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TOWN OF VERNON Planning & Zoning Commission (PZC) Meeting Notice & Agenda Thursday, September 15, 2022, 7:30 PM Town Council Chambers 3rd Floor

14 Park Place Vernon, CT 06066 Posted 9/8/2022

AGENDA

- 1. Call to Order & Roll Call by Roland Klee, Chairman
- 2. Administrative Actions/Requests
 - 2.1 Amendment/Adoption of Agenda Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.
 - 2.2 Approval of the Minutes from August 18, 2022
- 3. New Application(s) for receipt, if any:
- 4. Public Hearing(s) and Action on Applications:

4.1 **PZ-2022-14, 96 West Street**. An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permits to create residential units and other uses at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The property is zoned Planned Residential Development.

- 5. 8-24 Referrals, If any
- 6. Other Business/Discussion
- 7. Public Comments Received
- 8. Adjournment

Roland Klee, Chair
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON

Planning & Zoning Commission (PZC) Thursday, August 18, 2022, 7:30 PM

Town Council Chambers 3rd Floor 14 Park Place Vernon, CT 06066

DRAFT Minutes

- 1. Call to Order & Roll Call by Mike Mitchell, Vice-Chairman @ 7:30 PM
 - Regular members present: Mike Baum, Robin Lockwood, Joseph Miller, and Mike Mitchell
 - Alternate Member: Yelena Damsky sitting for Carl Bard and William Nicholson sitting for Iris
 Mullan.
 - Absent Members: Roland Klee, Carl Bard, Iris Mullan
 - Staff present:

Shaun Gately, Director of Development Services Ashley Stephens, Town Planner Leslie Campolongo, Planning & Zoning Specialist

- Recording secretary: Jill Rocco
- 2. Administrative Actions/Requests
 - 2.1 Amendment/Adoption of Agenda Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.

Robin Lockwood **MOVED** to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

2.2 Approval of the Minutes from July 21, 2022

Robin Lockwood **MOVED** to **APPROVE** the minutes from July 21, 2022. Joseph Miller seconded and the motion carried.

3. New Application(s) for receipt, if any:

NONE

- 4. Public Hearing(s) and Action on Applications:
 - **4.1 PZ 2022-13, 43 & 45 South Frontage Rd.** An Application David O'Connell (Shawmut Equipment Company Inc.) for a Site Plan and Special Permit to build a structure to conduct retail sales, rental, parts sales and service of new and used construction vehicles (cranes), at 43 & 45 South Frontage Rd. (Tax Map 29, Block 134A, Parcels 11A & 11B). The property is zoned Commercial.

- Shaun Gately, Director of Development Services, read the Public Notice published in the Journal Inquirer on August 6, 2022 and August 13, 2022.
- Mike Mitchell, Vice-Chairman, read the Public Hearing rules.
- Jim Aldrich, President, Aldrich Construction Co. Inc., Manchester, CT gave a presentation of Shawmut Equipment Co Inc's history and background.
- Timothy A. Coon, P.E., J.R. Russo & Associates, East Windsor, CT, walked the Commission through the site plan, including wetlands, access, drainage, parking, public water/sewer, natural gas, spill kits, dumpster enclosure, lighting, signage, landscaping and traffic generation.
- Stated the application meets Special Permits sections:

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4.9.2.14
4.9.15.4
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17.3.1.1 (17.3.1.1 - 17.3.1.5)

- Commission asked questions in regards to sewer, completion date, tree structure, disposal
 of hazardous materials, pervious surfaces, DEEP Stormwater, NDDB and repair scope.
- Applicant responded to the Commission.
- · Discussion ensued.
- Shaun Gately, Director of Development Services responded to the Commission.
- Maryann Levesque, 183 Bolton Rd, spoke in regards to the approvals from other Commissions and Boards regarding staff comments and traffic concerns, signage and soil testing.
- Robin Lockwood responded.
- Joe Miller spoke regarding traffic and deliveries.
- Timothy A. Coon, P.E, responded to all questions and concerns.
- Shaun Gately, Director of Development Services, reminded the Commission that PZC cannot defer decision to another Commission.
- Yelena Damsky commented on employment numbers.
- Timothy A. Coon, P.E., responded.
- No one spoke in opposition.

Robin Lockwood **MOVED** to **CLOSE** the Public Hearing at 8:18 PM. William Nicholson seconded and the motion carried unanimously.

Robin Lockwood MOVED that the Planning and Zoning Commission APPROVE PZ 2022-13, 43 & 45 South Frontage Rd. because it meets the requirements of section 14.1.2 Site Plan Development and 17.3.1 Special Permits and grants section 4.9.14 general automotive repairing and servicing and 4.9.15.4 square footage exceeds 25,000 square feet, with stipulation that the special permit is solely intended for accessory use of services to cranes and is not transferable to another use. William Nicholson seconded and the motion carried unanimously.

5. 8-24 Referrals, If any

NONE

6. Other Business/Discussion

NONE

7. Public Comments Received

Daniel McQuade – included in packet

8. Adjournment

Robin Lockwood **MOVED** to **ADJOURN** at 8:21 PM. William Nicholson seconded and the motion carried unanimously.

Jill Rocco Recording Secretary

APPLICATION



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC) APPLICATION

(Revised March 2021)

The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project. Provide all the information requested.

