AN EROSION AND SEDIMENT CONTROL DEVICE.
- 6) EXPOSED AREA IN FINAL GRADED SHAPE SHOULD BE DRESSED WITH TOPSOIL AND SEEDED, SEASON PERMITTING OR MULCHED FOR EROSION PROTECTION.
- 7) MAINTAIN ALL EROSION AND SEDIMENT CONTROLS UNTIL SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND THE CESSATION OF EROSION.
- 8) HAY BALE BARRIERS MAY REMAIN IN PLACE AFTER SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND THE CESSATION OF EROSION WHEN THE REMOVAL OF SUCH BARRIERS MAY RESULT IN ADDITIONAL SOIL EROSION UP SLOPE OF WETLANDS, WATERCOURSES OR STORM DRAIN INLETS. ADDITIONALLY, THE BALES MAY ONLY BE RETAINED IN PLACE TO DEGRADE NATURALLY WHEN THE BARRIER WILL NOT RESTRICT THE FLOW OF CONCENTRATED RUNOFF OR INTERFERE WITH THE FUNCTIONING OF STORM DRAINAGE AND OTHER CONSTRUCTED OR EXISTING COMPONENTS OF THE PROPOSED DEVELOPMENT. THE ENGINEER OR TOWN MUST APPROVE OF THE LOCATIONS WHERE HAY BALES MAY BE LEFT IN PLACE.
- 9) AFTER SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND CESSATION OF EROSION, AND IF NOT LEFT IN PLACE AS NOTED ABOVE, HAY BALES MAY BE BROKEN UP BY HAND AND SPREAD IN THE GENERAL AREA INITIALLY INSTALLED.
- 10) STOCKPILE AREAS (LOCATION TO BE APPROVED BY THE ENGINEER): THE FOLLOWING SEQUENCE FOR USE OF STOCKPILE AREAS SHALL BE USED.
- a) AREA TO BE USED SHALL BE IDENTIFIED WITH FLAGGING IN THE FIELD & SHALL BE LOCATED OUTSIDE OF ALL WETLANDS AND REGULATED BUFFER ZONES.
- b) AREA SHALL THEN BE CLEARED AND GRUBBED AND GENERALLY BE MADE READY FOR USE.
- c) THE STOCKPILE AREA SHALL BE IMMEDIATELY SURROUNDED WITH TWO ROWS OF SILT FENCE.
- d) DURING USE, THE CONTRACTOR SHALL INSURE THAT THE GENERAL STOCKPILE USE AREA IS MAINTAINED SUCH THAT THERE IS NO SEDIMENTATION OF SURROUNDING LAND AREA. THE STOCKPILES SHALL BE COVERED AND/OR TEMPORARILY SEEDED TO PREVENT RUNOFF AND SEDIMENTATION IF NECESSARY.
- e) IMMEDIATELY UPON COMPLETION OF USE AS A STOCKPILE AREA, THE LAND SHALL BE RESTORED.
- 12) ALL ROADWAYS IN THE VICINITY OF THE PROPOSED PROJECT SHALL BE KEPT FREE OF DUST AND SEDIMENT, AND SHALL BE CLEARED PERIODICALLY AS REQUIRED BY CONSTRUCTION ACTIVITIES AND PRIOR TO ANY RAINFALL AND RUNOFF EVENT AS DIRECTED BY THE TOWN. METHODS USED TO MEET THIS REQUIREMENT SHALL CONFORM TO THE ENVIRONMENTAL MANAGEMENT SPECIFICATIONS AND THE SECTIONS ON STANDARDS & GUIDELINES.
- 13) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND REPAIR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL STORM EVENTS AS REQUIRED TO PREVENT DAMAGE OR SEDIMENTATION TO ADJACENT LAND, STREAMS AND PROPERTY.
- 14) CONTRACTOR SHALL MAKE ANY REPAIRS OR RESTORATION TO PROPERTY OR ENVIRONMENT CAUSED BY SEDIMENTATION.
- 15) ALL WORK AND ALL ACTIVITIES SHALL FIRST BE IN COMPLIANCE WITH APPLICABLE PERMITS FOR THIS PROJECT. SECOND ALL WORK AND ACTIVITIES SHALL CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL MANAGEMENT SPECIFICATIONS WHICH ARE PART OF THESE PLANS. LASTLY, WORK AND ACTIVITIES SHALL BE CONSISTENT WITH THESE EROSION AND SEDIMENT CONTROL PLANS AS A MINIMUM.

D. EROSION AND SEDIMENT CONTROL NOTES

- 1) LIMITED CLEARING AND GRUBBING ACTIVITIES SHALL COMMENCE FIRST TO ENABLE THE INSTALLATION/CONSTRUCTION OF PERIMETER HAY BALE DIKES, CONSTRUCTION ENTRANCES, SEDIMENT ANTI-TRACKING PAD, STAGING AREAS AND THE INSTALLATION OF CRUSHED STONE BERMS AT PROPOSED STORM DRAIN OUTFALL AREAS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION WHICH SHOULD BE CLEARLY MARKED BY FLORESCENT SURVEY FLAGGING OR FENCING BEFORE CLEARING AND GRUBBING TAKES PLACE.
- 2) DURING ALL PHASES, PERMANENT AND/OR TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED AT PROPOSED STORM DRAINAGE INLETS AND/OR OUTFALLS. AT OUTFALLS A DOUBLE STAGGERED ROW OF HAY BALES SHALL BE INSTALLED DOWN SLOPE OF THE OUTFALLS OF ANY TEMPORARY BASINS AND A CRUSHED STONE SEDIMENT FILTER BERM SHALL BE INSTALLED JUST UP SLOPE OF THE DOUBLE STAGGERED ROW OF HAY BALES.
- 3) UPON INSTALLATION OF THE ABOVE MEASURES, A CONSTRUCTION ENTRANCE ANTI-TRACKING PAD SHALL BE INSTALLED (LOCATION TO BE APPROVED BY THE ENGINEER PRIOR TO THE CLEARING AND GRUBBING FOR THE PROPOSED CONSTRUCTION ACTIVITIES MAY COMMENCE. TEMPORARY DIVERSION BERMS/DITCHES SHALL BE CONSTRUCTED AS NECESSARY FOR INTERMEDIATE EXCAVATION STAGES. DIVERSIONS AND OTHER TEMPORARY INTERMEDIATE MEASURES SHALL BE APPROVED BY THE TOWN IN ADVANCE AND SHALL OUTLET RUNOFF TO SWALES WITH CHECK HAY BALE DAMS AND/OR TO TEMPORARY SEDIMENT BASINS.

- 4) EXCAVATION FOR CONSTRUCTION OF THE PROPOSED ROADWAY SHALL NOT COMMENCE UNTIL ASSOCIATED DRAINAGE & SEDIMENTATION DEVICES FOR THE AREA ARE IN PLACE. IT SHOULD BE NOTED THAT EXTENSIVE EXCAVATION WITHIN THE LIMITS OF THE CUT AND FILL LINE INDICATED ON THE PLANS MAY REQUIRE ADDITIONAL TEMPORARY SWALES AND DIVERSION IN ORDER TO DIVERT AND DIRECT RUNOFF AND SEEPAGE TO THE PROPOSED DISCHARGE POINTS UNTIL THE PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED. THESE TEMPORARY MEASURES MUST BE APPROVED IN ADVANCE AND SHOULD BE INSPECTED REGULARLY FOR OPERATIONAL EFFICIENCY BY THE CONTRACTOR. UTILIZATION OF TEMPORARY INLETS AND DIVERSION SWALES UNTIL THE DRAINAGE SYSTEM IS COMPLETE IS EXPECTED. THESE INLETS/DIVERSIONS SHALL BE CONSTRUCTED SO AS TO PREVENT EROSION AND SEDIMENTATION.
- 5) MEASURES TO CONTROL CONSTRUCTION DEBRIS AND DUST SHALL BE IMPLEMENTED ON AN AS NEEDED BASIS AND AS DIRECTED BY THE ENGINEER. DUST SHALL BE CONTROLLED BY LIMITING THE AREA OF SOIL EXPOSED AND BY WATERING WITHOUT CHEMICAL ADDITIVES. CONSTRUCTION DEBRIS SHALL BE COLLECTED AS NECESSARY AND AT LEAST PRIOR TO THE END OF WORK EACH WEEK.
- 6) IF REQUIRED SOIL & ROCK STOCK PILE AREAS SHALL BE APPROVED IN ADVANCE AND HAY BALE AND/OR SILT FENCE BARRIERS SHOULD BE INSTALLED AROUND STOCK PILES AND DOWN SLOPE OF THESE AREA PRIOR TO STOCKPILING MATERIAL. ANY SOIL TO BE STORED FOR MORE THAN A MONTH SHOULD BE COVERED OR SEEDED AND/OR MULCHED AFTER BEING PLACED.
- 7) THE BASE MATERIAL FOR THE DRIVES AND PARKING AREAS SHALL BE PLACED AND WATERED AS REQUIRED BY CONDITIONS OR REQUESTED BY THE DEEP TO CONTROL DUST AS NOTED ABOVE.
- 8) ONCE UTILITIES ARE INSTALLED AND THE PROPOSED SITE IS IN FINAL GRADED SHAPE, PAVING OPERATIONS SHALL TAKE PLACE. UPON PLACEMENT OF THE FIRST LAYER OF PAVEMENT AND CURBING, TOPSOIL AND SEEDING SHOULD COMMENCE ALONG WITH THE INSTALLATION OF NEW CHECK HAY BALE BARRIERS AS REQUIRED. IF THE ROAD IS NOT TO BE PAVED IMMEDIATELY, CONSTRUCTION TRAFFIC SHOULD BE RUN ON APPROVED SUBBASE, WITH RUNOFF, EROSION & DUST CONTROLLED AS NECESSARY.
- 9) THESE EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE IN COMPLIANCE WITH PERMITS ISSUED AND IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
- 10) RESPONSIBLE PERSONS:

- DURING CONSTRUCTION - TO BE DESIGNATED BY THE CONTRACTOR.
LONG TERM MAINTENANCE - TO BE DESIGNATED BY THE TOWN.

E. EARTH SLOPES

- 1) ALL EARTH SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE COVERED WITH EROSION CONTROL BLANKET UNTIL VEGETATION IS ESTABLISHED.
- 2) ALL EARTH SLOPES (REGARDLESS OF GRADE) WHERE THE TOE OF SLOPE IS WITHIN 25' OF A WETLAND SHALL BE COVERED WITH EROSION CONTROL BLANKET UNTIL VEGETATION IS ESTABLISHED.

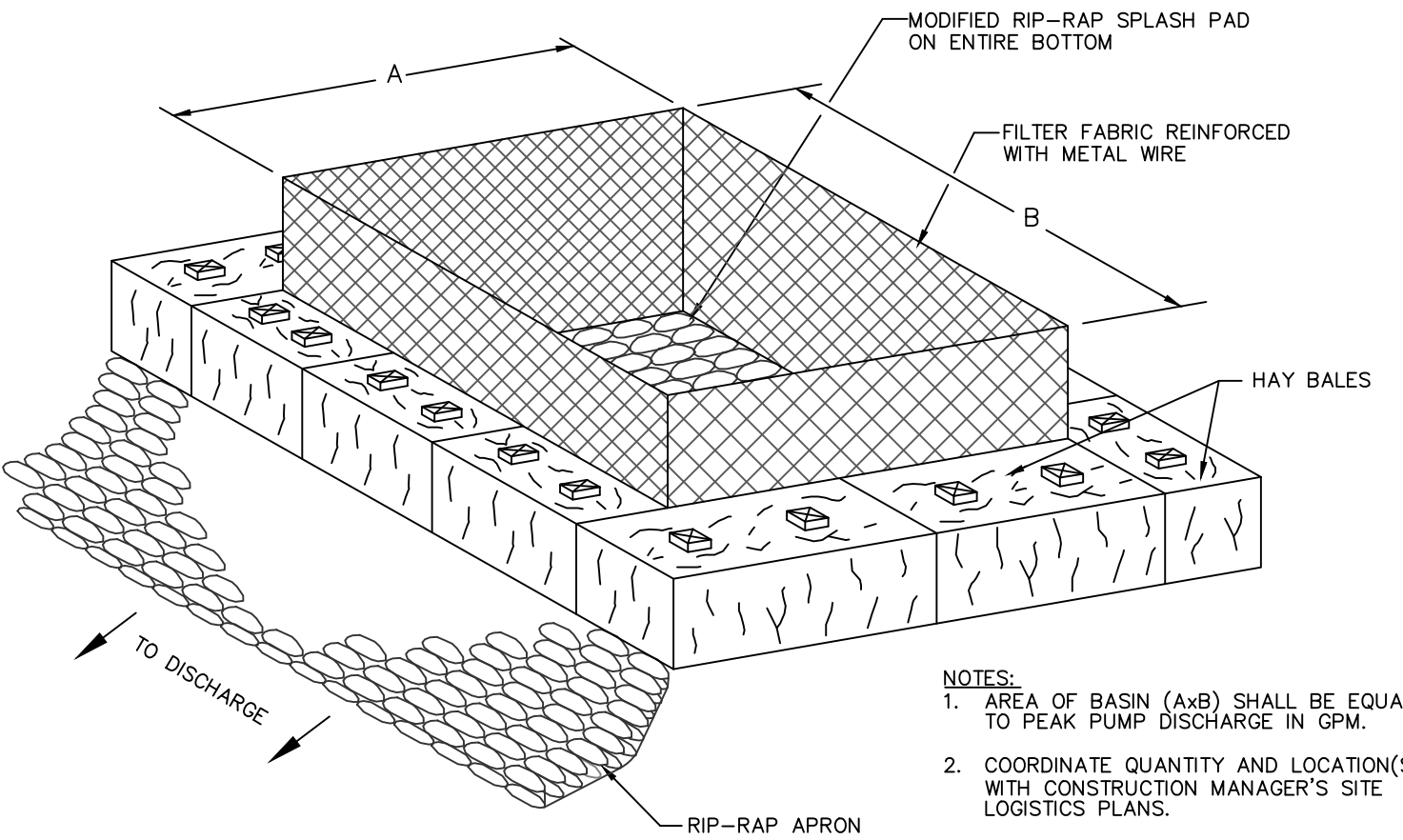
F. SEEDING

- 1) SEE THE LANDSCAPING PLANS AND SPECIFICATIONS FOR SEEDING REQUIREMENTS AND ADDITIONAL INFORMATION.

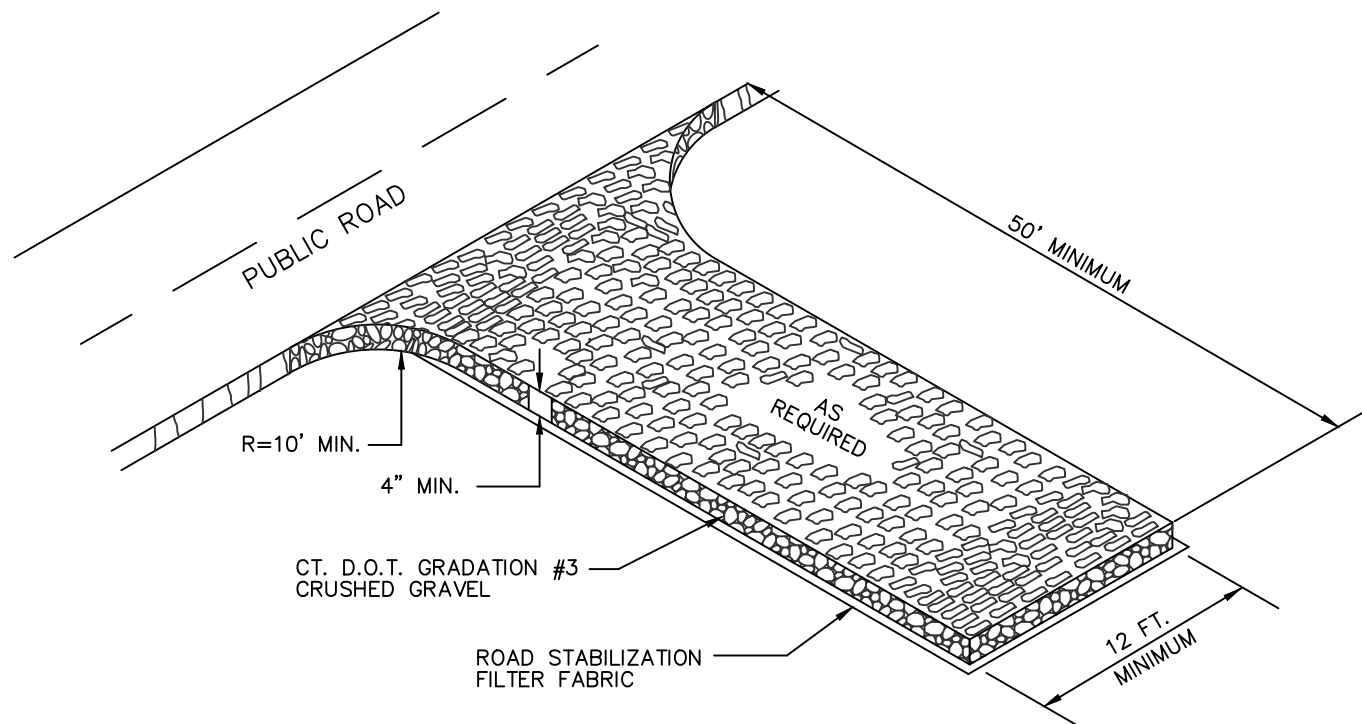
G. RECORDS

EROSION AND SEDIMENTATION CONTROL RECORDS SHALL BE KEPT BY THE CONTRACTOR. INSTALLATION, INSPECTION, APPROVAL AND MAINTENANCE OF INSTALLATION RECORDS SHALL INDICATE THE FOLLOWING:

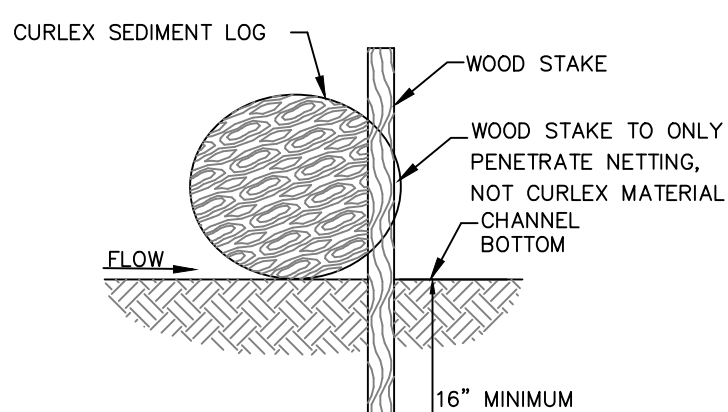
- 1) LOCATION OF THE EROSION AND SEDIMENTATION CONTROL MEASURE.
- 2) INSTALLED BY (PRINT NAME AND SIGNATURE) AND DATE OF INSTALLATION.
- 3) APPROVAL BY DEEP OF THE INSTALLED MEASURE (PRINT NAME AND SIGNATURE) AND DATE OF APPROVAL.
- 4) SUBSEQUENT INSPECTIONS, DATE OF INSPECTION & REASON FOR INSPECTION.
- 5) RESULTS OF SUBSEQUENT INSPECTION, ACTION TO BE TAKEN BY THE CONTRACTOR SPECIFIC REQUIREMENTS OF THIS PLAN.