APPLICANT (S)

NAME:	
COMPANY:	
ADDRESS:	
TELEPHONE:	E-MAIL:
	PROPERTY OWNER (S)
NAME:	
ADDRESS:	
TELEPHONE:	EMAIL:
If the applicant is not the prope approval by the	rty owner, include a letter from the property owner authorizing the applicant to seek PZC, if no signature accompanies the application. (ZR Section 2.3) PROPERTY
ADDRESS:	
ASSESSOR'S ID CODE: 1	MAP #BLOCK # LOT/PARCEL #
LAND RECORD REFEREN	CE TO DEED DESCRIPTION: VOLUME: PAGE
DOES THIS SITE CONTAIN REGULATIONS)	N A WATERCOURSE AND/OR WETLANDS? (SEE THE INLAND WETLANDS MAP AND
NOYES	
_	NO REGULATED ACTIVITY WILL BE DONE
-	REGULATED ACTIVITY WILL BE DONEIWC APPLICATION HAS BEEN SUBMITTED
ZONING DISTRICT_	
	TED WITHIN FIVE HUNDRED (500) FEET OF A
NO YES:	
CHECK IF HISTORIC STAT	TUS APPLIES:
LOCATED IN	HISTORIC DISTRICT:
INDIVIDUAL I	HISTORIC PROPERTY

PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

PURPOSE:
GENERAL ACTIVITIES:
APPROVAL REQUESTED
SUBDIVISION OR RESUBDIVISION
SUBDIVISION (SUB. SEC. 4, 5, 6) RESUBDIVISION (SUB. SEC. 4, 5, 6) MINOR MODIFICATION OF SUBDIVISION OR RESUBDIVISION (SUB. SEC. 4.6) AMENDMENT OF SUBDIVISION REGULATIONS (SUB. SEC. II)
SEE SUBDIVISION REGULATIONS SEC. 4 FOR APPLICATION FEE SCHEDULES.
SOIL EROSION AND SEDIMENT CONTROL PLAN (ESCP) (ZR SEC. 2.117; 18) (SUB. 6.14)
SITE PLAN OF DEVELOPMENT (POD) (ZR SEC. 14)
POD APPROVAL (ZR SEC. 14.1.1.1; 14.1.2) MODIFICATION OF AN APPROVED POD (ZR SEC. 14.1.1.1) MINOR MODIFICATION OF A SITE POD (ZR SEC. 14.1.1.2)
SPECIAL PERMIT(S) (ZR SECTION 17.3) SECTION:
OTHER SPECIAL PERMIT(S). CITE ZR SECTION AND DESCRIBE ACTIVITY:
ZONING:
SITE SPECIFIC CHANGE OF ZONING DISTRICT AND MAP (ZR SEC. 1.2; 1.3; 4) AMENDMENT OF ZONING REGULATIONS (SEC. 1.2; 1.3; 4)
CERTIFICATION AND SIGNATURE
The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations" and completed the application with complete and accurate information:
Property Owner, Applicant, or Applicant's Agent:
APPLICANT OR AGENT SIGNATURE PRINTED NAME DATE

PRINTED NAME

DATE

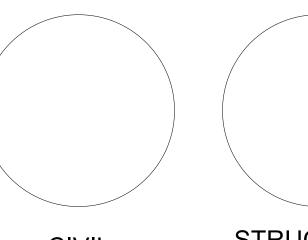
OWNER'S SIGNATURE, IF DIFFERENT

LOCATION MAP

PARCEL NUMBER: 22-0042-00008 MAP-BLOCK-LOT: 22-0042-00008 N 79*22'23" E 0' 250' 500' 1000' 2000'

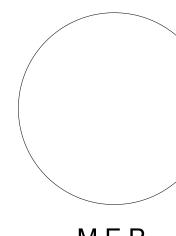
96 WEST STREET **UPSCALE CONSTRUCTION INC.**

96 WEST STREET VERNON, CT 06066



ENGINEER

STRUCTURAL



ENGINEER

M.E.P. **ENGINEER**

P&Z SET / PERMIT SET 08/29/2022



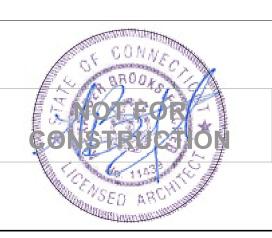
RENDERING PLACEHOLDER ONLY

PERSPECTIVE RENDERING OF PROJECT

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511 203.772.1990 Fax 203.772.1997 www.newmanarchitects.com

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AVRAHAM MEHL 34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER KRATZERT, JONES & ASSOCIATES INC 1755 MERIDEN-WATERBURY TPK, SOUTHINGTON, CT, 06489 (860) 621-3638

STRUCTURAL ENGINEER THORNTON TOMASATTI 10 N MAIN STREET, SUIT 307 WEST HARTFORD, CT, 06107 (212) 367-2750

CONSULTING ENGINEERING SERVICES 811 MIDDLE STREET MIDDLETOWN, CT, 06457 (860) 632-1682

PHASE: P&Z SET / PERMIT SET					
REVISIONS					
NO	DATE	DESCRIPTION			
-					

96 WEST STREET

96 WEST STREET

VERNON, CT 06066

20210044

.E:	DRAWN BY:
	DRW
<u> </u>	CHECKED BY:
129/2022	CHK

COVERSHEET

CS.00

COPY OF LEGAL DESCRIPTION

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FILE NO.: 1804924 - SCHEDULE A:

Those two certain pieces or parcels of land located on the westerly side of West Street in the Town of Vernon, County of Tolland ond State of Connecticut more porticularly set forth as follows:

FIRST PIECE: A certain piece or parcel of land, situated in the Town of Vernon, County of Tollond and State of Connecticut, being more particularly bounded and described as follows:

Beginning at the southeast corner of the land herein described at a stone bound standing at the intersection of the westerly line of fleet Street and the northerly line of the New York, New Haven and Hartford Railroad Company' right of soy, and said stone bound stands 26.05 feet easterly from the southeast corner of a dwelling house standing on the premises herein described; and running thence from the point of beginning in said Railroad Company's right of way line S. 84 29' W., 180.6 feet to a stone bound; thence N. 0 32' E., 29.1 feet to a stone bound; thence N. 89 28' W., 165 feet to o stone bound; thence S. 6 37' W., 33 feet to a stone bound; then N. 89 10' W., 400 feet to a stone bound; thence westerly in a curve of obout 920 feet rodius obout 175 feet, (chord bears N. 83 25' W., 174.4 feet to a stone bound on line of land now or formerly of Fronk Kaminski; off of the obove courses are on Railrood Compony's right of way line; thence in line of land now or formerly of said Kaminski, N. 5 15' E., 54.8 feet to o marked fence post; thence N. 22 42' E., 56 feet to a marked fence post; thence N. 28 48' E., 91 feet to a marked fence post; thence N. 17 18' E., 101.7 feet to a morked fence post; these last four courses all being on line of land nor or formerly of said Kaminski; thence S. 87 56' E., 57.6 feet to a stake; thence some course, 379.9 feet to a stake; thence S. 76 36' E., 203-1/2 feet to a stoke; thence S. 78 06' E., 261.3 feet to a stoke standing in the westerly line of West Street and 15 feet northerly from a double elm tree obout 10 inches in diameter; thence in line of said West Street, S. 21 15' W., 185 feet to ploce of beginning.

The obove described land is bounded on the north by land formerly of M.T. Stevens & Sons Compony; eost by West Street; south by the New York, New Hoven ond Hartford Railroad Compony's right of way; and west by land now or formerly of said Kaminski; and contains by calculotion, 5—1/2 acres and 2.3 square rods of fond.

Being the same premises conveyed to Joseph L. Bury by Warranty Deed of Frank Parizek Monufacturing Compony, Inc. dated April 1, 1949 and recorded in Volume 89, Poge 19 of the Vernon Land Records.

EXCEPTING HOWEVER, from the above described premises, that certain piece of parcel of land described in a Warranty Deed from Joseph L. Bury herein to Edward Amenta dated January 5, 1971 ond recorded in Volume 190, Poge 544 of the Vernon Land Records.

SECOND PIECE: All that certain piece or parcel of land together with improvements thereon situate, lying and being in the Town of Vernon, County of Tolland ond State of Connecticut, delineated and shown on a certain map entitled: "New York, New Haven & Hartford Railroad Real Estate & Right of Way Department Land in Rockville, Conn. To be conveyed to Joseph L. Bury Scale 1 in. — 50 Ft. Mar. 1949", and bounded and described as follows:

Beginning at a point in the northerly line of the right of way of Rockville Branch so—called, of the Releasor, said point being distant 20 feet northerly, measured at right angles from station 63 & 52.86 of the monumented center line of said Rockville Branch and 15 feet more or less westerly of the west line of West Street as measured along of said right of way line;

Thence westerly 125.95 feet along remaining railroad land in a line parallel with said monumented center line and distant 20 feet northerly, measured at right angles therefrom to the intersection of said parallel line at station 64 & 78.81 of said monumented center line with a line parallel with and distant 20 feet northerly, measured at right angles from the monumented center line of the Melrose Branch, so — called, of said Releasor;

Thence continuing westerly 216.29 feet along remaining railrood land in a line parallel with said monumented center line of said Melrose Bronch ond distort 20 feet northerly, measured at right angles therefrom to a point at right angles opposite station 378 & 93.25 of said last mentioned center line;

Thence northerly at right angles to the last described line and along remaining railroad land and land now or formerly of the Frank Parizek Manufacturing Company, each in port, 46 feet to a point;

Thence easterly along land now or formerly of said Manufacturing Company, and at right angles to the last described line, 165 feet to a point;

Thence southerly 33 feet along land now or formerly of said Manufacturing Company, and at right angles to the last described line, to a point distort 33 feet northerly, measured at right angles opposite station 380 & 58.25 of said monumented center line of said Melrose Branch;

Thence easterly along land now or formerly of said Manufacturing Compony and at right angles to the last described line, 176.57 feet to the point of beginning;

Containing 9,072 square feet more or less.

* Surveyor's Note: Page 2 of the legol description from the vesting deed is missing from Schedule A.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

(BENEFITS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

COMMITMENT FILE NO.: 1804924 - SCHEDULE B - II: Numbers correspond with survey—related Schedule B exception items contained in the above referenced Title Commitment

6. Lease Agreement between State of Connecticut Department of Transportation and Joseph L. Bury, Jr. dated December 17, 2001 and recorded January 10, 2002 in Volume 1367 Page 288 of the Vernon Lond Records.