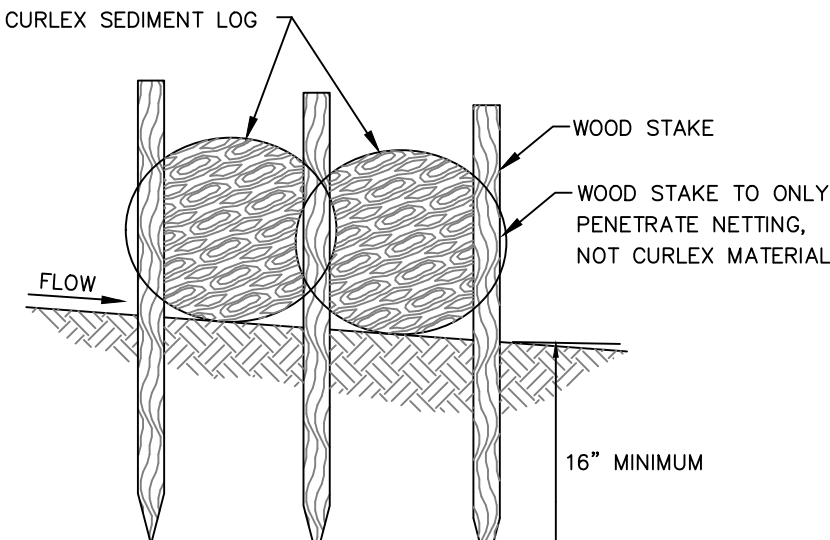
3 C1.1 TYPICAL TEMPORARY SEDIMENT BASIN FOR DEWATERING DISCHARGE N.T.S.



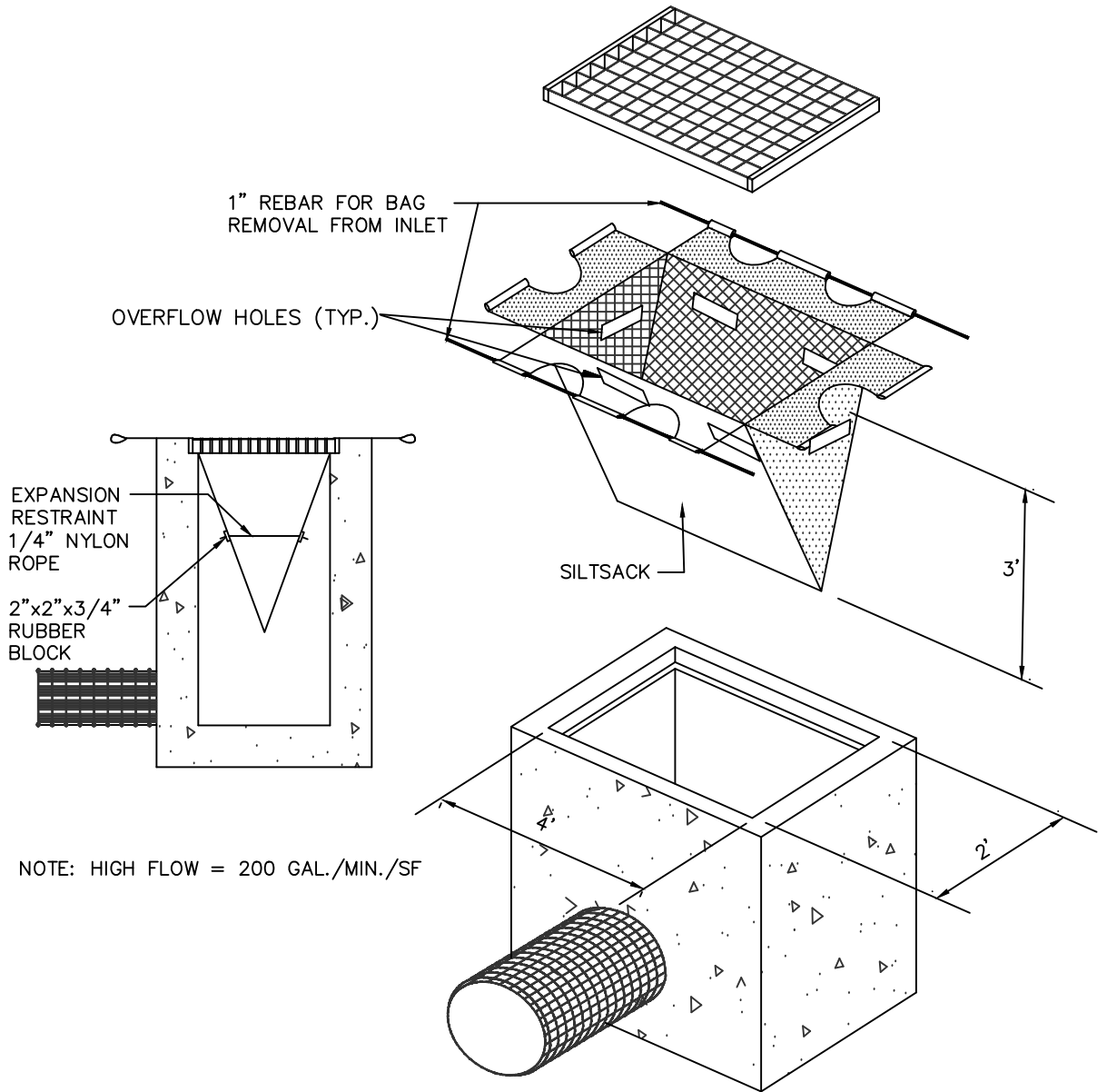
6 C1.1 TYPICAL ANTI-TRACKING PAD N.T.S.



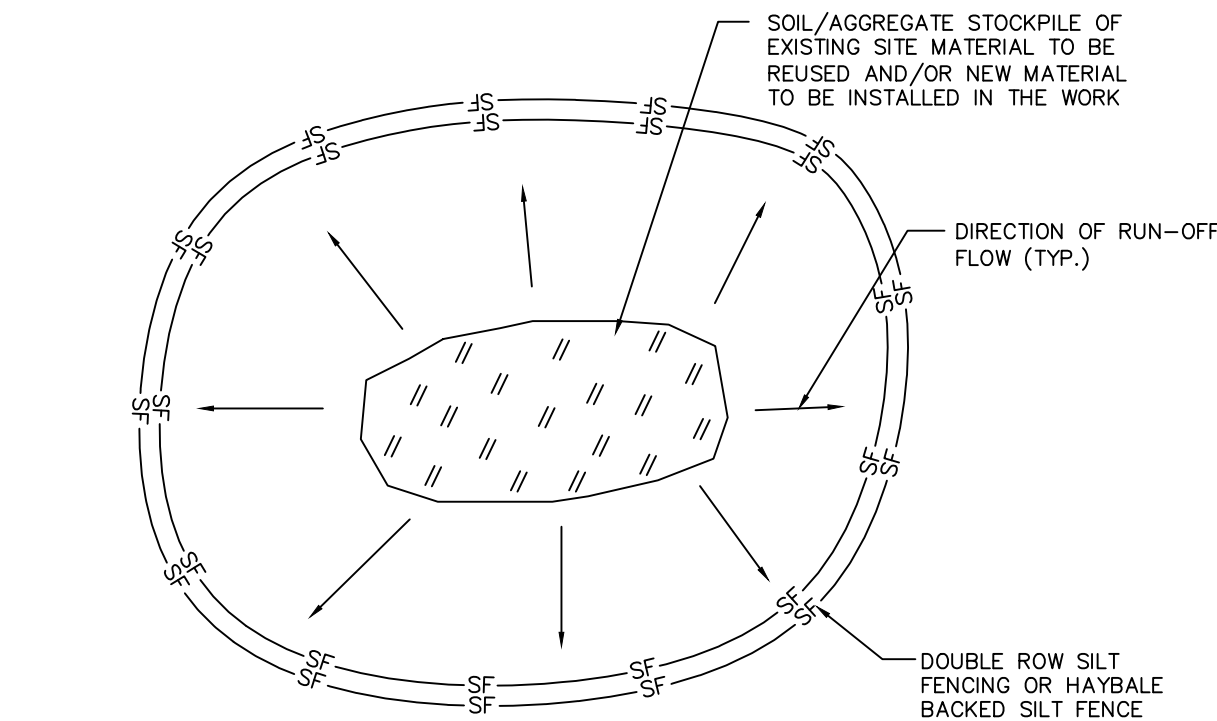
9 C1.1 STAKE DETAIL N.T.S.



10 C1.1 STAKE DETAIL N.T.S.

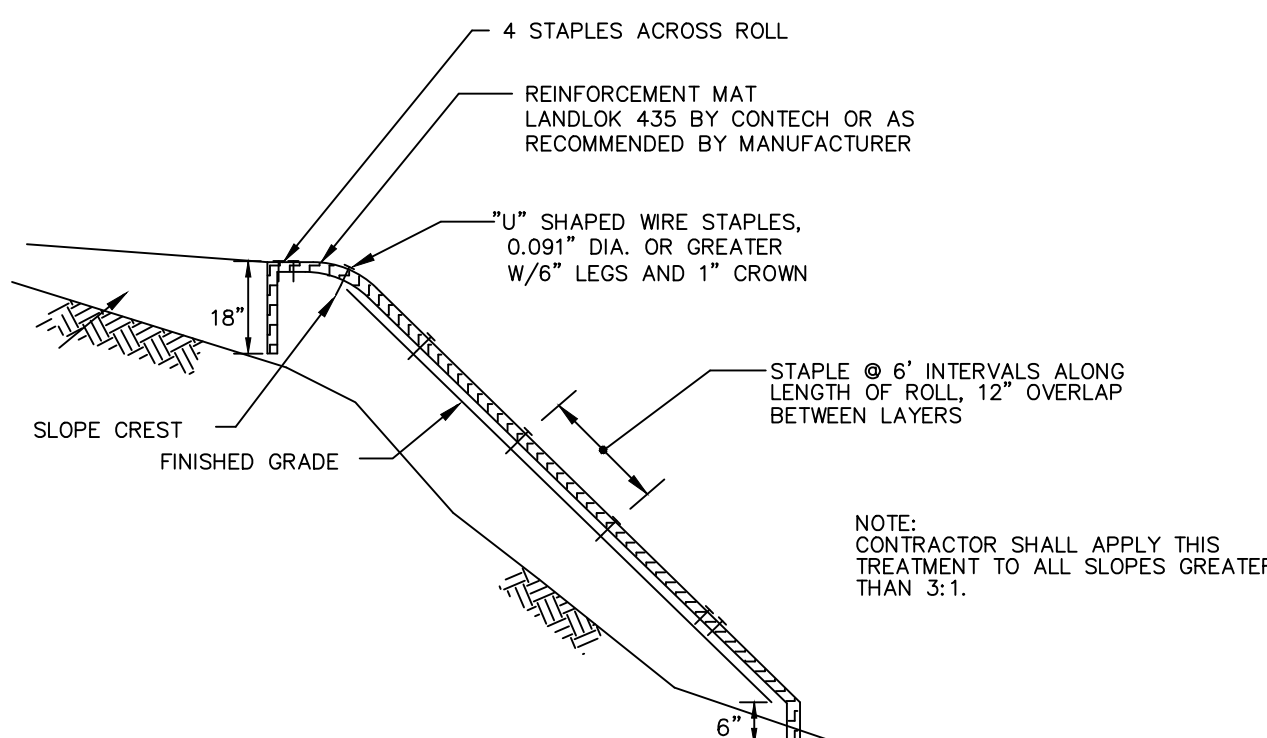


1 C1.1 TYPICAL SILT SACK DETAIL N.T.S.

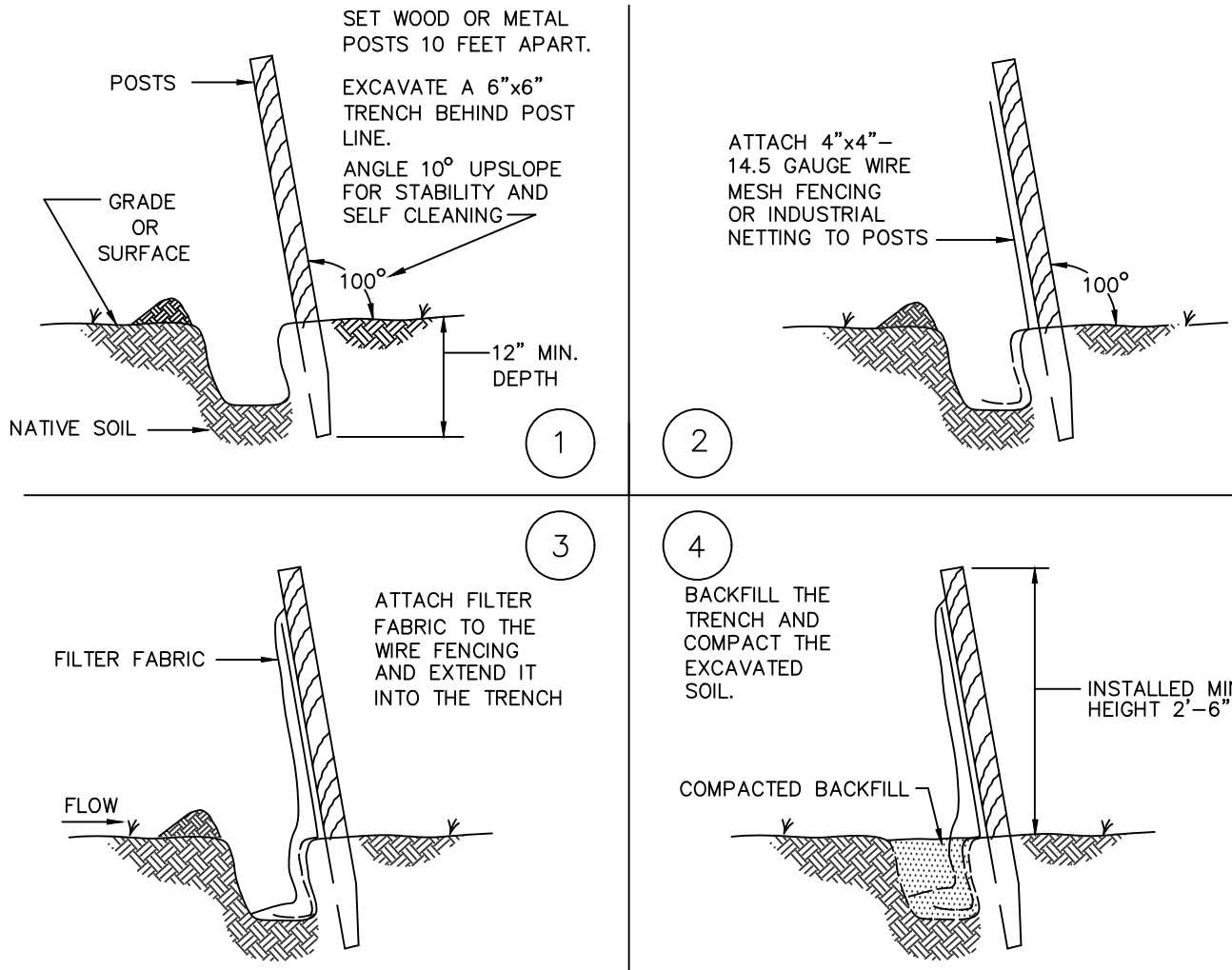


- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS OR LOCATED IN THE FIELD WITH THE APPROVAL OF THE ENGINEER.
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
5. STOCKPILES OF EARTH MATERIALS TO BE IN PLACE GREATER THAN 30 DAYS SHALL BE COVERED, SEEDED WITH TEMPORARY SEED MIX OR MULCHED.
6. COORDINATE QUANTITY AND LOCATION(S) WITH CONSTRUCTION MANAGER'S SITE LOGISTICS PLANS.

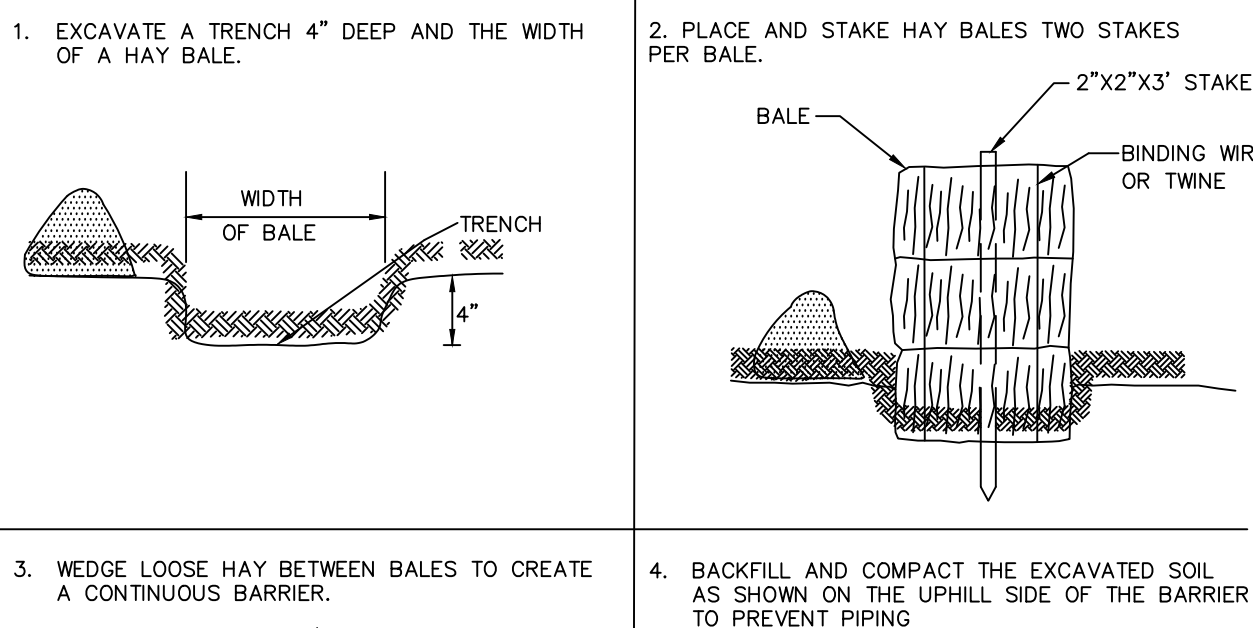
4 C1.1 STOCKPILE DETAIL N.T.S.



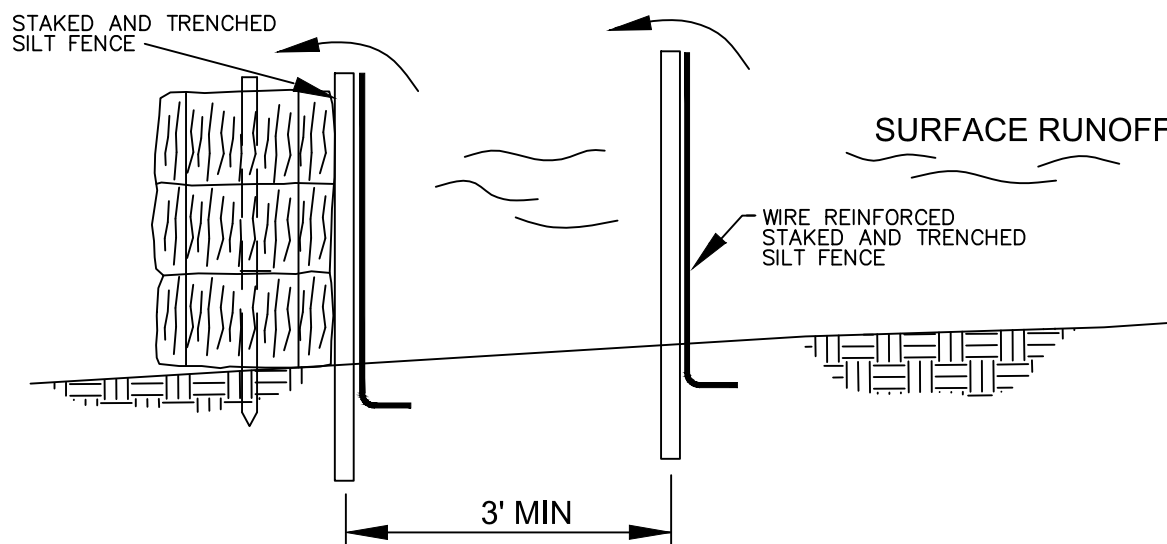
7 C1.1 STEEP SLOPE TREATMENT DETAIL N.T.S.



2 C1.1 FILTER FABRIC SILT FENCE PLACEMENT AND CONSTRUCTION N.T.S.



5 C1.1 HAY BALE BARRIER PLACEMENT AND CONSTRUCTION N.T.S.



8 C1.1 DOUBLE ROW FILTER FABRIC SILT FENCE W/ HAY BALE BACKUP N.T.S.

11 C1.1 ANCHOR DETAIL (PLAN VIEW) OPTIONAL OVERLAPPING JOINT N.T.S.

DATE:	06/01/20
DRAWN BY:	JWK
SCALE:	As Indicated
REVIEWED BY:	MRP
PROJECT NO.	2019-015A

REVISIONS	DESCRIPTION
NO.	DATE

EROSION CONTROL NOTES & DETAILS

BLESSED SACRAMENT PARISH CENTER 25 ST. BERNARD'S TERRACE VERNON, CT 06066

Macchi Engineers
44 Gillett Street
Hartford, Connecticut
06105
(860) 549-6190
www.macchiengineers.com

ENGINEER'S SEAL


FRIAR
21 Talcott Notch Road
Farmington, CT 06032

SHEET NO.
C1.1

NO.	DATE	DESCRIPTION

SITE MATERIAL LAYOUT PLAN

BLESSED SACRAMENT PARISH CENTER
25 ST. BERNARD'S TERRACE
VERNON, CT 06066



Macchi Engineers

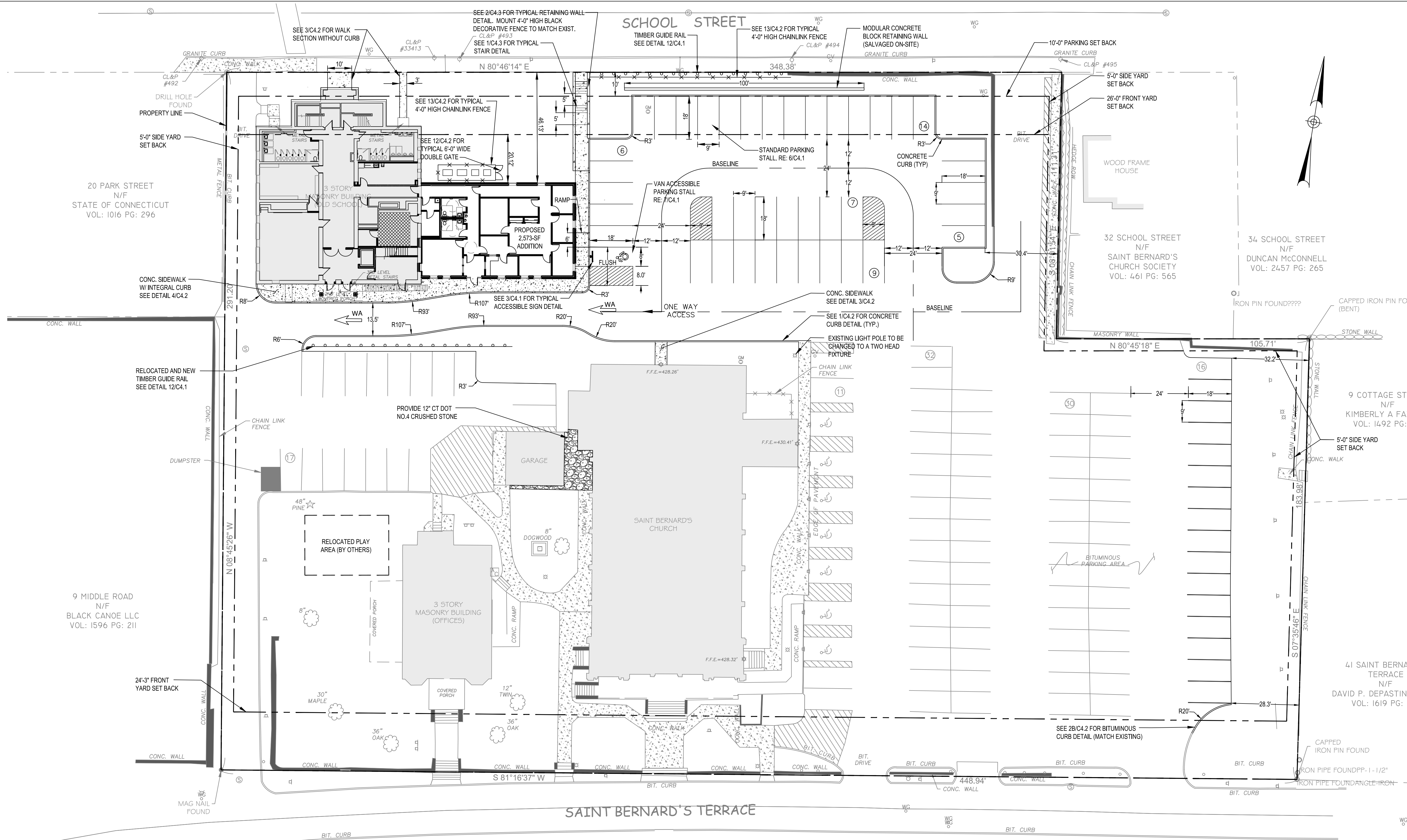
44 Gillett Street
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06105
(860) 549-6190
www.macchiengineers.com

ENGINEER'S SEAL



FRIAR

21 Talcott Notch Road
Farmington, CT 06032



LEGEND

WA INDICATES WHITE ARROW

LAYOUT AND MATERIALS NOTES:

- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
- ALL LINE AND GRADE WORK PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR SURVEYOR ENGAGED BY THE CONTRACTOR.
- STORAGE AREAS FOR THE CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL FIELD CONDITIONS TO THE ENGINEER.
- AT ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY, OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
- ALL DISTURBED AREAS WITH THE CONTRACT LIMIT LINES OTHER THAN PAVED AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDDED UNLESS OTHERWISE NOTED. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION. DISTURBED AREAS WITHIN EXISTING PAVEMENT WHERE LIGHT POLE BASES ARE TO BE REMOVED SHALL BE PATCHED WITH BITUMINOUS PAVEMENT, THICKNESS TO MATCH EXISTING.
- ALL PROPOSED CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THESE DRAWINGS, THE PROJECT MANUAL AND CT DOT FORM 817. NO CHANGES IN THE PROPOSED CONSTRUCTION SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. NO UNAUTHORIZED CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT.

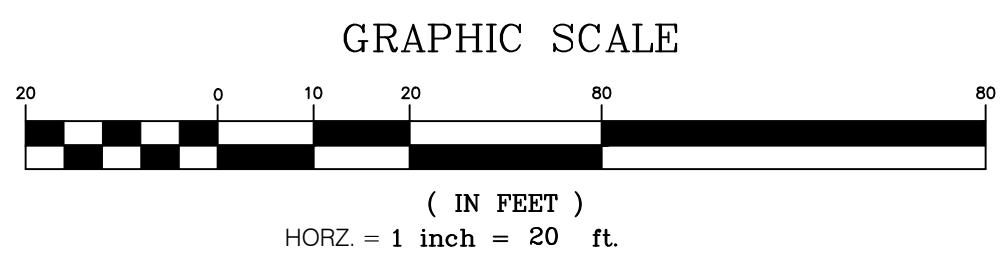
LAYOUT AND MATERIAL PLAN
SCALE: 1"=20'-0"

PLANNING AND ZONING		
	REQUIRED	PROVIDED
MIN. LOT AREA	5000 SF	120,700 SF
MIN. LOT WIDTH	50 FT	348.38 FT
MIN. FRONT YARD (=/> AVG. FRONT YARD OF LOT ON EITHER SIDE)	**SCHOOL ST. = 26'-0" **ST. BERNARD'S TERRACE = 24'-3"	SCHOOL ST. = 26'-0" ST. BERNARD'S TERRACE = > 24'-3"
MIN. REAR YARD	N/A	N/A
MIN. SIDE YARD	5'-0"	> 5'-0"
MIN. FLOOR AREA	1000 SF	33,044 SF
LOT COVERAGE	80%	80%
ZONE	DBR (DOWNTOWN BUSINESS & RESIDENTIAL) AND ROCKVILLE VILLAGE DISTRICT	
**FRONT YARD NOTE 1	SIDE LOT: 32 SCHOOL ST. = 26'-0"	
**FRONT YARD NOTE 2	SIDE LOT: 41 ST. BERNARDS TER. = 24'-3"	

PARKING TABLE	
EXISTING PARKING	133
PROPOSED PARKING	147
NET ADD SPACES	14

HANDICAP PARKING TABLE	
MIN. NUMBER OF REQ. ACCESSIBLE SPACES	5
PROPOSED HANDICAP SPACES	8

IMPERVIOUS AREA SUMMARY	
TOTAL EXISTING	91,691 SQ. FT.
TOTAL PROPOSED	91,542 SQ. FT.
TOTAL NET DECREASE	149 SQ. FT.




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SITE GRADING AND UTILITY PLAN

**BLESSED SACRAMENT
PARISH CENTER**
25 ST. BERNARD'S TERRACE
VERNON, CT 06066



**Macchi
Engineers**

44 Gillett Street
Hartford, Connecticut
06105
(860) 549-6190
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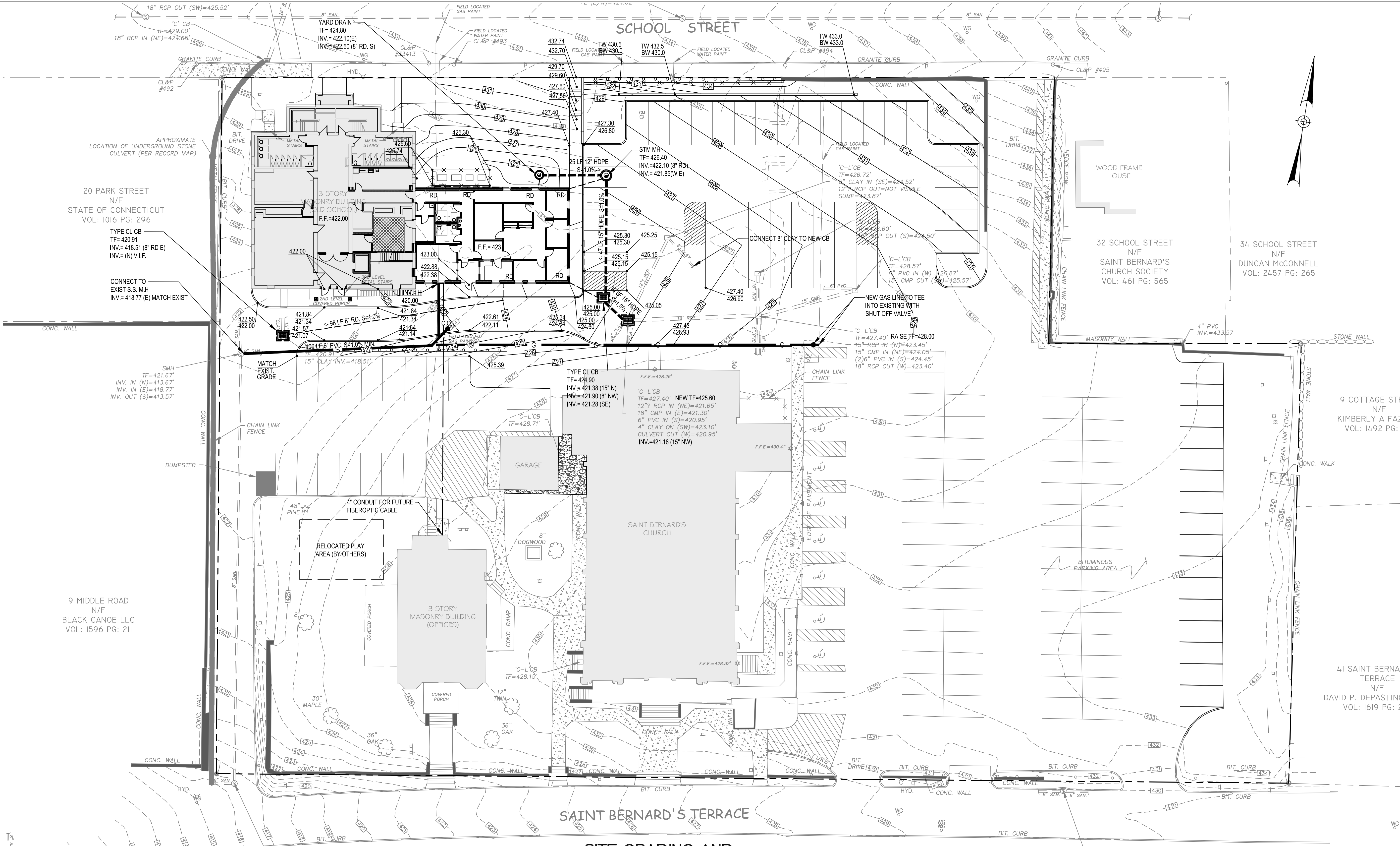
ENGINEER'S SEAL



FRIAR

21 Talcott Notch Road
Farmington, CT 06032

**SHEET NO.
C-3.0**



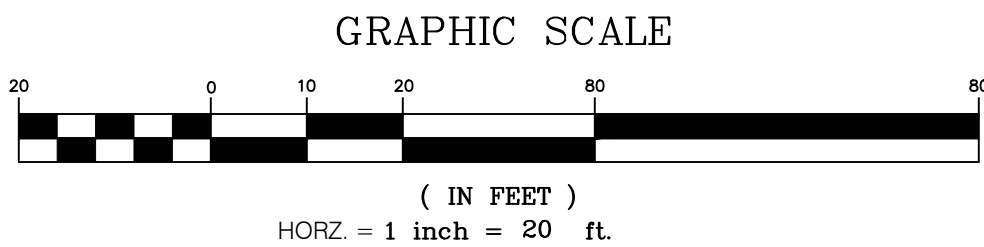
**SITE GRADING AND
UTILITY PLAN**
SCALE: 1"=20'-0"

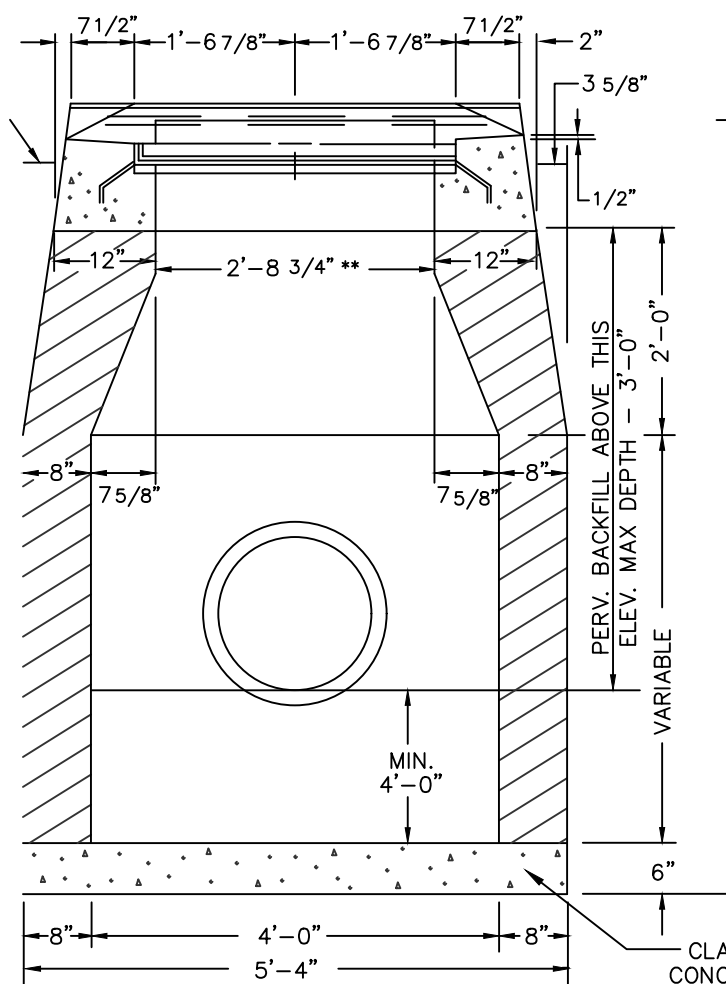
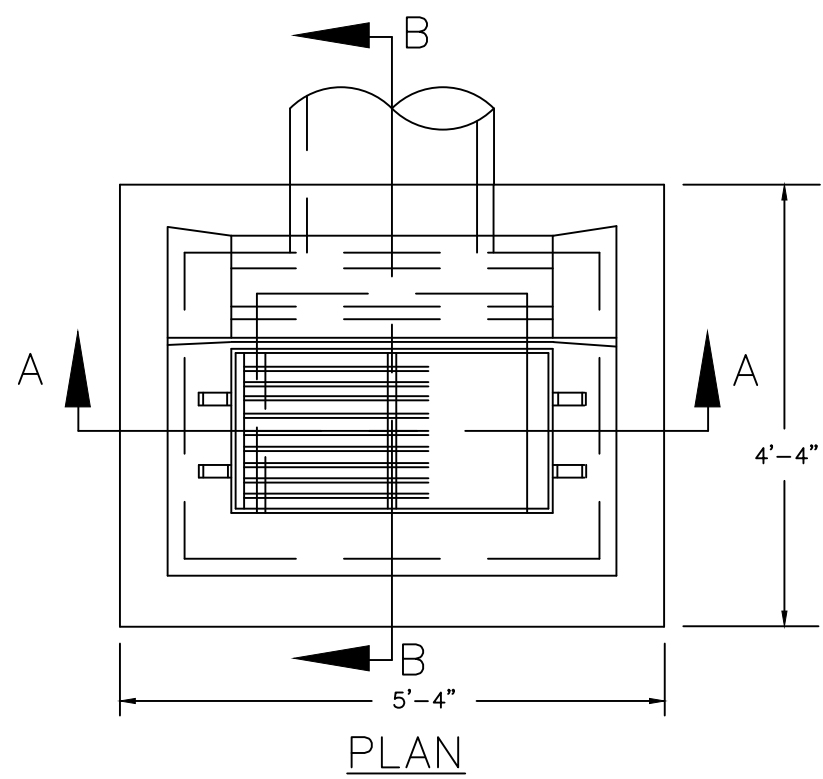
UTILITY NOTES:

- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH EACH UTILITY COMPANY'S REGULATIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANY (TOWN OF VERNON, EVERSOURCE, FRONTIER, ETC.)
- UTILITY INFORMATION SHOWN IS TAKEN FROM UTILITY MAPS AND LIMITED FIELD INFORMATION. CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK AND ANY ASSOCIATED FIELD MODIFICATIONS. TEST PITS ARE REQUIRED AND SHALL BE INCLUDED. ANY MODIFICATION TO THE WORK OUTLINED IN THESE PLANS OR THE PROJECT SPECIFICATIONS SHALL BE TO THE SATISFACTION OF THE ENGINEER.
- THE SITE CONTRACTOR SHALL PROVIDE ALL PLUMBING CONNECTION APPURTENANCES, (FITTINGS, REDUCERS, ENLARGERS, WYES, TEES, ETC.) AS REQUIRED TO MAKE THE NECESSARY CONNECTIONS. REFER TO BUILDING PLUMBING PLANS FOR ADDITIONAL UTILITY INFORMATION.
- SITE ELECTRICAL AND LIGHTING IS SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTACT CALL BEFORE YOU DIG (811) AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION AND AS EACH UTILITY IS TO BE INSTALLED. IN THE EVENT CALL BEFORE YOU DIG IS UNABLE TO LOCATE THE UTILITIES IT SHALL BE THE CONTRACTORS REASONABILITY TO HIRE A PRIVATE UTILITY LOCATING COMPANY AT NO COST TO THE OWNER.
- ALL EXISTING MANHOLE FRAMES AND COVERS, UTILITY BOXES AND VALVE COVERS SHALL BE ADJUSTED TO FINAL GRADE AS REQUIRED.
- ALL EXISTING UTILITIES SYSTEMS SHALL REMAIN IN OPERATION UNTIL THE PROPOSED UTILITIES ARE INSTALLED AND FUNCTIONING.