A/C A/V AB	AIR CONDITIONING AUDIO VISUAL ANCHOR BOLT	FLX FN	FLEXIBLE FENCE	PTD PTD PTN	PAINTED PAPER TOWEL DISPENSER PARTITION
ABGWB ABV AC	ABUSE RESISTANT GWB ABOVE ACOUSTICAL	FNDN FOC FOF	FOUNDATION FACE OF CONCRETE FACE OF FINISH	PTR PUB PVC	PAPER TOWEL RECEPTOR PUBLIC POLYVINYL CHLORIDE
ACC	ACCESS	FOM	FACE OF MASONRY	PVG	PAVING
ACP	ACOUSTICAL CEILING PANEL	FOS	FACE OF STUD(S)	PVMT	PAVEMENT
ACT AD ADD	ACOUSTICAL CEILING TILE AREA DRAIN ADDENDUM	FP FPG FPL	FIRE PROTECTION FIREPROOFING FLOOR PLATE	PWD QT	PLYWOOD QUARRY TILE
ADH ADJ	ADHESIVE ADJACENT	FR FRC	FRAME(D), (ING) FIRE RESISTANT COATING	R	RISER
ADJUST	ADJUSTABLE	FRGD	FORGED FIBERGLASS REINFORCED PLASTIC FIREPLACE	RA	RETURN AIR
AFF	ABOVE FINISHED FLOOR	FRP		RAD	RADIUS
AGG	AGGREGATE	FRPL		RAG	RETURN AIR GRILLE
AHU	AIR HANDLING UNIT	FRT	FIRE RETARDANT TREATED FULL SIZE FOOTING	RAI	RETURN AIR INTAKE
ALT	ALTERNATE	FS		RB	RUBBER BASE
ALUM	ALUMINUM	FTG		RBS	RUBBLE STONE
NC	ANCHORAGE	FTR	FIN TUBE RADIATION	RBT	RABBET
NOD	ANODIZED	FURR	FURRED, FURRING	RC	REINFORCED CONCRETE
NP NPPROX NPT	ACCESS PANEL APPROXIMATE APARTMENT	FUT GA	FUTURE GAUGE	RD RE REF	ROOF DRAIN REINFORC(E), (ED), (ING) REFERENCE, REFRIGERATOR
RCH	ARCHITECTURAL, ARCHITECT	GALV	GALVANIZED	REG	REGISTER
SB	ASBESTOS	GB	GRAB BAR	REM	REMOVE
SC	ABOVE SUSPENDED CEILING	GC	GENERAL CONTRACTOR	REQD	REQUIRED
ASPH	ASPHALT	GF	GROUND FACE	REQMT	REQUIREMENT
AT	ASPHALT TILE	GFRC	GLASS FIBER REINFORCED CONCRETE	RES	RESILIENT
WP	AUTOMATIC ACOUSTICAL WALL PANEL	GI GKT GL	GALVANIZED IRON GASKET GLASS, GLAZING	RET RETG REV	RETURN RETAINING REVISION
BD	BULLETIN BOARD	GLB	GLASS BLOCK	RFG	ROOFING
BR	BASEBOARD RADIATION	GLF	GLASS FIBER	RFH	ROOF HATCH
D	BOARD	GP	GALVANIZED PIPE	RFL	REFLECT(ED), (IVE), (OR)
EL	BELOW	GPL	GYPSUM LATH	RFS	ROOM FINISH SCHEDULE
IT	BITUMINOUS	GPPL	GYPSUM PLASTER	RH	RIGHT HAND
JT	BED JOINT	GPT	GYPSUM TILE	RHMS	ROUND HEAD MACHINE SCRE'
LDG	BUILDING	GRD	GRADE, GRADING	RHRB	RIGHT HAND REVERSE BEVEL
LK	BLOCK	GRN	GRANITE	RHWS	ROUND HEAD WOOD SCREW
LKG	BLOCKING	GSS	GALVANIZED SHEET STEEL	RL	RAIL(ING)
LLD	BOLLARD	GST	GLAZED STRUCTURAL TILE	RM	ROOM
LST	BLUESTONE	GT	GROUT	RO	ROUGH OPENING
M	BEAM	GVL	GRAVEL	ROW	RIGHT OF WAY
MK	BENCHMARK	GWB	GYPSUM WALLBOARD	RT	RUBBER TILE
TC P	BOTTOM BACK PLASTERED	GYP	GYPSUM	RTG RUB	RATING RUBBER
PL	BEARING PLATE	H/C	HANDICAP(PED)	RV	ROOF VENT
RG	BEARING	HB	HOSE BIBB	RVS	REVERSE SIDE
RK	BRICK	HBD	HARDBOARD	RVT	RIVET
RZ	BRONZE	HC	HOLLOW CORE	RWC	RAINWATER CONDUCTOR
S	BOTH SIDES	HD	HEAVY DUTY	RWL	RAIN WATER LEADER
SMT TWN JR	BASEMENT BETWEEN BUILT UP ROOF	HDNR HDR HDWR	HARDENER HEADER HARDWARE	S SC	SOUTH SOLID CORE
L	BEVELED	HES	HIGH EARLY STRENGTH	SCH	SCHEDULE
V	BOTH WAYS	HH	HAND HOLE	SCN	SCREEN
AB AD	CABINET COMPUTER AIDED DRAFTING	HJT HK(S) HM	HEAD JOINT HOOK(S) HOLLOW METAL	SCT SD SDSL	STRUCTURAL CLAY TILE STORM DRAIN, SMOKE DETEC SOLID SURFACE
3	CATCH BASIN	HORIZ	HORIZONTAL	SECT	SECTION
3	COUNTER BORE	HPT	HIGH POINT	SF	SQUARE FOOT