GRADING NOTES:

- PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF ALL BUILDINGS.
- PRIOR TO COMMENCING EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH "DIG SAFE" NOTIFICATION PROCEDURES PROMOTED BY RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING EARTHWORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER PRIOR TO STARTING WORK.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF ONE-EIGHTH INCH (1/8") PER FOOT.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW ONE.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OF STRUCTURE INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB UNLESS SHOWN OTHERWISE.





WHERE PRECAST CONC. UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUT LETTING FROM THE CATCH BASIN

SECTION A-A

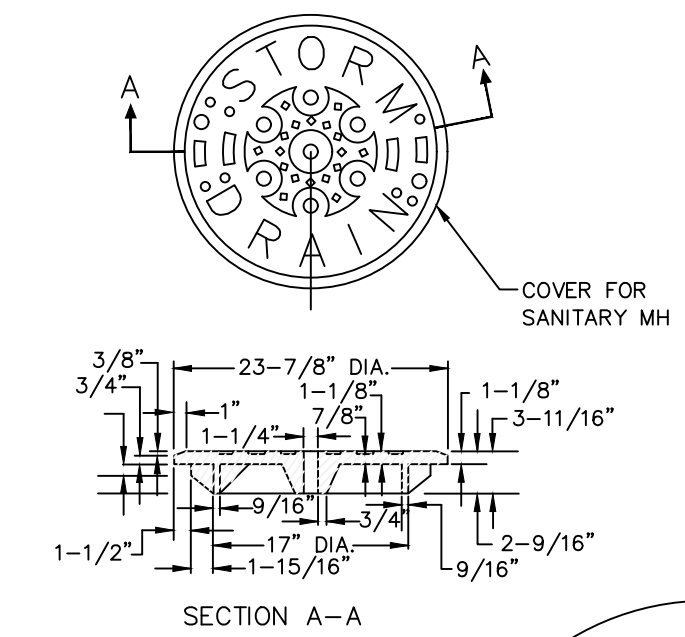
SECTION B-B

NOTE:

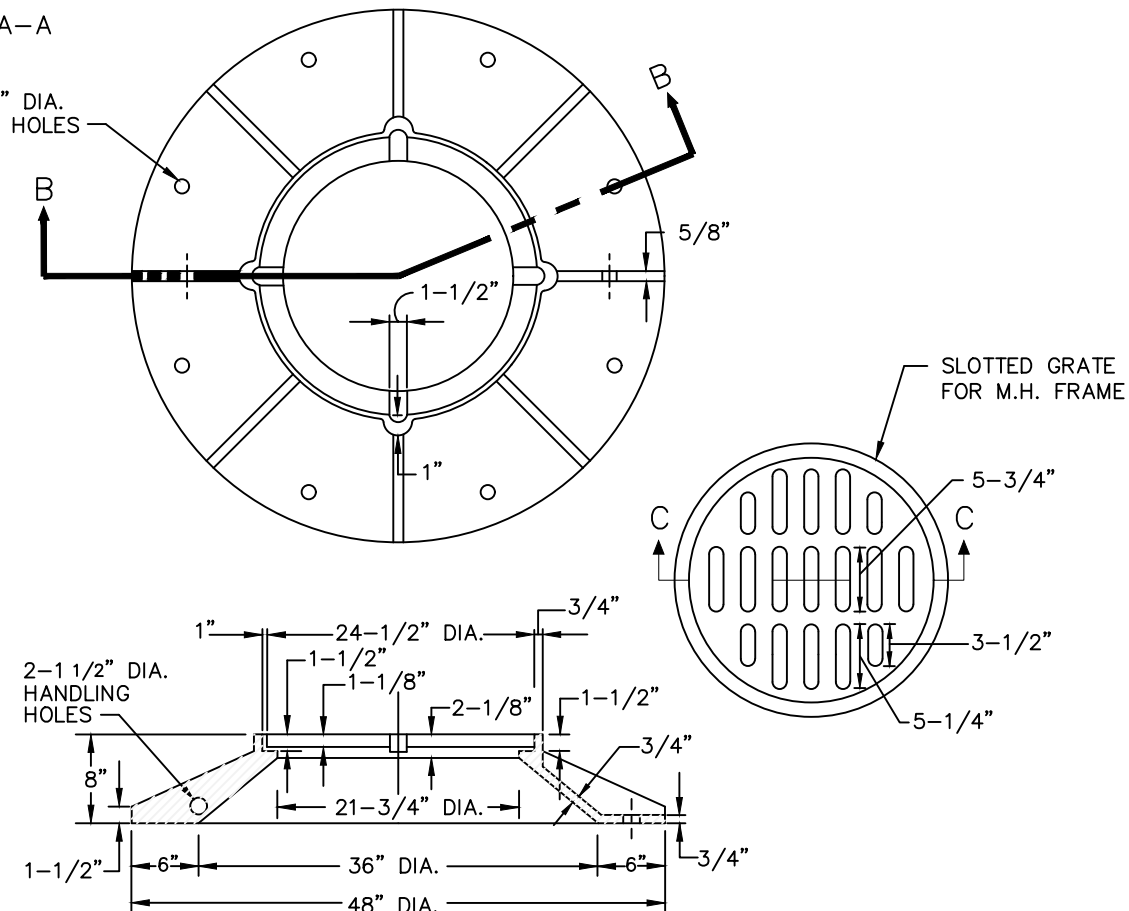
DRAINAGE OPENINGS IN 4 WALLS AT OR IMMEDIATELY ABOVE THE BOTTOM OF THE PERVIOUS BACKFILL.

1 TYPE 'C' CATCH BASIN
C4.0 N.T.S.

ALL CATCH BASINS AND CONCRETE YARD DRAINS, SHALL HAVE FOUR FOOT MIN. SUMP AND OUTLET PROTECTION

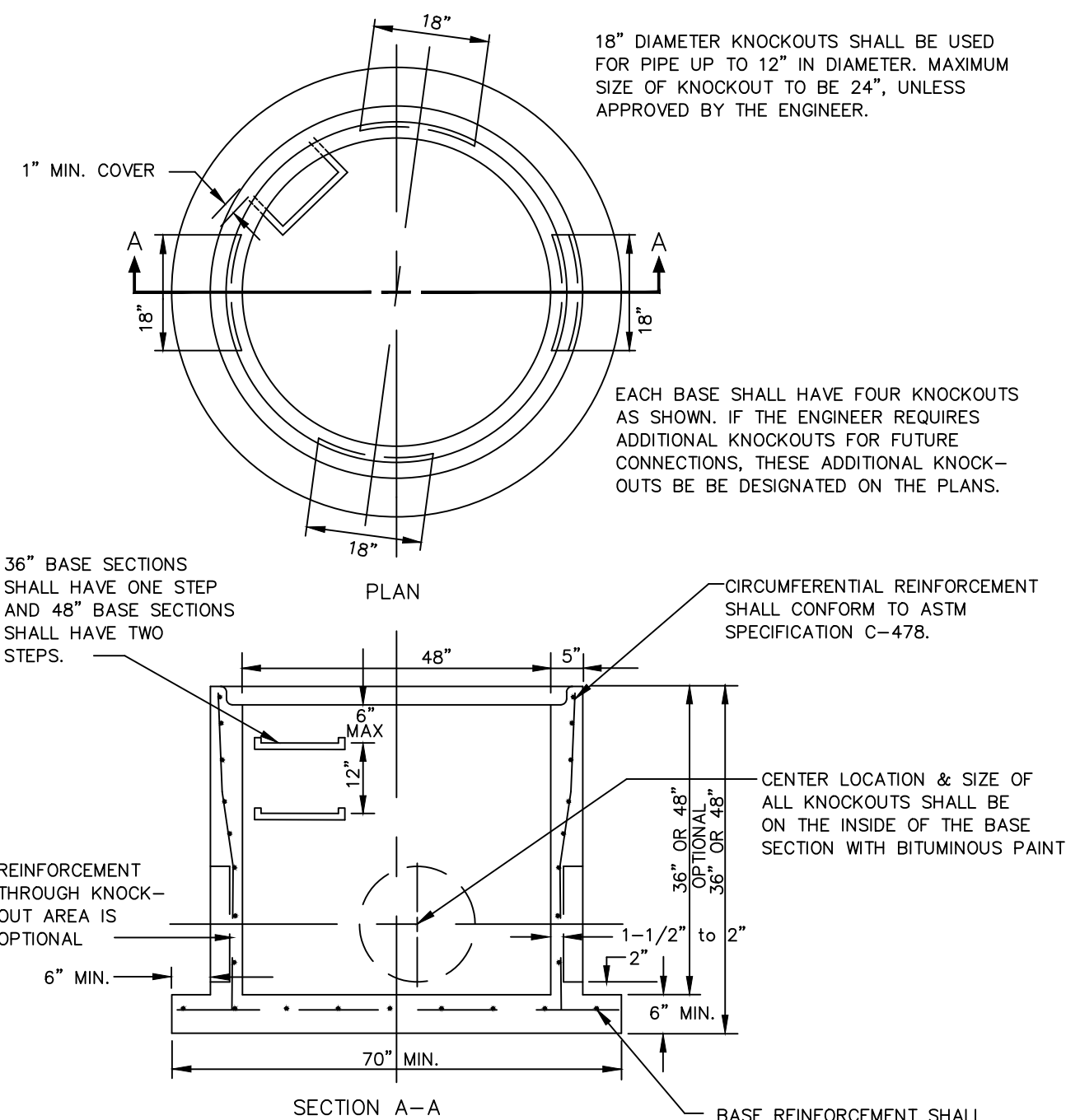


SECTION A-A



5 STANDARD FRAME AND COVER
C4.0 N.T.S.

6 MINIMUM REQUIREMENTS FOR 48" DIAMETER PRECAST MANHOLE BASE
C4.0 N.T.S.

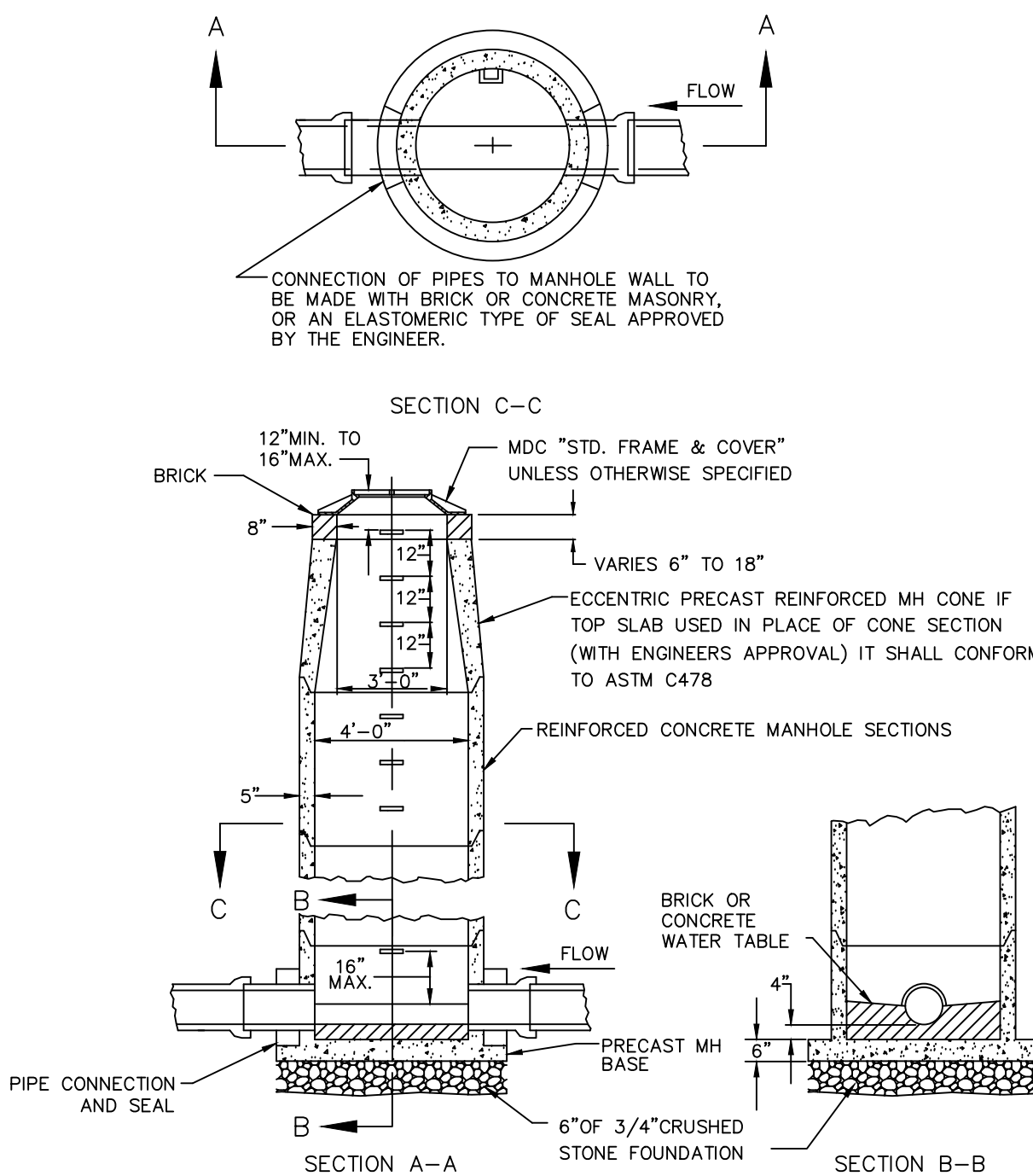


NOTE:

ALL JOINTS REQUIRED IN THE CONSTRUCTION OF THE MANHOLE SHALL BE MADE WITH BUTYL RUBBER GASKETS. GASKET MATERIAL SHALL CONFORM TO ASTM SPEC. C-443.

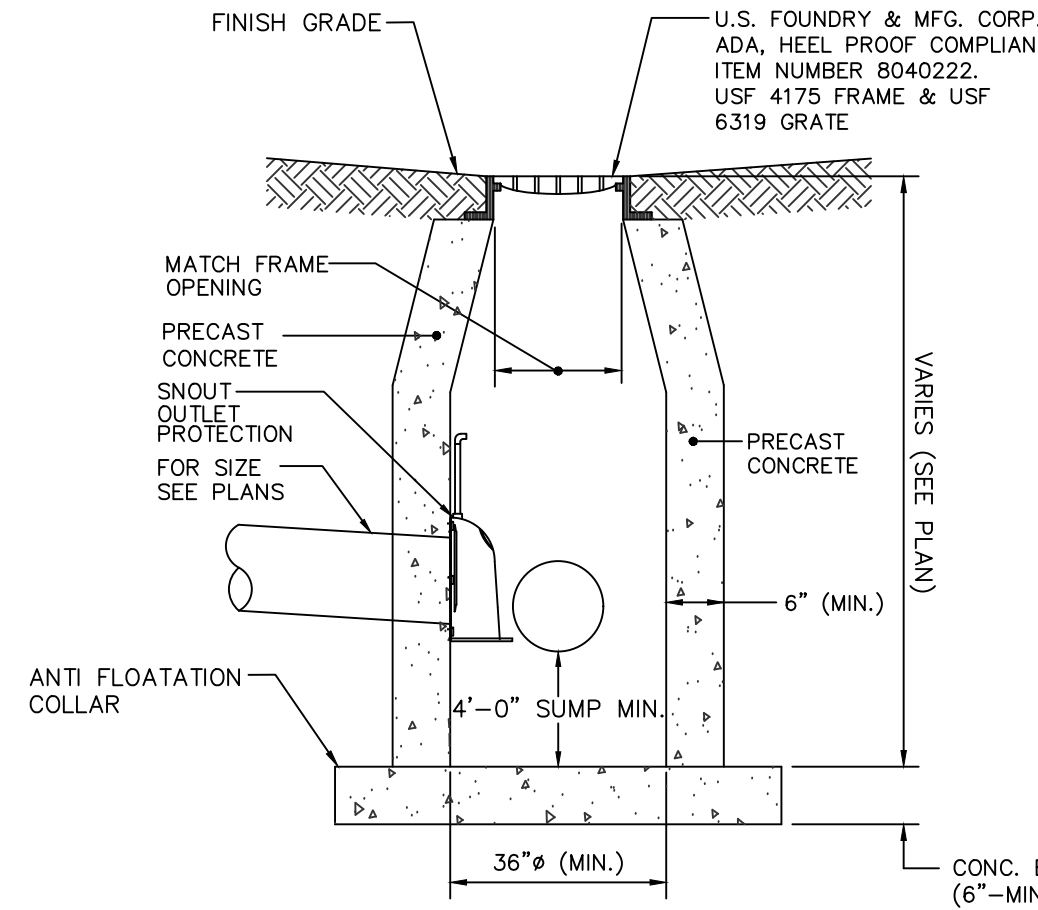
BASE REINFORCEMENT SHALL CONFORM WITH SECTION 6 OF ASTM SPECIFICATION C-478 & SHALL BE MINIMUM .012 IN 2/FT EACH WAY IN ONE LAYER.