M L	CEMENT CUBIC FOOT COUNTER FLASHING	HR HT HTG	HOUR HEIGHT HEATING	SFGL SG SH	SAFETY GLASS SHEET GLASS SHEL(F), (VING)
}	CORNER GUARD	HVAC	HEATING VENTILATING AND AIR CONDITIONING HARDWOOD	SHO	SHOR(E), (ING)
-{	CHALK	HWD		SHT	SHEET
IAM IR IRL	CHAMFER CHROME CHAIR RAIL	HX ID	HEXAGONAL INSIDE DIAMETER	SHTH SIM SKLT	SHEATHING SIMILAR SKYLIGHT
ΗT	CEILING HEIGHT	ILK	INTERLOCK	SL	SLEEVE
	CAST IRON	INCL	INCLUD(ED), (ING)	SLNT	SEALANT
P R RC	CAST IN PLACE CIRCLE CIRCUMFERENCE	INS INSC INSF	INSULATE, INSULATION INSULATING CONCRETE INSULATING FILL	SLR SP SPC	SEALER SOUNDPROOF SPACER
J	CONTROL JOINT	INSTR	INSTRUCTOR	SPEC(S)	SPECIFICATIONS(S)
L	CENTER LINE	INT	INTERIOR	SPKR	SPEAKER
.G .K(G) .L	CEILING CAULK(ING) CONTRACT LIMIT LINE	INTM INV	INTERMEDIATE INVERT	SPL SQ SSK	SPECIAL SQUARE SERVICE SINK
L	CONTRACT LIMIT LINE	JC	JANITOR'S CLOSET	SSTL	STAINLESS STEEL
OS	CLOSET	JF	JOINT FILLER	ST	STAIN
R S I	CLEAR CLOSURE CONSTRUCTION MANAGER	JST JT	JOINT JOINT	ST STA STD	STONE STATION STANDARD
T U	CERAMIC MOSAIC TILE CONCRETE MASONRY UNIT COLUMN	KD KIT KO	KNOCK(ED) DOWN KITCHEN	STG STL STN	SEATING STEEL STONE
)L)MB)MP	COMBINATION COMPRESS(ED), (ION), (IBLE)	KPL	KNOCKOUT KICKPLATE	STOR STR	STONE STORAGE STRUCTURAL
OMPO OMPT ONC	COMPOSITE, COMPOSITION COMPARTMENT CONCRETE	L LAB LAD	LENGTH LABORATORY LADDER	SUS SVC SVFC	SUSPEND(ED) SERVICE SHEET VINYL FLOOR COVERIN
ONST	CONSTRUCTION	LAM	LAMINATE(D)	SYM	SYMMETRICAL
ONT	CONTINUOUS	LAV	LAVATORY	SYS	SYSTEM
ONTR OR ORR	CONTRACTOR CORRUGATED CORRIDOR	LB LBL	LAG BOLT LABEL	T T&B	TREAD
PG PR	COPING COPPER	LC LCC LF	LIGHT CONTROL LEAD COATED COPPER LINEAR FOOT	T&G T.O.	TOP AND BOTTOM TOUNGE AND GROOVE TOP OF
PT R RG	CARPET CARD READER	LH LHRB	LEFT HAND LEFT HAND REVERSE BEVEL LINOLEUM	TB TC	TOWEL BAR TERRA COTTA
3	CROSS GRAIN COURSE(S) COUNTERSINK, COUNTERSUNK	LIN LL LMS	LIVE LOAD LIMESTONE	TEL TEMP TG	TELEPHONE TEMPORARY TEMPERED GLASS
MT.	CASEMENT	LPT	LOW POINT	THK	THICK(NESS)
	CAST STONE	LT	LIGHT	THR	THRESHOLD
HK R	CERAMIC TILE COAT HOOK COUNTER	LTL LVR LW	LINTEL LOUVER LIGHT WEIGHT	TKBD TKS TMPD	TACK BOARD TACK STRIP TEMPERED
IH	CABINET UNIT HEATER	LWC	LIGHT WEIGHT CONCRETE	TOC	TOP OF CURB/CONCRETE TOLERANCE
IST	CUSTODIAL, CUSTODIAN	LWF	LIGHT WEIGHT FILL	TOL	
,	CONNECTION CUBIC YARD	M MAS	METER(S) MASONRY	TOM TOS TOW	TOP OF MASONRY TOP OF STEEL TOP OF WALL
A	DRAIN DOUBLE ACTING DEMOLISH DEMOLITION	MATL	MATERIAL	TP	TOILET PAPER
EMO		MAX	MAXIMUM	TPD	TOILET PAPER DISPENSER
EMO	DEMOLISH, DEMOLITION	MB	MACHINE BOLT	TPL	TOP OF PLATE TOILET PARTITION TRANSOM
EP	DEPRESSED	MBR	MEMBER	TPTN	
ET	DETAIL	MECH	MECHANICAL	TR	
=	DRINKING FOUNTAIN	MED	MEDIUM	TSL	TOP OF SLAB
-{	DOUBLE HUNG	MEP	MECHANICAL, ELECTRICAL, PLUMBING	TV	TELEVISION
A AG M	DIAMETER DIAGONAL DIMENSION	MEZZ MFR MH	MEZZANINE MANUFACTURER MANHOLE	TYP TZ	TYPICAL TERRAZZO
V	DIVISION	MHO	MAGNETIC HOLD OPEN	UC	UNDERCUT
-	DEAD LOAD	MI	MALLEABLE IRON	UGD	UNDERGROUND
IPR	DAMPER	MIN	MINIMUM	UNF	UNFINISHED UNLESS NOTED OTHERWISE URINAL