7 TYPE II MANHOLE TYPICAL PRECAST MANHOLE
C4.0 N.T.S.

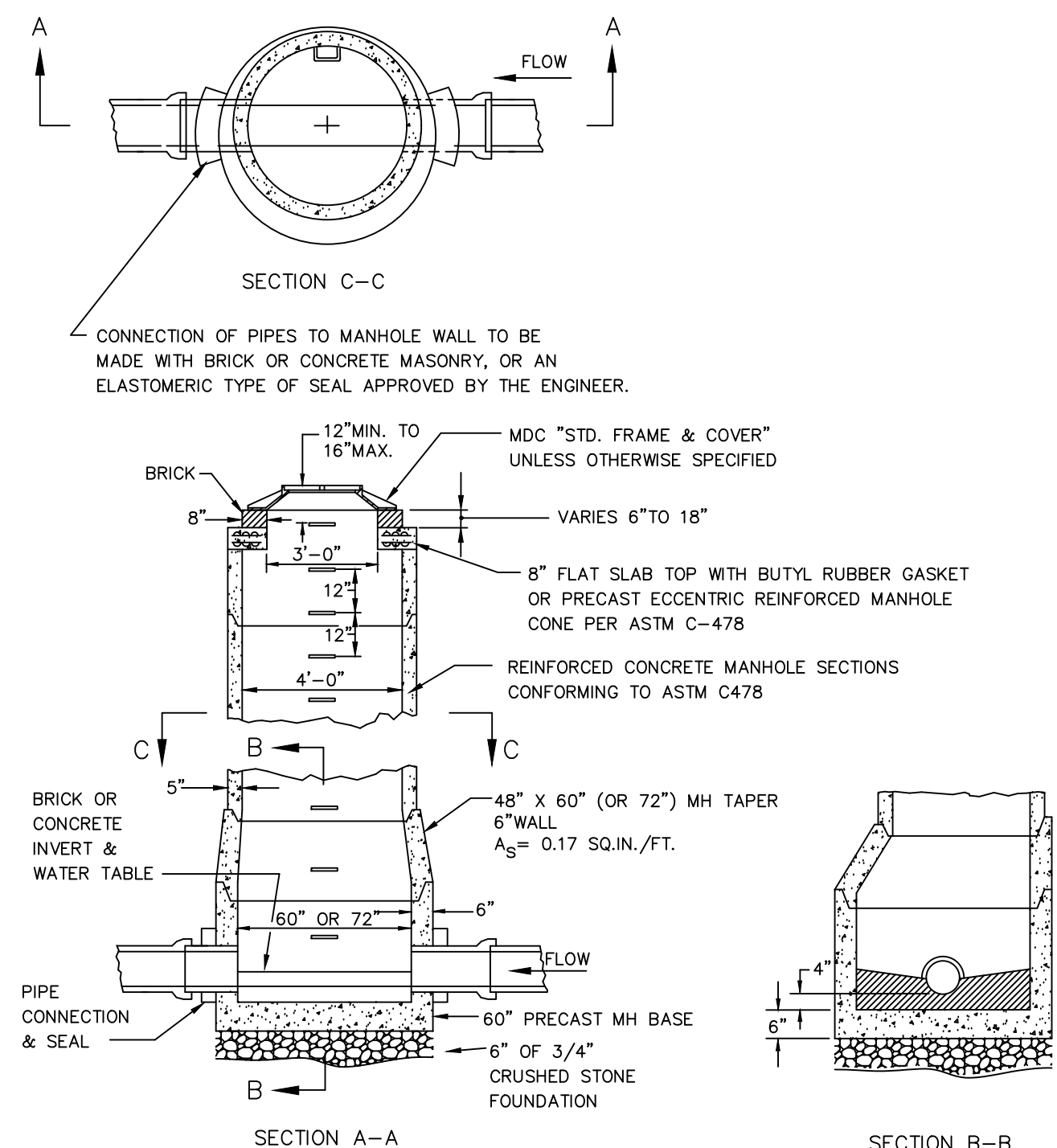
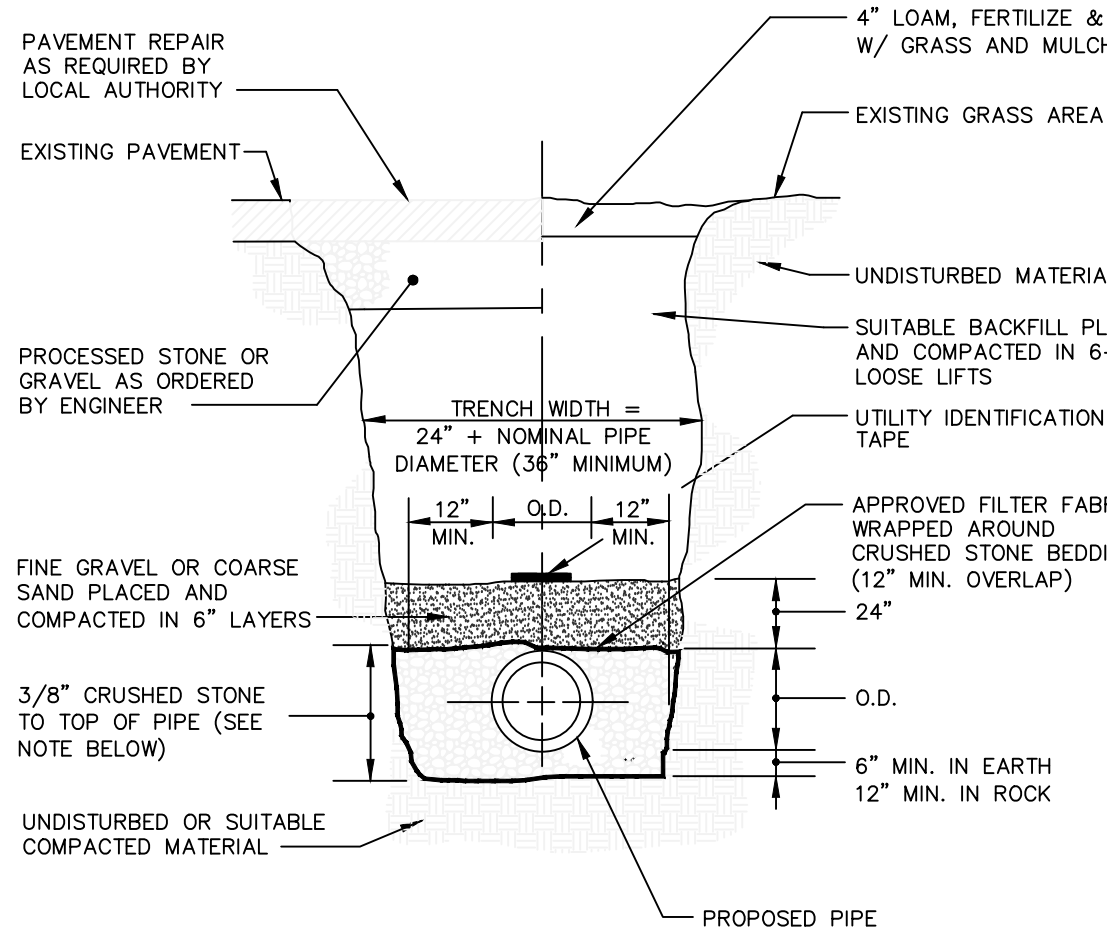


MAXIMUM SIZE OF PIPE TO BE INSTALLED IN A TYPE II MANHOLE TO BE 18" MAXIMUM DEPTH OF R.C. PIPE MANHOLES WITH 5" THICK WALL IS 30 FT. BUTYL RUBBER GASKETS USED FOR JOINTS SHALL CONFORM TO ASTM SPEC. C433 ALL PRECAST MANHOLE BASES SHALL COMPLY WITH THE "MINIMUM REQUIREMENTS FOR 48" DIAMETER PRECAST MANHOLE BASE"

3 YARD DRAIN DETAIL
C4.0 N.T.S.



4 STORM AND SANITARY SEWER TRENCH DETAIL
C4.0 N.T.S.



8 TYPE VI MANHOLE TYPICAL PRECAST MANHOLE
C4.0 N.T.S.

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REVIEWED BY:	MRP
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REVISIONS	DESCRIPTION
NO.	DATE

SITE DETAILS

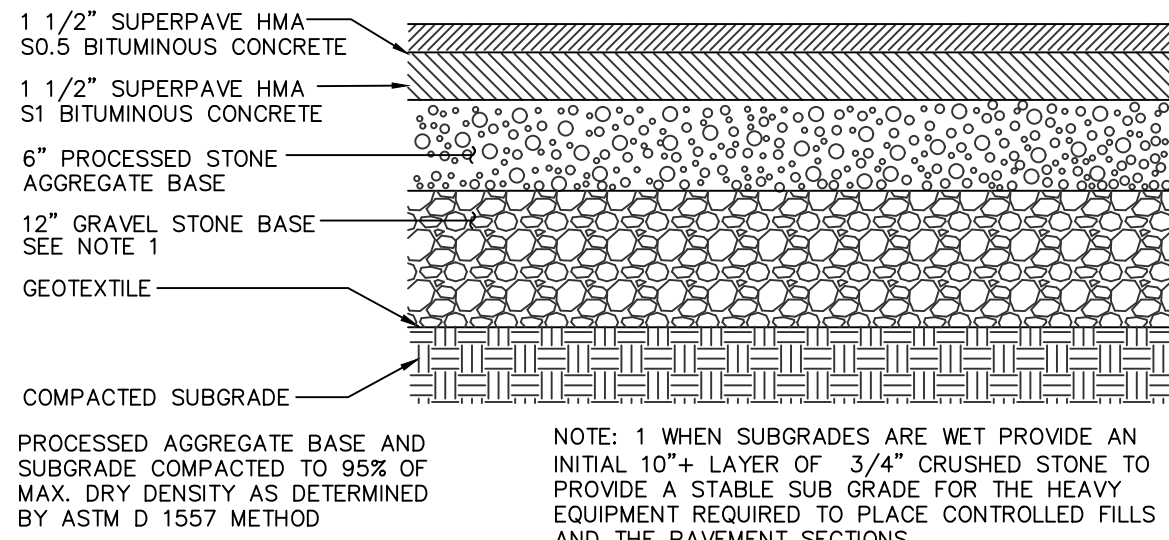
BLESSED SACRAMENT PARISH CENTER
25 ST. BERNARD'S TERRACE
VERNON, CT 06066

Macchi Engineers
44 Gillett Street
Hartford, Connecticut 06105
(860) 549-6190
www.macchiengineers.com

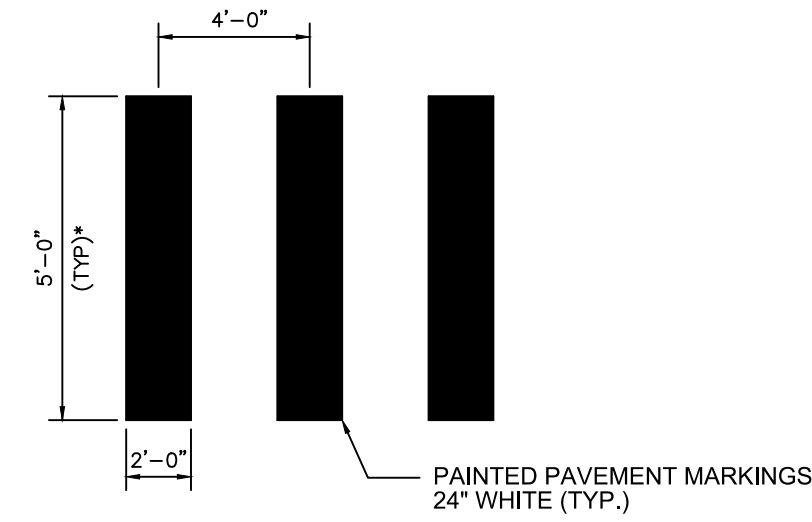
ENGINEER'S SEAL

FRIAR
21 Talcott Notch Road
Farmington, CT 06032

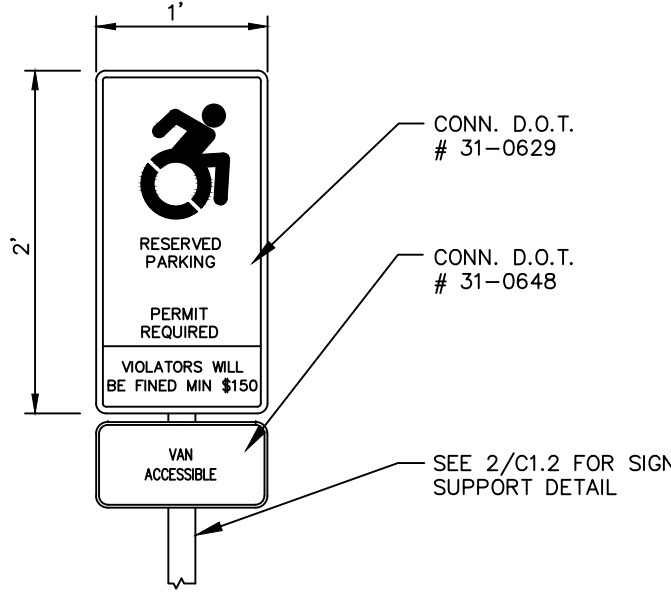
SHEET NO.
C4.0



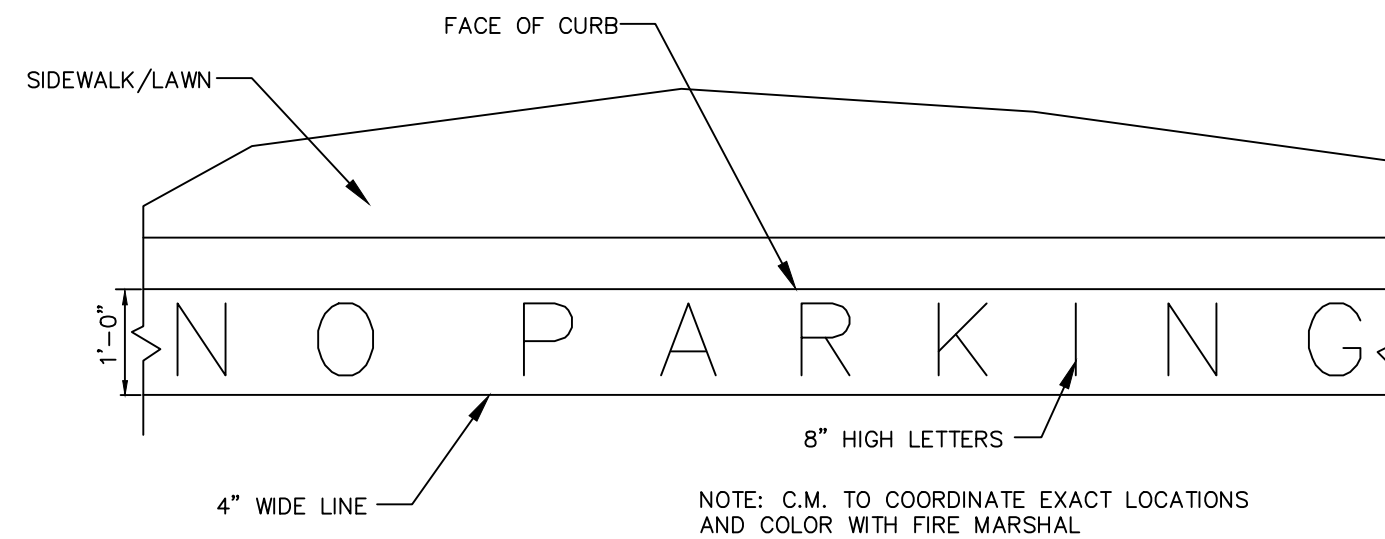
1 REGULAR DUTY BITUMINOUS CONCRETE SECTION
N.T.S.



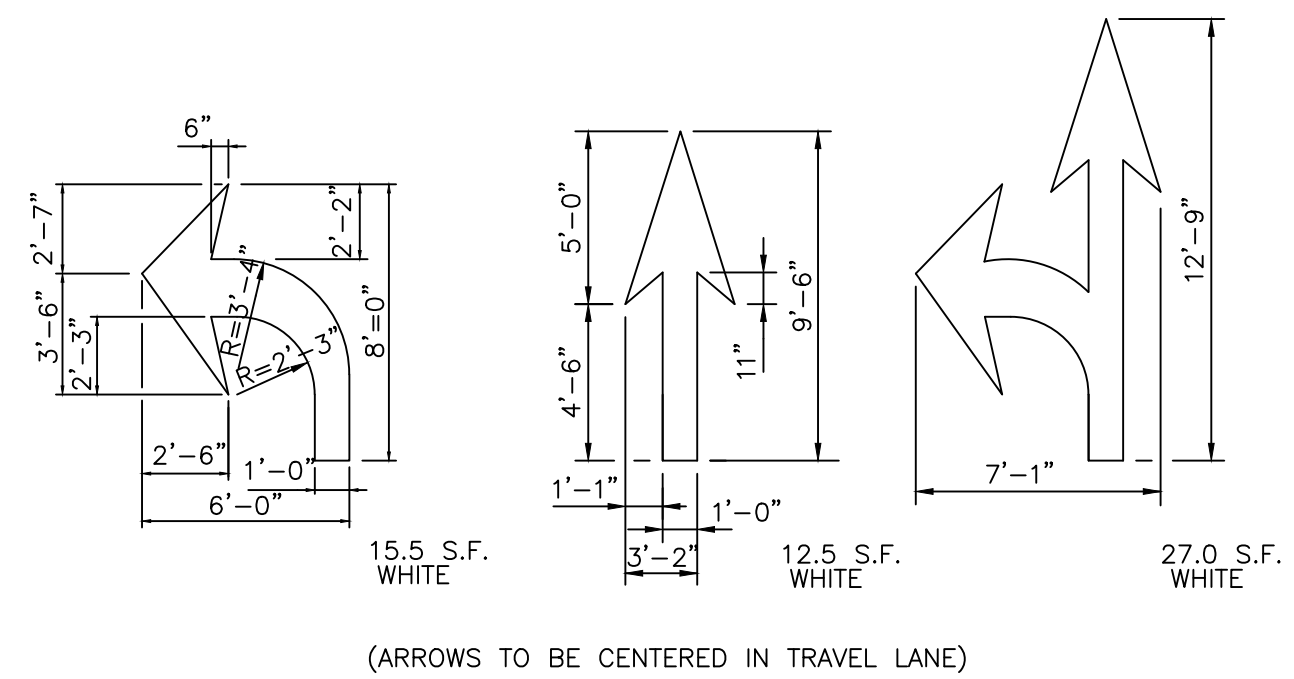
2 CROSSWALK DETAIL
N.T.S.