IT	DEMOUNTABLE	MIR	MIRROR	UNO	
I	DOWN	MISC	MISCELLANEOUS	UR	
PL	DAMPPROFFING DISPOSAL	MLDG MM	MOULDING MILLIMETER(S)	VAR	VARNISH
PR	DISPENSER	MO	MASONRY OPENING	VB	VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL
R	DOOR	MOD	MODEL	VCT	
RB	DRAINBOARD	MODU	MODULAR	VERT	
S	DOWNSPOUT	MOV	MOVABLE	VF	VINYL FABRIC
Γ	DRAIN TILE	MR	MOISTURE RESISTANT	VG	VERTICAL GRAIN
TA	DOVETAIL ANCHOR	MT(D)	MOUNT(ED)	VIF	VERIFY IN FIELD
TS	DOVETAIL ANCHOR SLOT	MTHR	METAL THRESHOLD	VIN	VINYL
W	DISHWASHER	MTL	METAL	VJ	V-JOINT(ED)
NG	DRAWING	MTLPL	METAL PANEL	VNB	VINYL BÀSÉ
NR	DRAWER	MULL	MULLION	VNR	VENEER
WTR	DUMBWAITER	MWK	MILLWORK	VRM	VERMICULITE
	EAST	N	NORTH	VT	VINYL TILE
A	EACH	NA	NOT APPLICABLE	VWC	VINYL WALL COVERING
B	EXPANSION BOLT	NAT	NATURAL	W	WEST
CP	ENVIRONMENTAL CEILING PANEL	- NC	NOISE COEFFICIENT, NONCOMBUSTIBLE	W/	WITH
F	EXHAUST FAN	NGVD	NATIONAL GEOGRAPHICAL VERTICAL DATA	W/O	WITHOUT
J	EXPANSION JOINT	NI	NICKEL	WB	WOOD BASE
_	ELEVATION	NIC	NOT IN CONTRACT	WBD	WALLBOARD
	EPOXY PAINT	NL	NAILABLE	WC	WATER CLOSET
R LEC LEV	ELECTRIC(AL) ELEVATOR	NMT NOM NR	NONMETALLIC NOMINAL NOISE REDUCTION	WD WFS WG	WOOD WATERPROOF FLOORING SYS WIRE GLASS
MER	EMERGENCY	NRC	NOISE REDUCTION NOISE REDUCTION COEFFICIENT NOT TO SCALE	WH	WALL HUNG
NCL	ENCLOSURE	NTS		WH	WATER HEATER
NLG PBD PX	ENLARGED ELECTRIC PANELBOARD EPOXY	OA OBS	OVERALL OBSCURE	WHB WI WIN	WHEEL BUMPER WROUGHT IRON WINDOW
Q	EQUAL	OC	ON CENTER	WKMT	WALK-OFF MAT
QPT	EQUIPMENT	OD	OUTSIDE DIAMETER	WM	WIRE MESH
ST	ESTIMATE EXISTING TO REMAIN ELECTRIC WATER COOLER	OH	OVERHEAD, OPPOSITE HAND	WP	WATERPROOF(ING)
TR		OHMS	OVAL HEAD MACHINE SCREW	WPT	WORKING POINT
WC		OHWS	OVAL HEAD WOOD SCREW	WR	WASTE RECEPTACLE
VP	ENVIRONMENTAL WALL PANEL EXCAVATE	OP	OPAQUE	WRP	WATER REPELLANT
(CA		OPNG	OPENING	WS	WATER STOP/ WEATHERSTRI
XG	EXISTING	OPP	OPPOSITE OPPOSITE HAND OPPOSITE SURFACE	WSCT	WAINSCOT
XH	EXHAUST	OPPHD		WTBD	WHITEBOARD
XMP	EXPANDED METAL PLATE	OPS		WTW	WALL TO WALL
KP KS	EXPOSED EXTRA STRONG	OWN	OPPOSITE SURFACE OPEN-WEB OWNER	WWF WWM	WELDED WIRE FABRIC WELDED WIRE MESH
(T	EXTERIOR FIRE ALARM	PAR PB	PARALLEL PANIC BAR		
ACT AI	FACTORY FRESH AIR INTAKE	PBD PCF	PARTICLE BOARD POUNDS PER CUBIC FOOT		
AS B BD	FASTENER FACE BRICK FIBER BOARD	PCC PE PERF	PRECAST CONCRETE PORCELAIN ENAMEL PERFORATE(D)		
BO BPL	FURNISHED BY OTHERS FABRIC PANEL	PERI PEX	PERIMETER `´CROSS-LINKED POLYETHYLENE		
BRK D E	FIRE BRICK FLOOR DRAIN FIRE EXTINGUISHER	PG PKG PL	PLATE GLASS PARKING PROPERTY LINE		
EC F	FIRE EXTINGUISHER CABINET FINISH(ED) FLOOR	PLAM PLAS	PLASTIC LAMINATE PLASTER		
FE FL	FINISHED FLOOR ELEVATION FINISHED FLOOR LINE	PLF PLT(D)	POUNDS PER LINEAR FOOT PLATE(D)		
G GL HMS	FIXED GLASS FIBERGLASS FLAT HEAD MACHINE SCREW	PNL PNT(D) POLY	PANEL PAINT(ED) POLYETHYLENE		
HS HWS	FIRE HOSE STATION FLAT HEAD WOOD SCREW	PORC PPT	PORCELAIN PRESSURE PRESERVATIVE TREATED		
IN IXT	FINISH(ED) FIXTURE	PR PREFAB	PAIR PREFABRICATED		
JT	FLUSH JOINT	PREFIN	PREFINISHED		