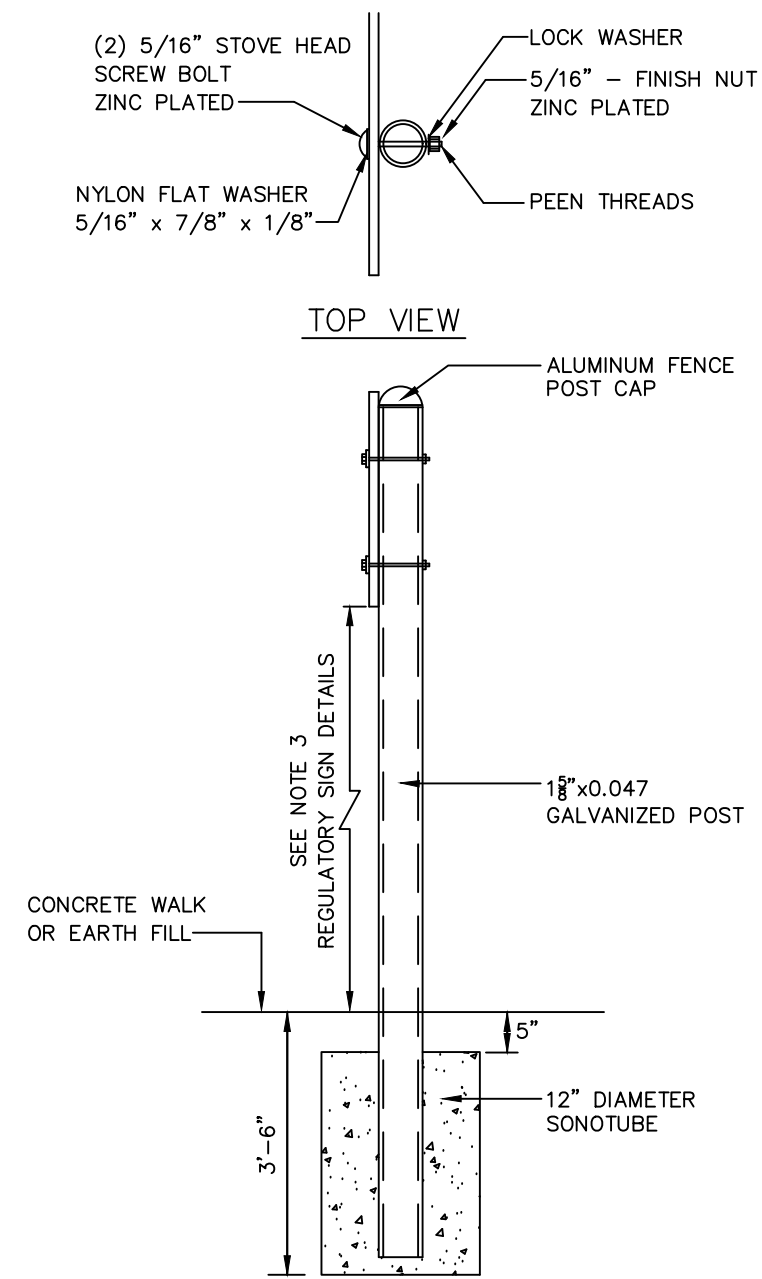
3 TYPICAL ACCESSIBLE PARKING SIGN
N.T.S.



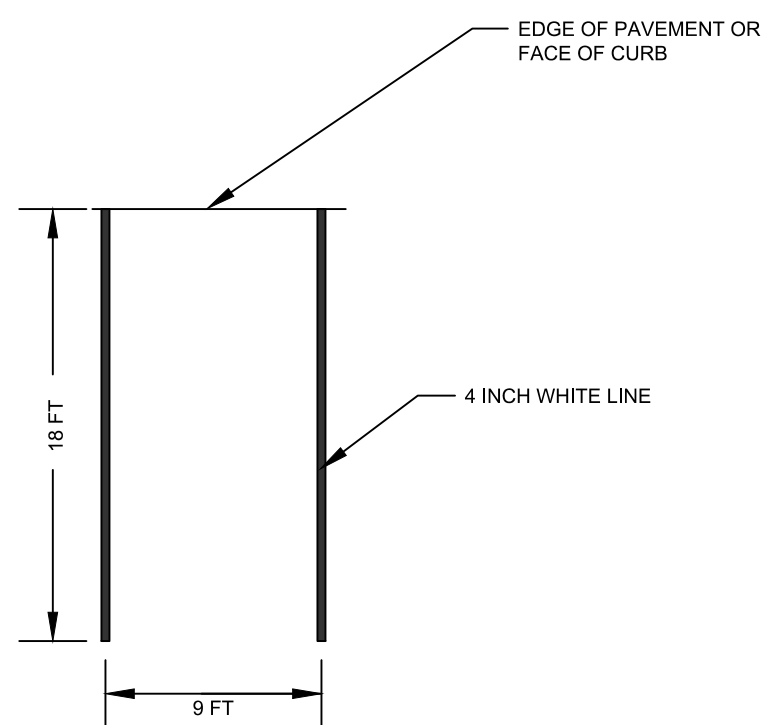
4 NO PARKING MARKINGS
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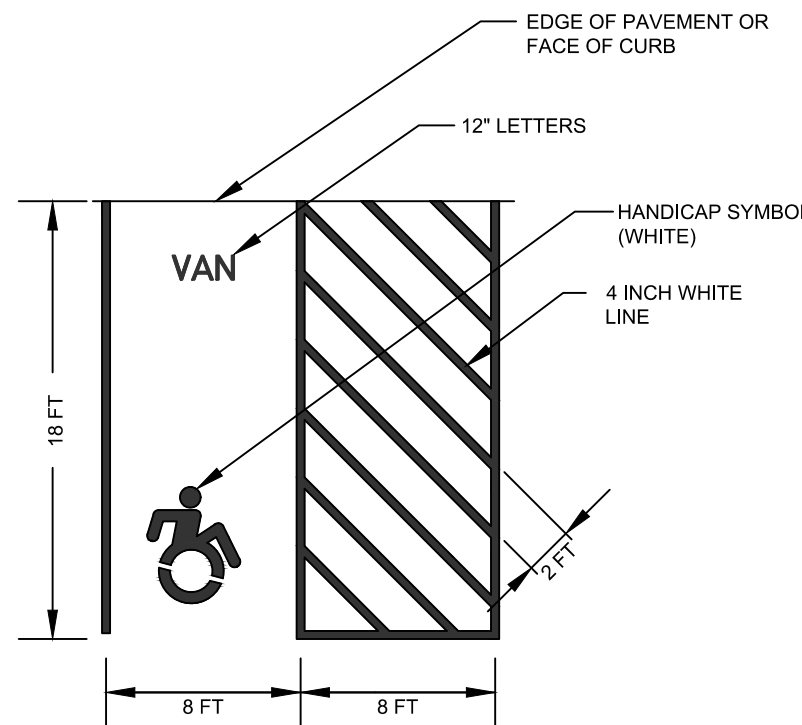
5 PAINTED PAVEMENT ARROW DETAIL
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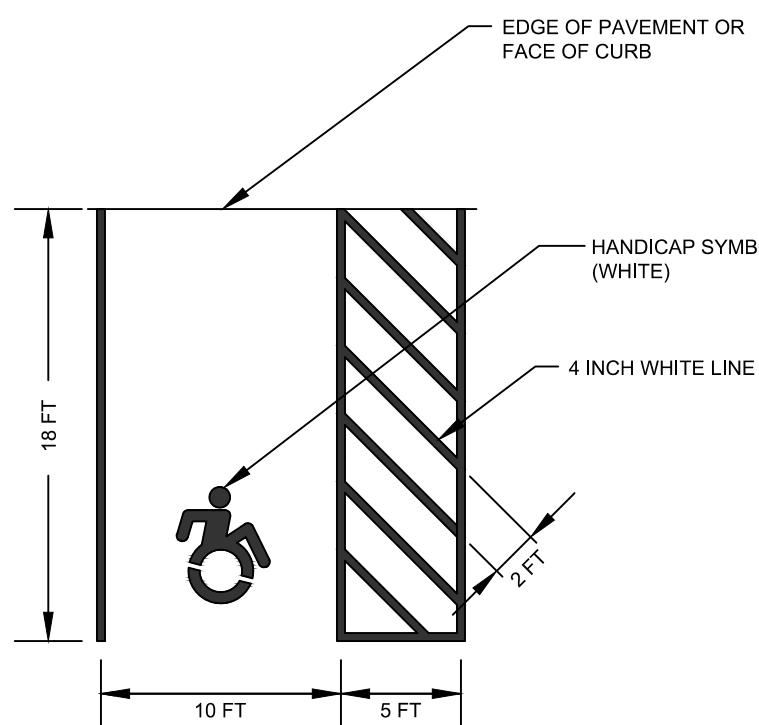
6 TYPICAL SIGN POST DETAIL
N.T.S.



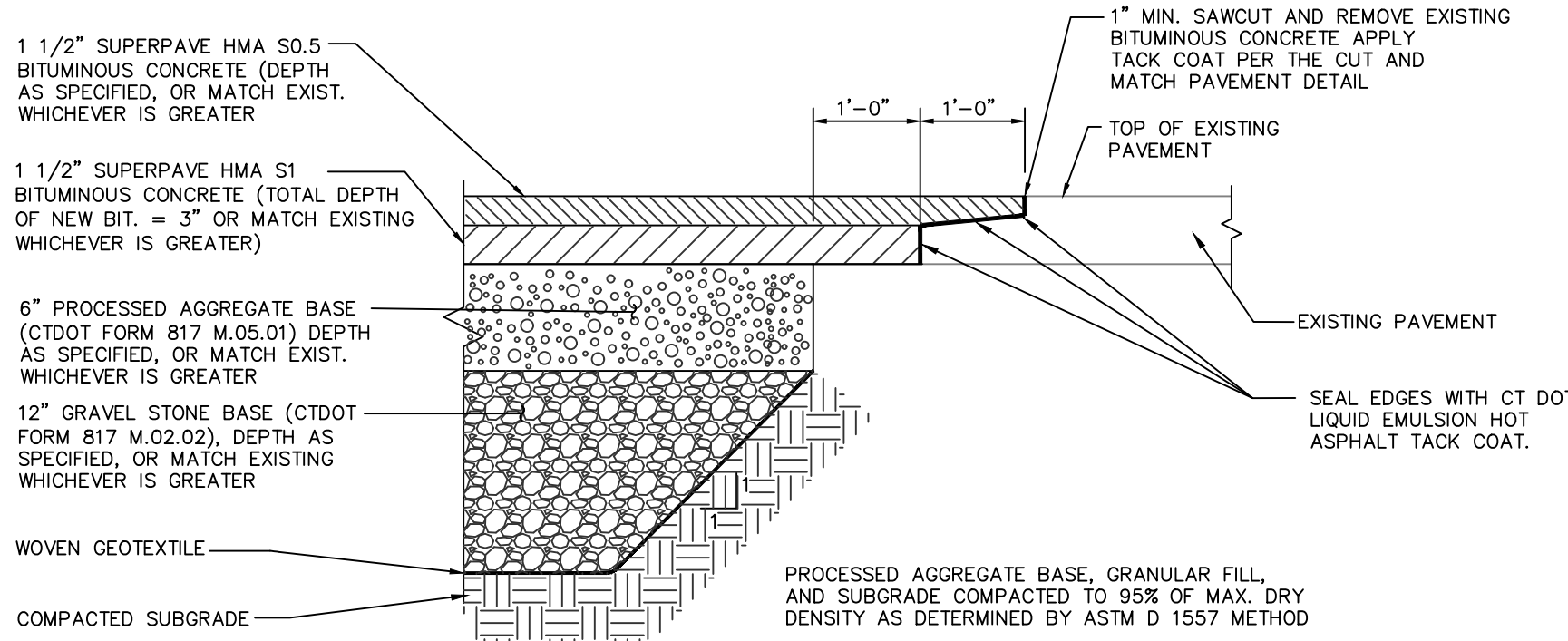
7 STANDARD PARKING STALL
N.T.S.



8 VAN ACCESSIBLE PARKING STALL
N.T.S.



9 STANDARD ACCESSIBLE PARKING STALL
N.T.S.



10 CUT AND MATCH PAVEMENT DETAIL
N.T.S.

R1-1*

(A) STOP

LEGEND - WHITE BACKGROUND - RED

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
3.31	24	31-0536	1	.080

R2-1*

(B) SPEED LIMIT 15

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
5.00	24x30	31-5505	1	.080

W1-2

(C) Pedestrian Crossing

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
6.25	30	41-4810	1	.080

(D) RESERVED PARKING

LEGEND - WHITE BACKGROUND - BLUE

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
2.00	12x24	31-0629	1	.080

(E) VAN ACCESSIBLE

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
0.50	12x6	31-0646	1	.080

R7-1

(G) NO PARKING ANY TIME

LEGEND - RED BACKGROUND - WHITE

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
1.50	12x18	31-0630	1	.080

R3-8

(H) ONLY ONLY

LEGEND - BLACK BACKGROUND - WHITE

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
5.00	30x24	31-0290	1	.080

(V) Traffic Control

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
0.42	12x9	31-0652	1	.080

(L) BUSES ONLY

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
4	24	31-1611	1	.080

(M) ONE WAY

SIZE (mm)	CONN. D.O.T. #	POSTS	ALUM. THK.
450X600	31-1170	1	2.0

(O) CARPOOL PARKING ONLY

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
3	24X18	N/A	1	.080

(P) NO PARKING BUS STOP

SIZE (mm)	CONN. D.O.T. #	POSTS	ALUM. THK.
300X450	31-0614	1	2.0

(Q) PICKUP AND DROP-OFF ZONE

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
1.5	12X18	31-0665	1	.080

R3-2

(R) NO LEFT TURN

BACKGROUND - SILVER
LEGEND - BLACK CIRCLE & DIAGONAL - RED

SIZE (mm)	CONN. D.O.T. #	POSTS	ALUM. THK.
600X600	31-1603	1	2.0
750X750	31-1619	1	2.0
750X600	31-1620	2	2.0
900X900	31-1629	1	2.0
900X750	31-1630	2	2.0

R5-1

(S) DO NOT ENTER

BACKGROUND - SILVER
LEGEND - SILVER SIGN FACE - RED

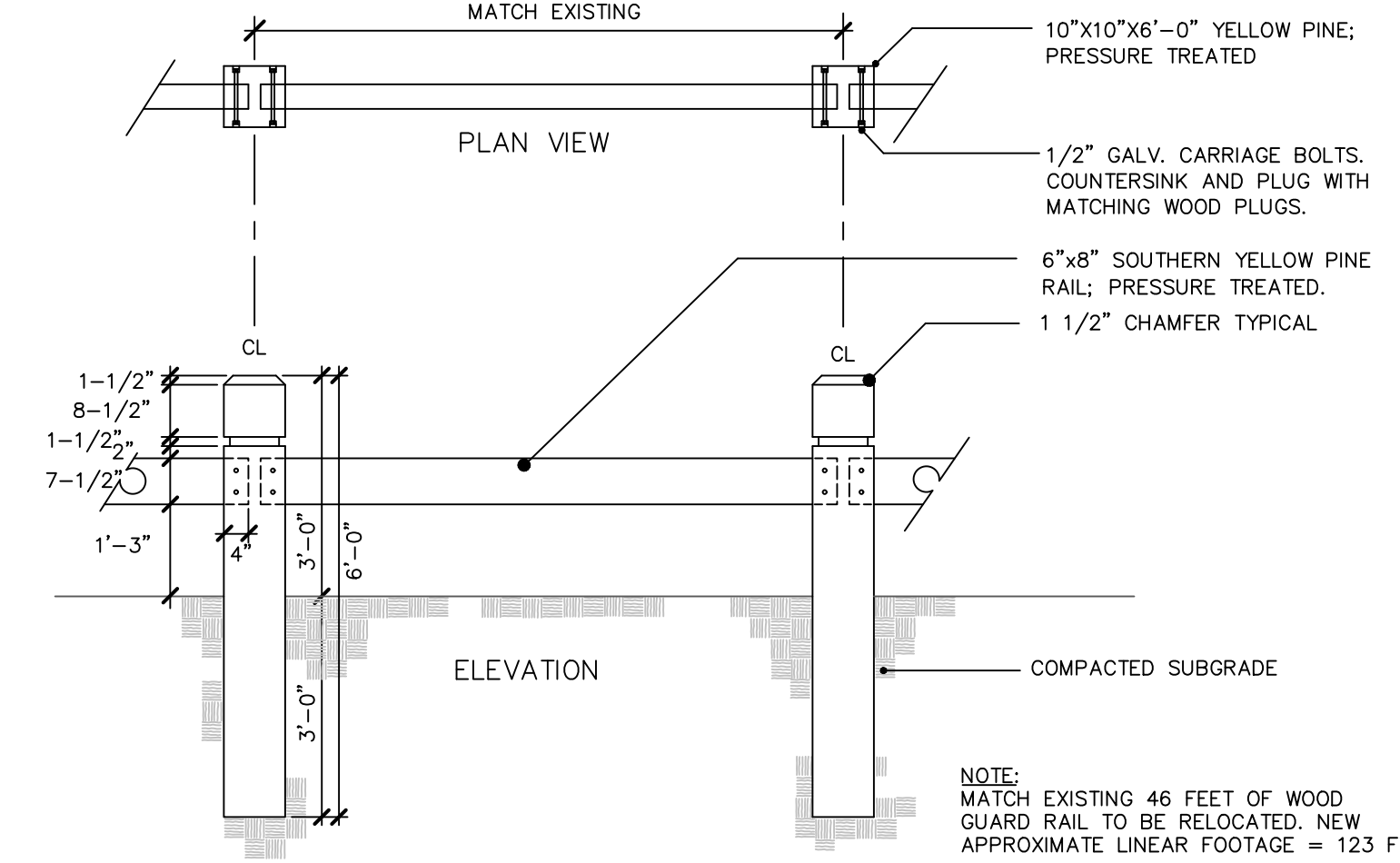
SIZE (mm)	CONN. D.O.T. #	POSTS	ALUM. THK.
750X750	31-1109	1	2.0
1200X1200	31-1111	2	2.5
* 750X750	31-1119	1	2.0
* 1200X1200	31-1121	2	2.5

R3-1

(U) NO RIGHT TURN

LEGEND - BLACK BACKGROUND - WHITE CIRCLE & DIAGONAL - RED

AREA (SQ. FT.)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
4.00	24X24	31-1604	-	.080
6.25	30X30	31-1617	1	.080
5.00	30X24	31-1618	-	.080
9.00	36X36	31-1627	2	.080
7.50	36X30	31-1628	-	.080



12 TIMBER GUIDE RAIL
N.T.S.

(*) ENGINEER WILL DESIGNATE FINAL LOCATIONS OF SIGNS ON SITE.

NOTE:

- CONTRACTOR SHALL RETURN ALL EXISTING SIGNS AND POSTS TO THE SCHOOL.
- CONTRACTOR SHALL PROVIDE 20 ADDITIONAL SIGNS, POSTS, AND FOUNDATIONS, AND REMOVE AND RESET 20 OWNER PROVIDED OR SALVAGED SIGNS.
- BOTTOM OF SIGN FACE SHALL BE A MINIMUM OF 5'-0" ABOVE GRADE, OR 7'-0" ABOVE GRADE AT PEDESTRIAN PATHS.

10 REGULATORY SIGNAGE
N.T.S.

DATE:	06/01/20
DRAWN BY:	JWK
SCALE:	As indicated
REVIEWED BY:	MRP
PROJECT NO.:	2019-015A

REVISIONS	NO.	DATE	DESCRIPTION

SITE DETAILS

BLESSED SACRAMENT
PARISH CENTER
25 ST. BERNARD'S TERRACE
VERNON, CT 06066

Macchi Engineers

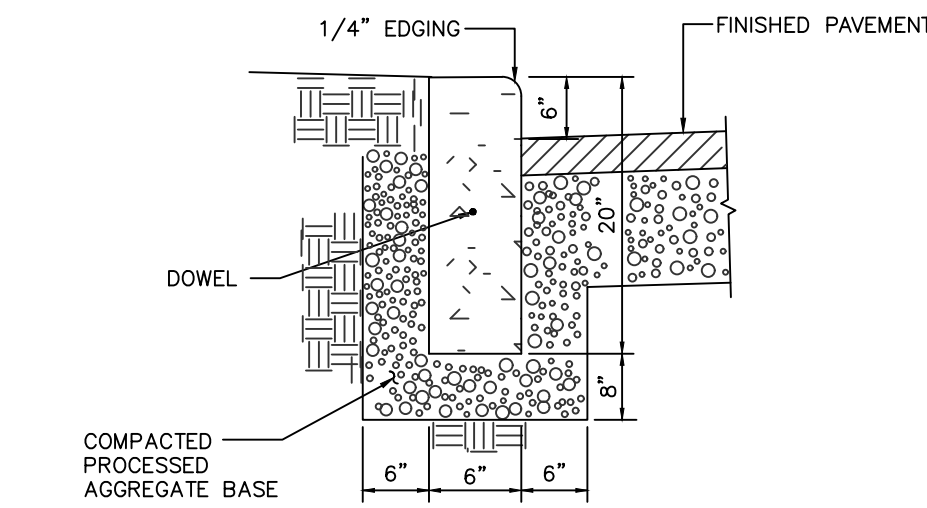
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ENGINEER'S SEAL

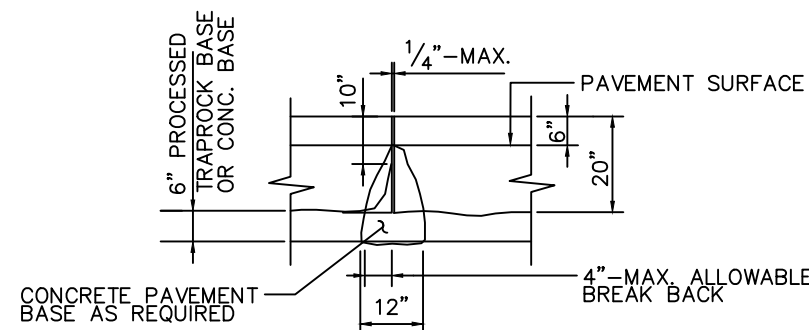
FRIAR

21 Talcott Notch Road
Farmington, CT 06032

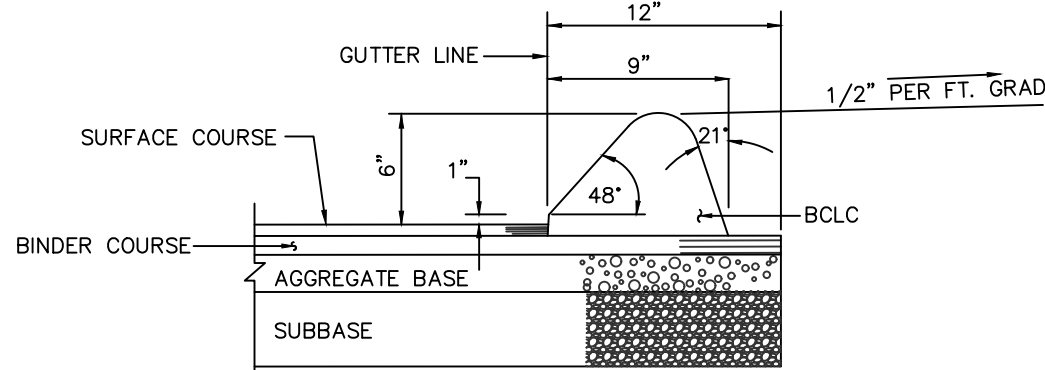
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C4.1



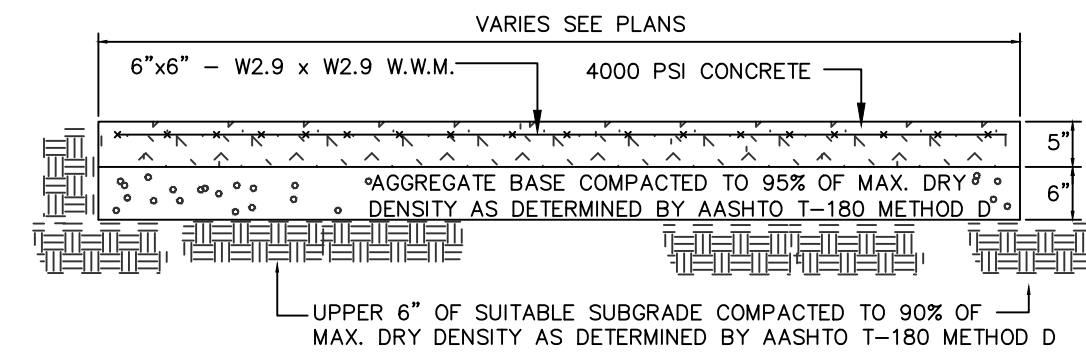
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C4.2 PRECAST/CAST-IN-PLACE CONCRETE CURB
N.T.S.



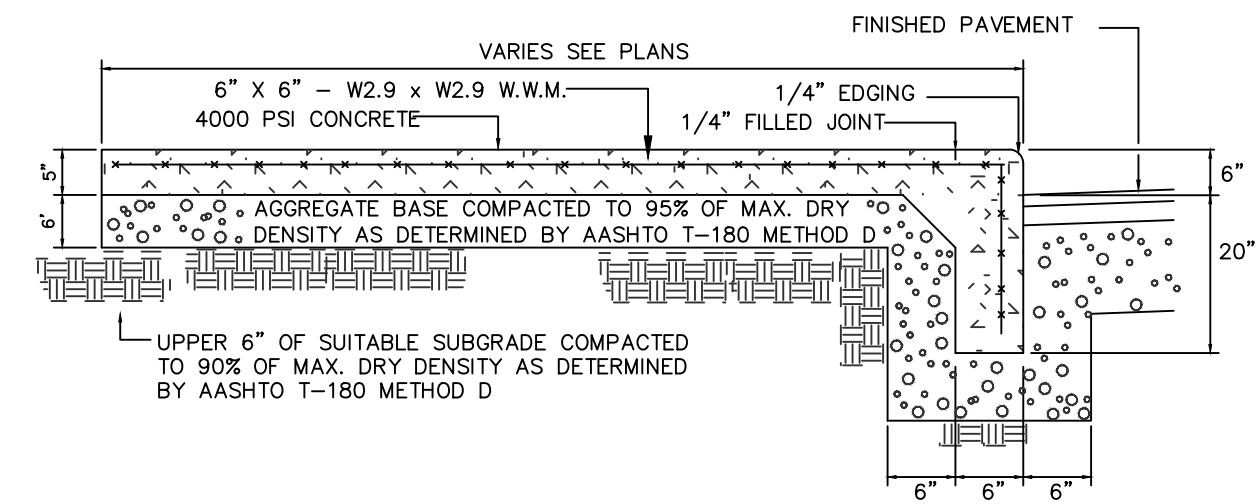
2
C4.2 TYPICAL JOINT DETAIL FOR
PRECAST CONCRETE CURB
N.T.S.



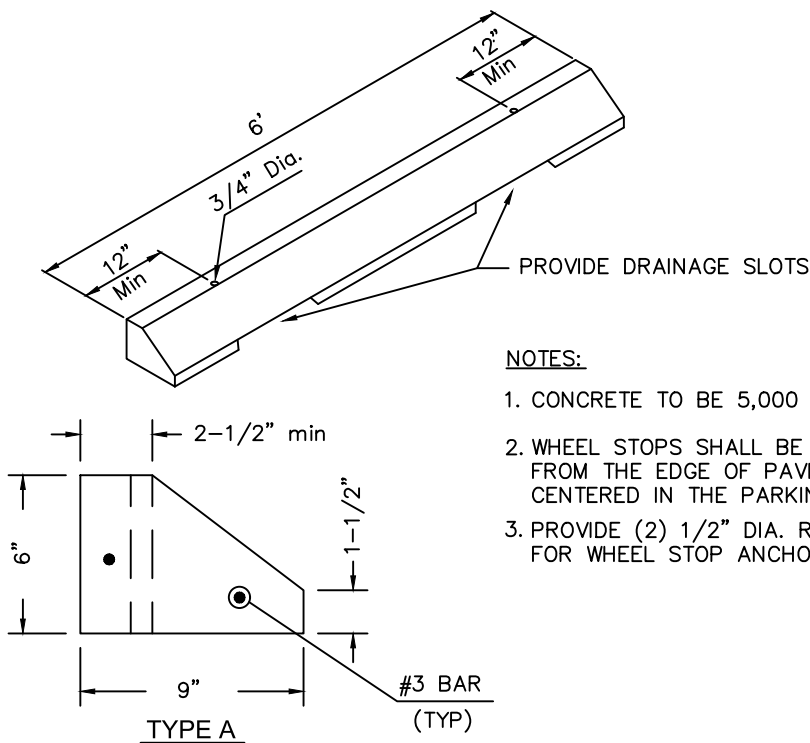
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C4.2 BITUMINOUS CONCRETE LIP CURBING
N.T.S.



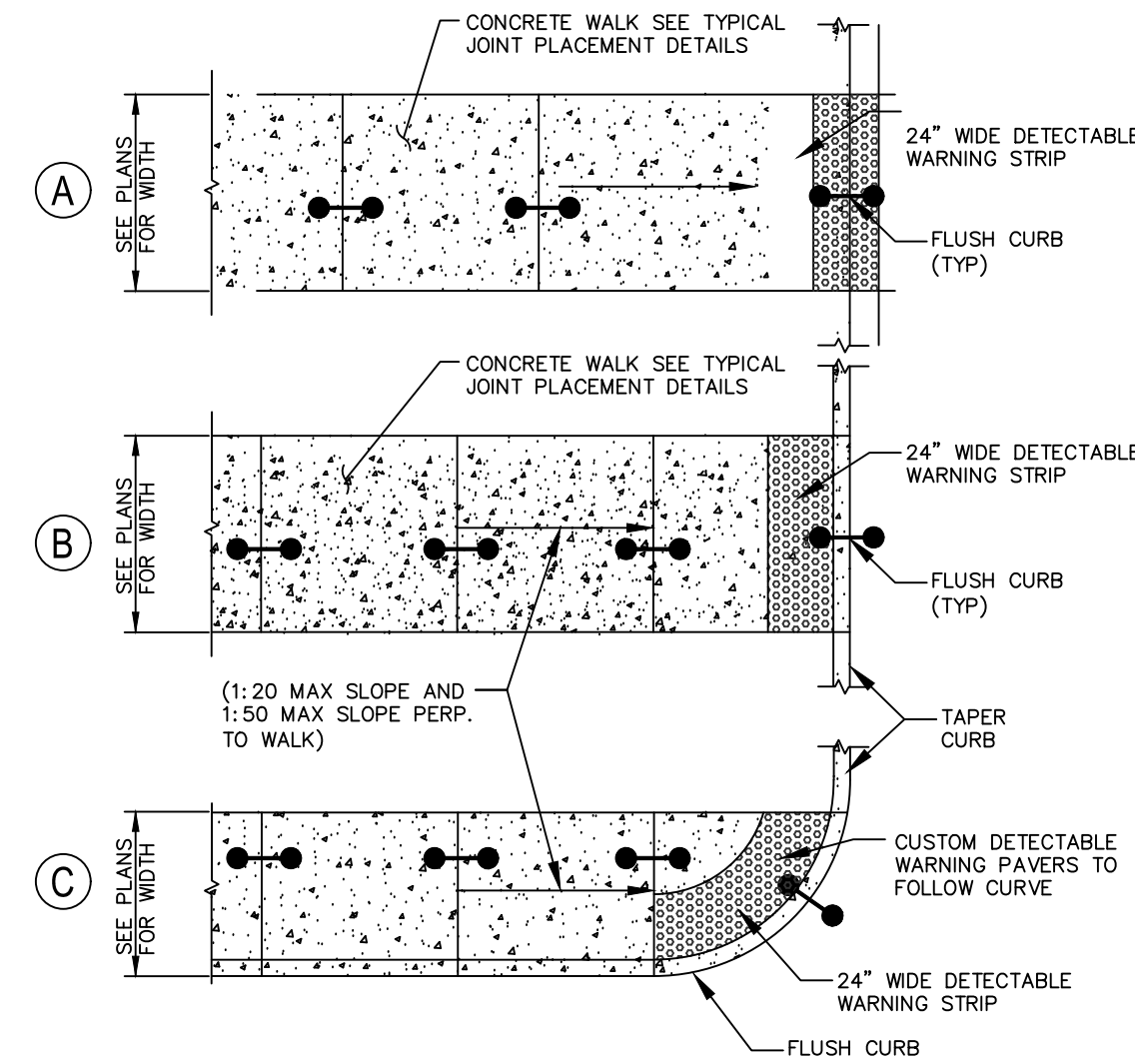
3
C4.2 WALK SECTION WITHOUT CURB
N.T.S.



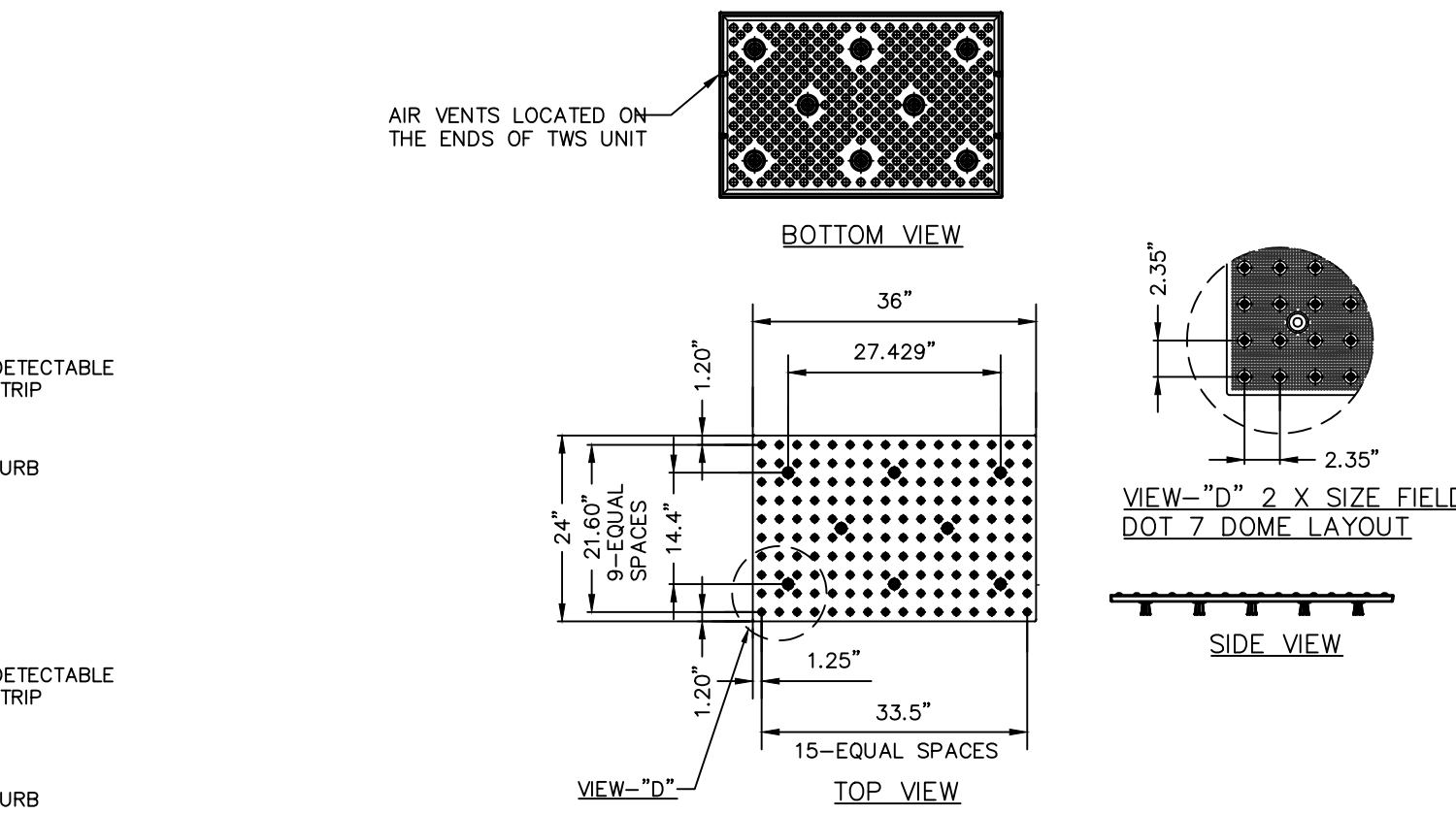
4
C4.2 SIDEWALK WITH INTEGRAL CURB SECTION
N.T.S.



5
C4.2 WHEEL STOPS REINFORCED CONCRETE
N.T.S.

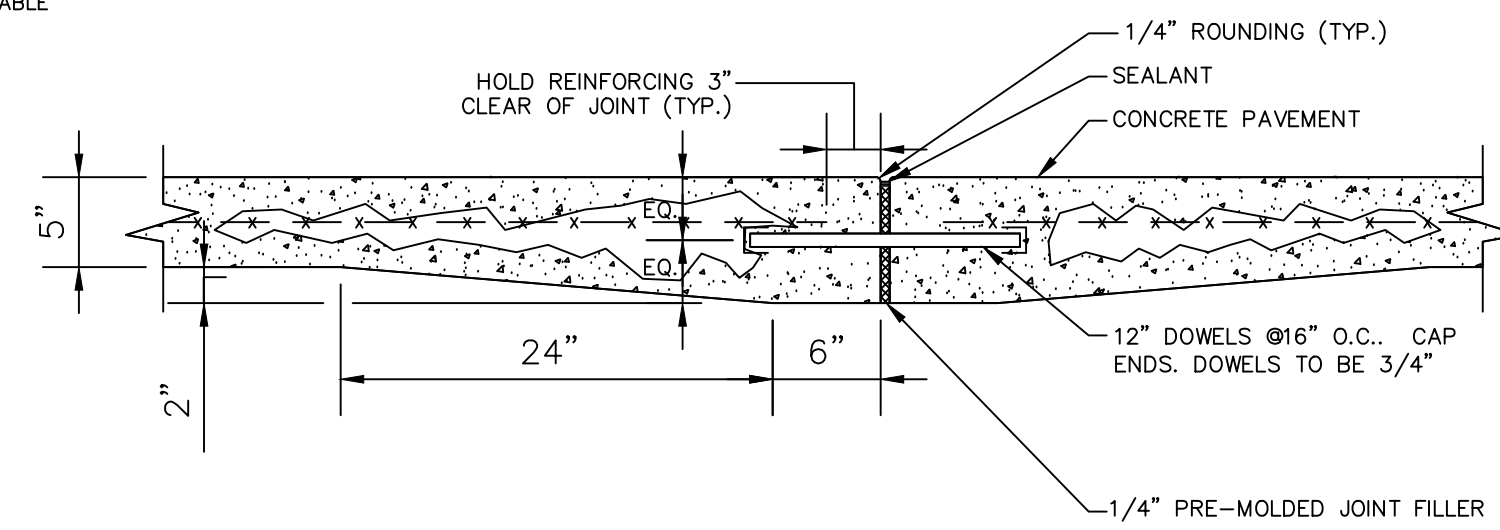


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C4.2 CAST-IN PLACE DETECTABLE WARNING STRIP
N.T.S.

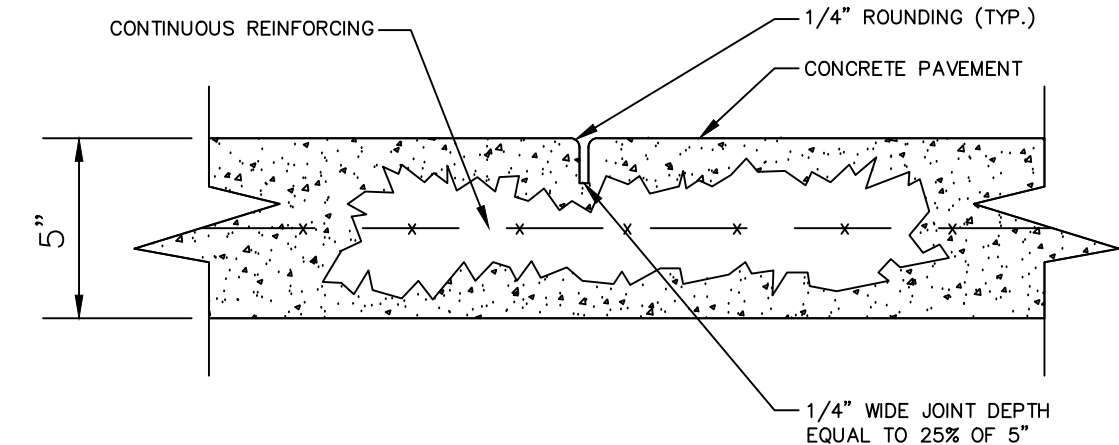


8
C4.2 BOLLARD
N.T.S.

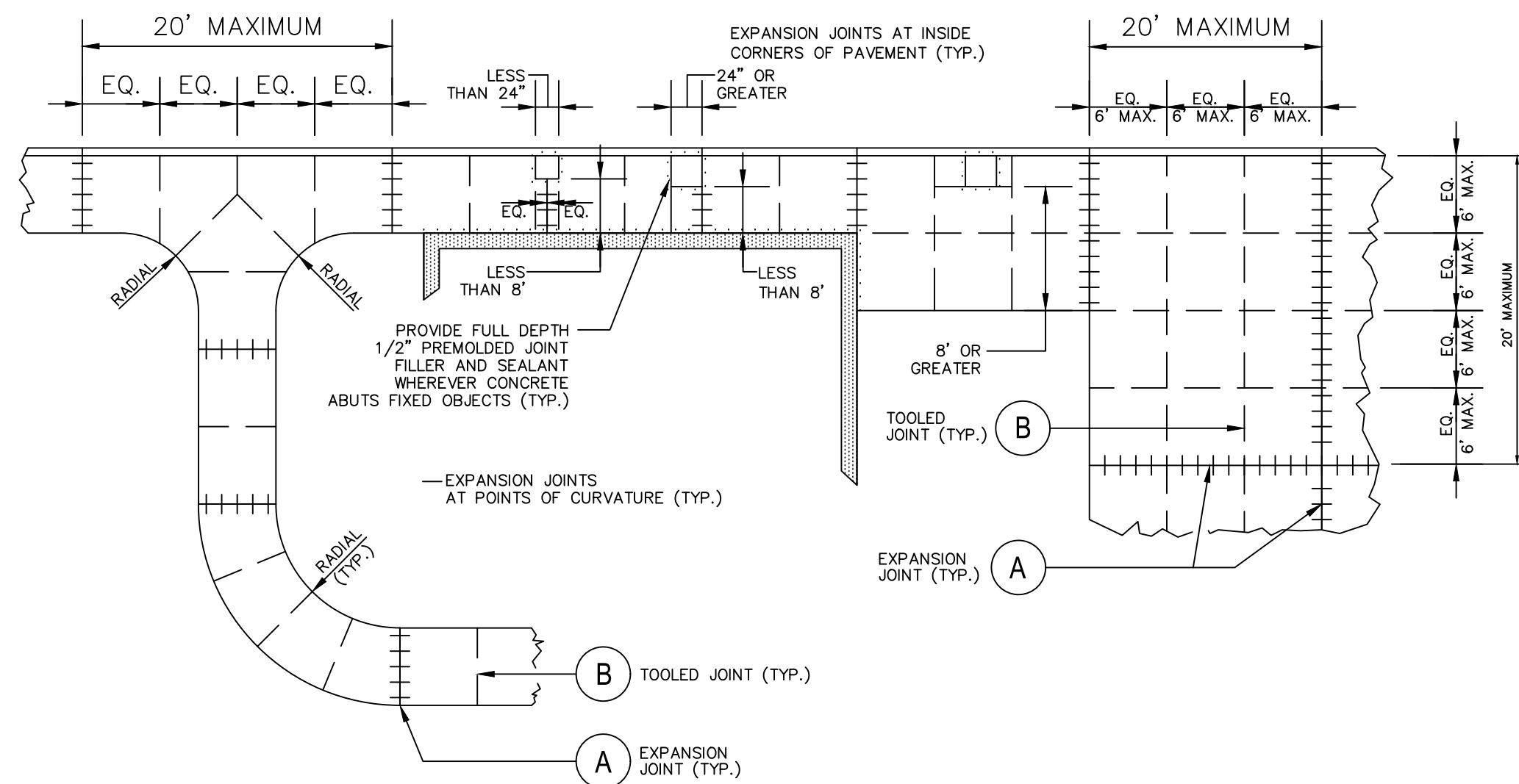
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C4.2 CURB RAMPS
N.T.S.



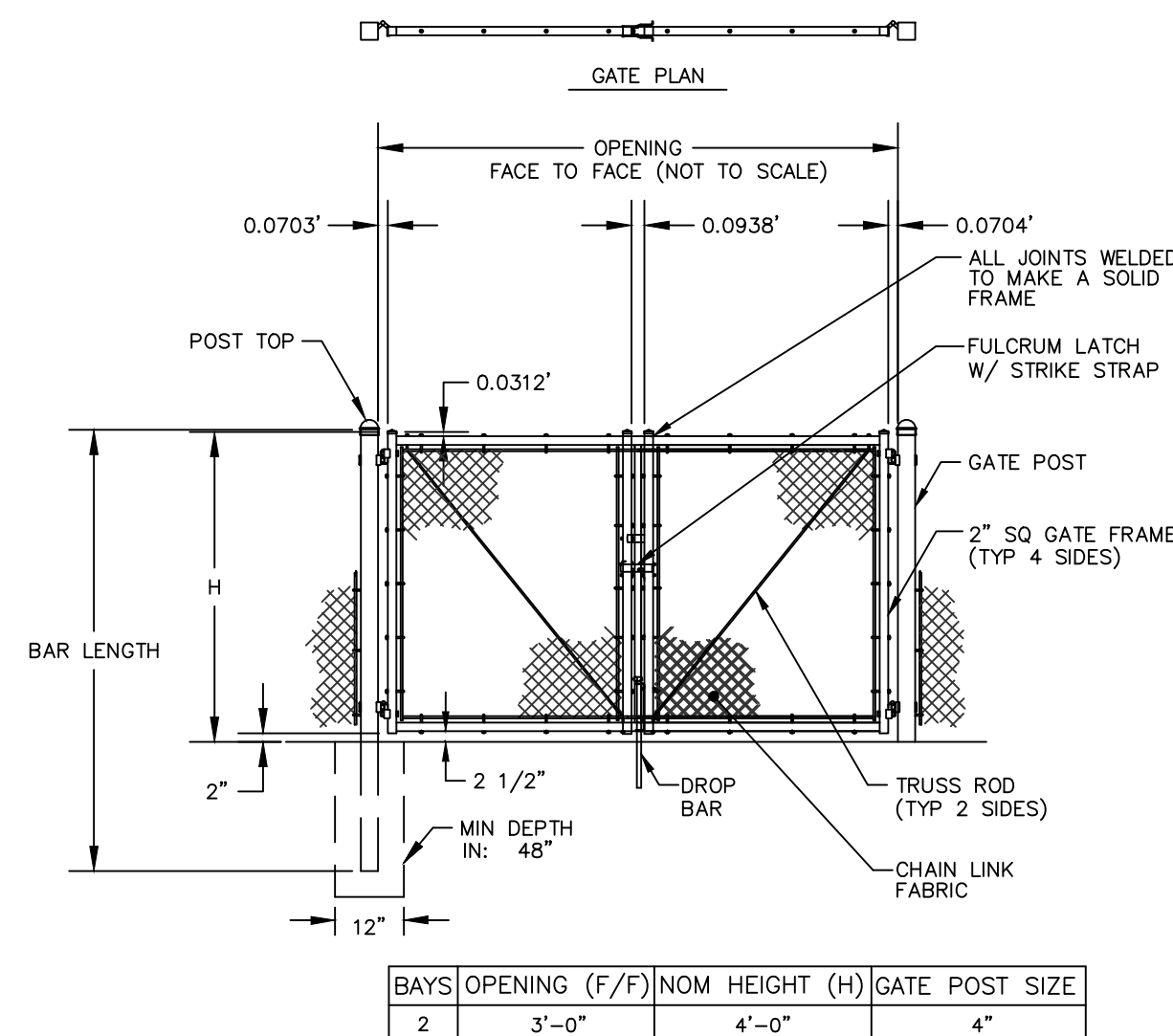
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C4.2 EXPANSION JOINT
N.T.S.



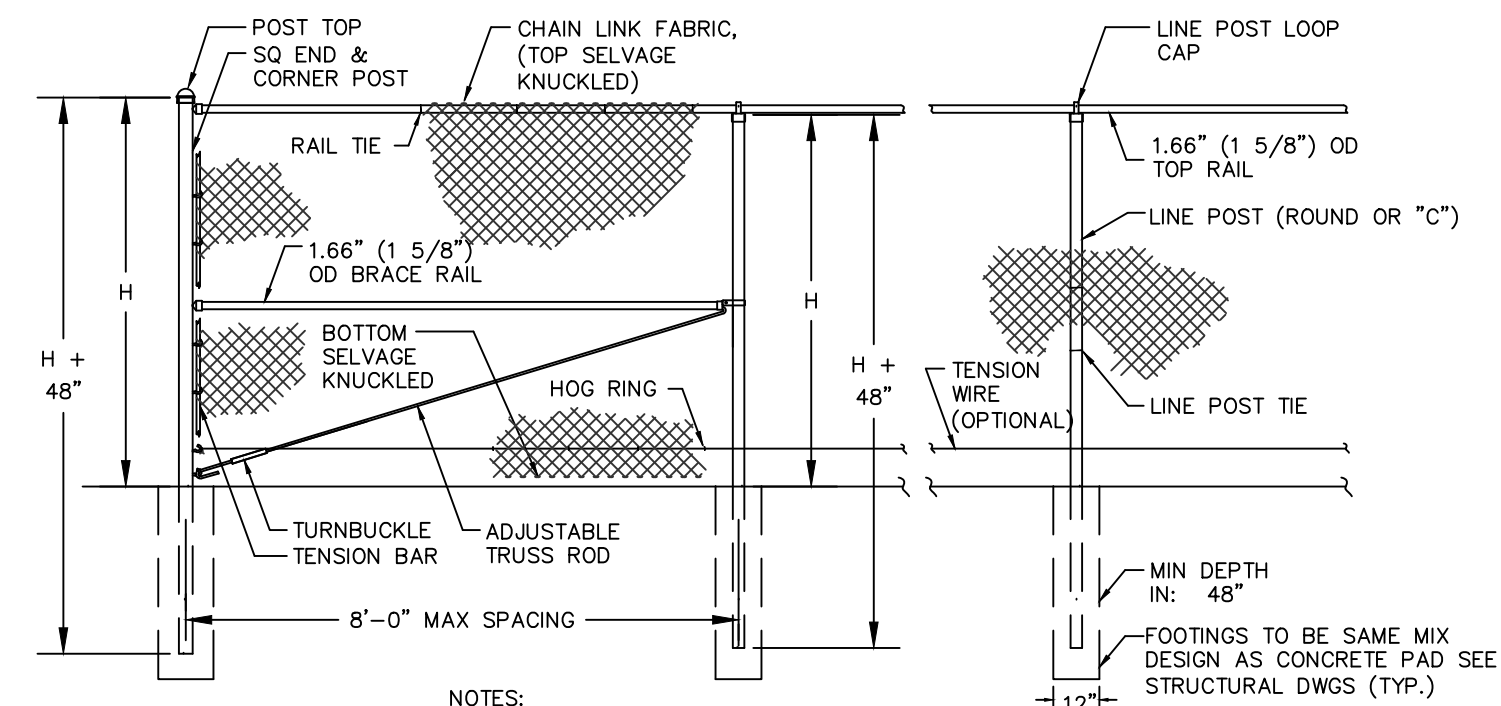
11
C4.2 TOOLED JOINT
N.T.S.



9
C4.2 TYPICAL JOINT PLACEMENT IN CONCRETE
N.T.S.



12
C4.2 DOUBLE GATE ELEVATION
N.T.S.



13
C4.2 4' HIGH CHAIN LINK FENCE ELEVATION
N.T.S.

DATE: 06/01/20
DRAWN BY: JWK
SCALE: As indicated
REVIEWED BY: MRP
PROJECT NO: 2019-015A

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SITE DETAILS

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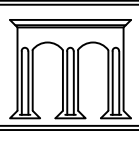
SHEET NO.
C4.2

DATE: 06/01/20
DRAWN BY: JWK
SCALE: As Indicated
REVIEWED BY: MRP
PROJECT NO. 2019-015A

REVISIONS		DESCRIPTION
NO.	DATE	

LANDSCAPING PLAN

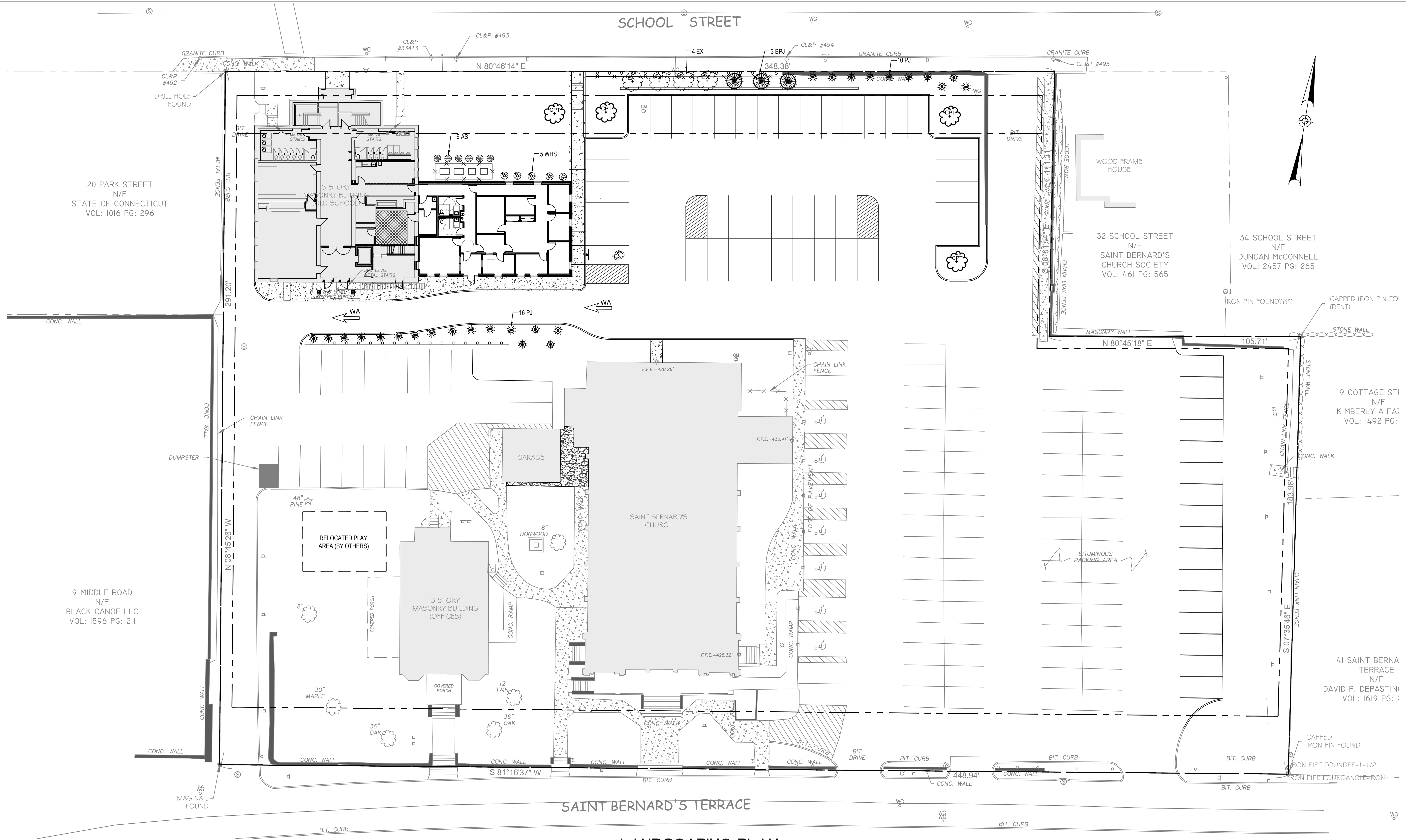
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21 Talcott Notch Road
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SHEET NO.
L-1.0



LANDSCAPE LEGEND

<u>SYMBOL</u>	<u>NAME</u>	<u>SIZE</u>	<u>QUANTITY</u>
 CPT	CHANTICLEER PEAR TREE	2" CAL.	4
 BPJ	BLUE POINT JUNIPER	3 GAL.	3
 EX	EXISTING RELOCATED	VARIES	4
 WHS	WINTERBERRY HOLLY	3 GAL.	5
 AS	ARBORVITAE	36" HGT.	6
 PJ	PARSON'S JUNIPER	3 GAL.	16