PREFORMED PRESTRESSED

POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POST-TENSIONED

PRESSURE TREATED

FINISH(ED)
FIXTURE
FLUSH JOINT
FLOOR CLEANOUT

FLASHING FLOOR

SHEET LIST SHEET NUMBER SHEET NAME 0.0-GENERAL CS.00 COVERSHEET G0.00 SHEET INDEX, SYMBOLS & ABBREVIATIONS 0.1-CIVIL LOCATION MAP EXISTING CONDITIONS SITE PLAN LIGHTING PLAN DETAL SHEET & SITE NOTES DETAL SHEET & SITE NOTES 1.1-ARCHITECTURAL A1.01 OVERALL FLOOR PLANS A2.01 EXTERIOR ELEVATIONS Grand total: 10

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES. MATERIAL SYMBOLS **NEWMAN** ARCHITECTS, PC 300 York Street, New Haven, CT 06511 203.772.1990 Fax 203.772.1997 www.newmanarchitects.com DRAINAGE MAT THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND WEEP HOLES ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT ©

BATT INSULATION

BACKER ROD

BUILDING SECTIONS

WALL SECTIONS

DETAILS,

PLANS

ENLARGED

INTERIOR **ELEVATION**

EXTERIOR

ELEVATION

WINDOW TYPE

DOOR TYPE

WALL TYPE

ELEVATION

CENTER LINE,

DASHED LINE,

ROOM NAME/

PROPERTY

MATCHLINE

LINE/LIMIT OF

CONSTRUCTION

ROOM NUMBER

HIDDEN, ABOVE OR BEHIND

COLUMN BUBBLE

INSULATION

BLOCKING

DRAFTING SYMBOLS

XXX

 $\langle \mathsf{xxxx} /$

(XXX)

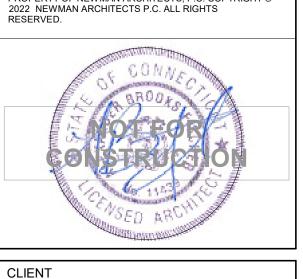
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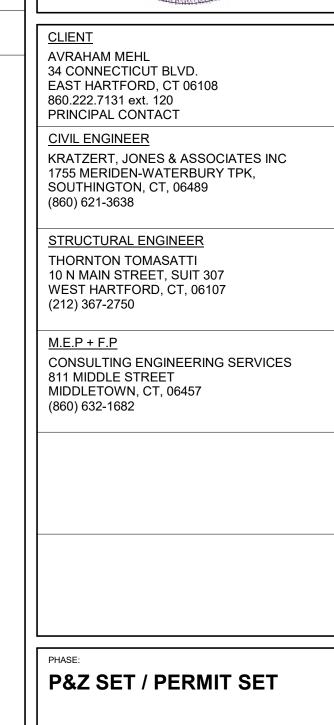
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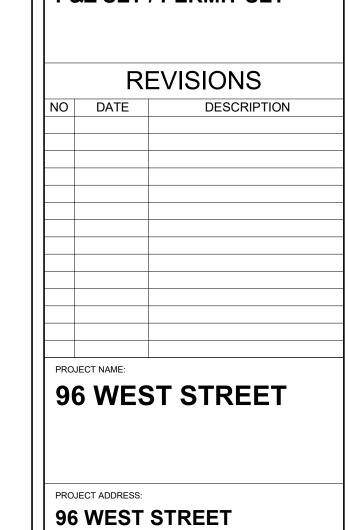
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PLYWOOD







VERNON, CT 06066 PROJECT NUMBER:

SHEET INDEX, SYMBOLS & ABBREVIATIONS

DRAWN BY: 12" = 1'-0" Author CHECKED BY:

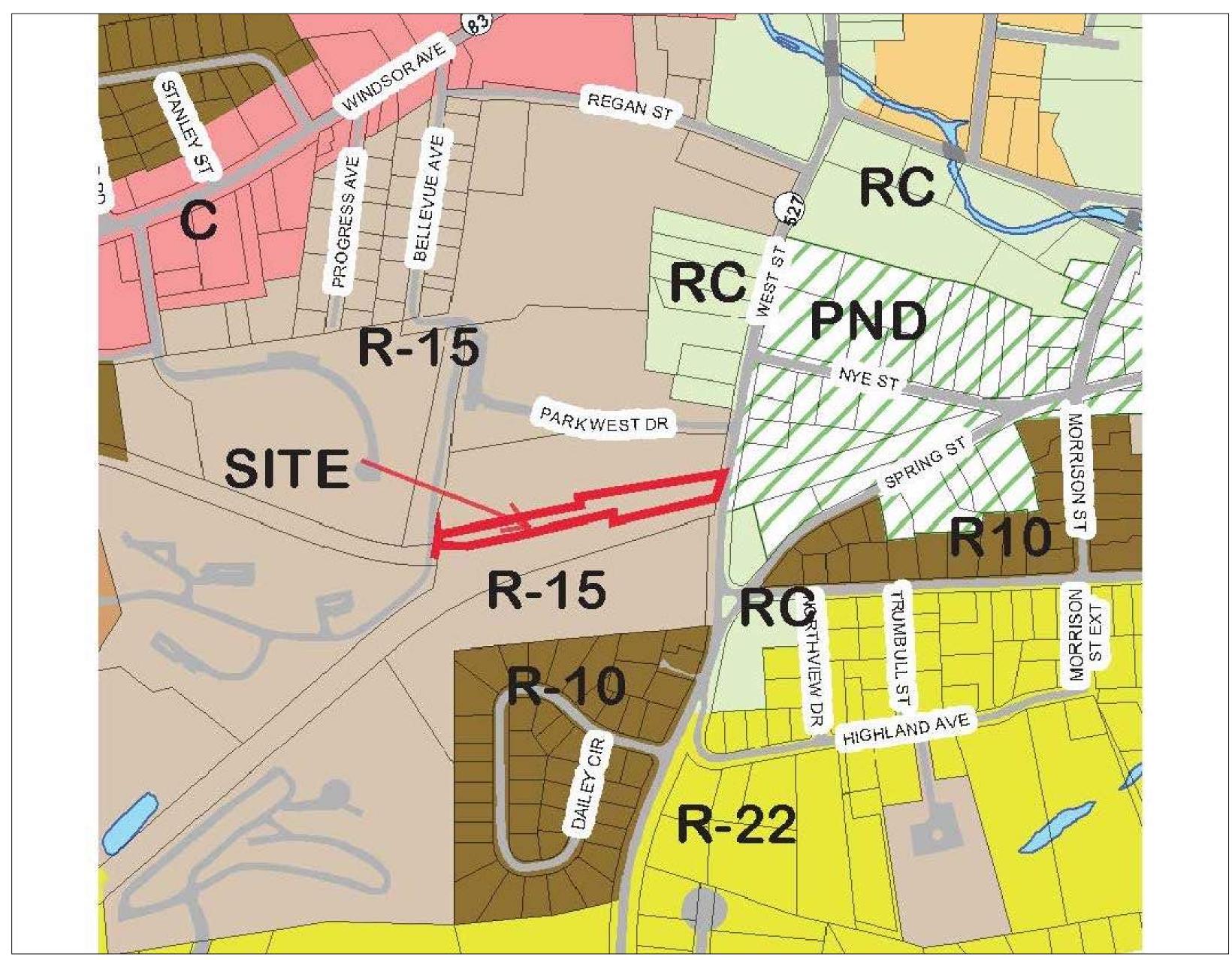
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08/29/2022 DRAWING NUMBER:

20210044

G0.00





LOCATION MAP 1"=200"

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AVRAHAM MEHL 34 CONNECTICUT BLVD. EAST HARTFORD, CT 06108

860.222.7131 ext. 120 PRINCIPAL CONTACT

CIVIL ENGINEER KRATZERT, JONES & ASSOCIATES INC 1755 MERIDEN-WATERBURY TPK, SOUTHINGTON, CT, 06489

(860) 621-3638 EMAIL: INFO@KRATZERTJONES.COM STRUCTURAL ENGINEER

THORNTON TOMASATTI 10 N MAIN STREET, SUIT 307 WEST HARTFORD, CT, 06107 (212) 367-2750

M.E.P + F.P

CONSULTING ENGINEERING SERVICES 811 MIDDLE STREET MIDDLETOWN, CT, 06457 (860) 632-1682

ONE INCH TWO INCH

P&Z SET / PERMIT SET

REVISIONS

96 WEST STREET

96 WEST STREET VERNON, CT 06066

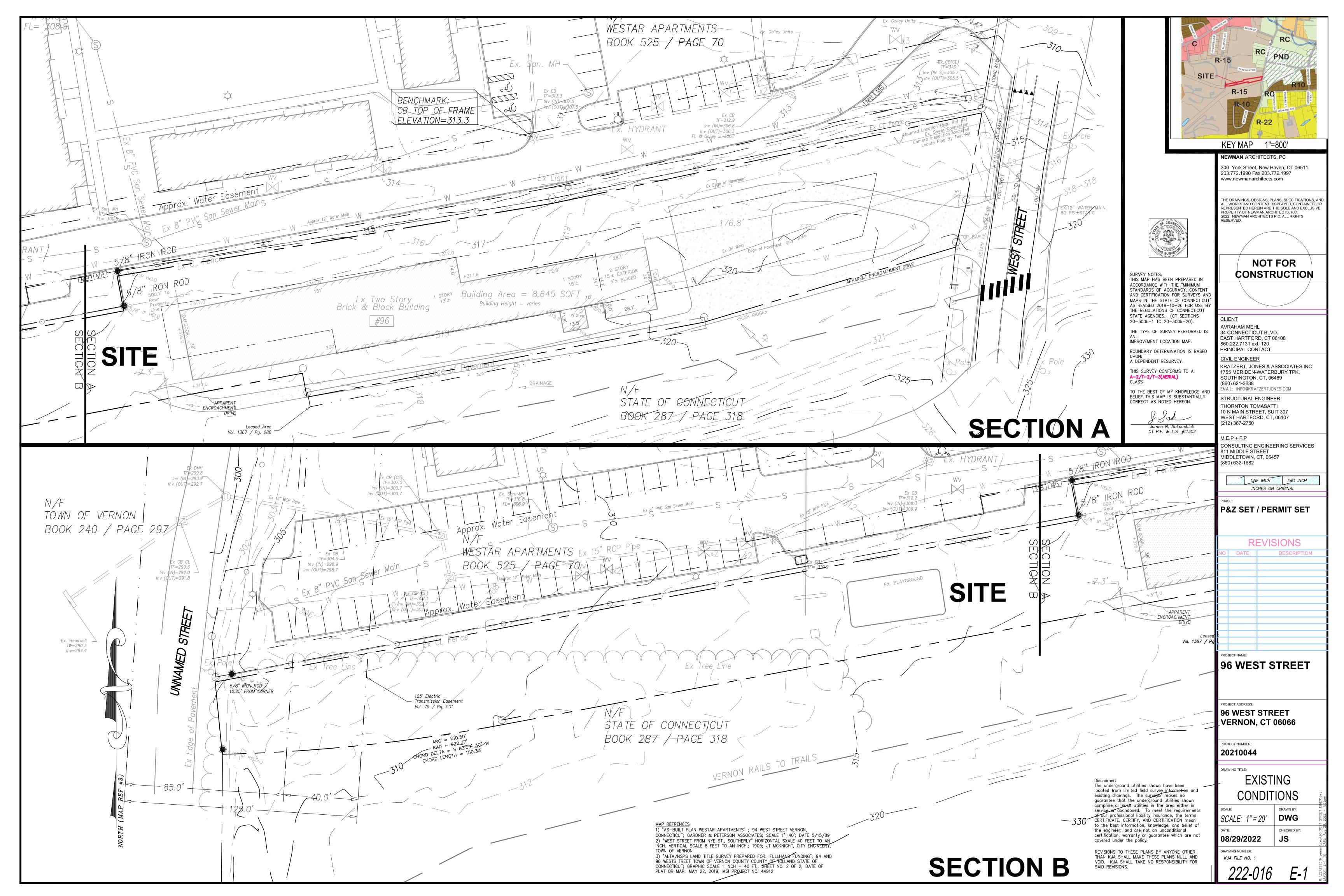
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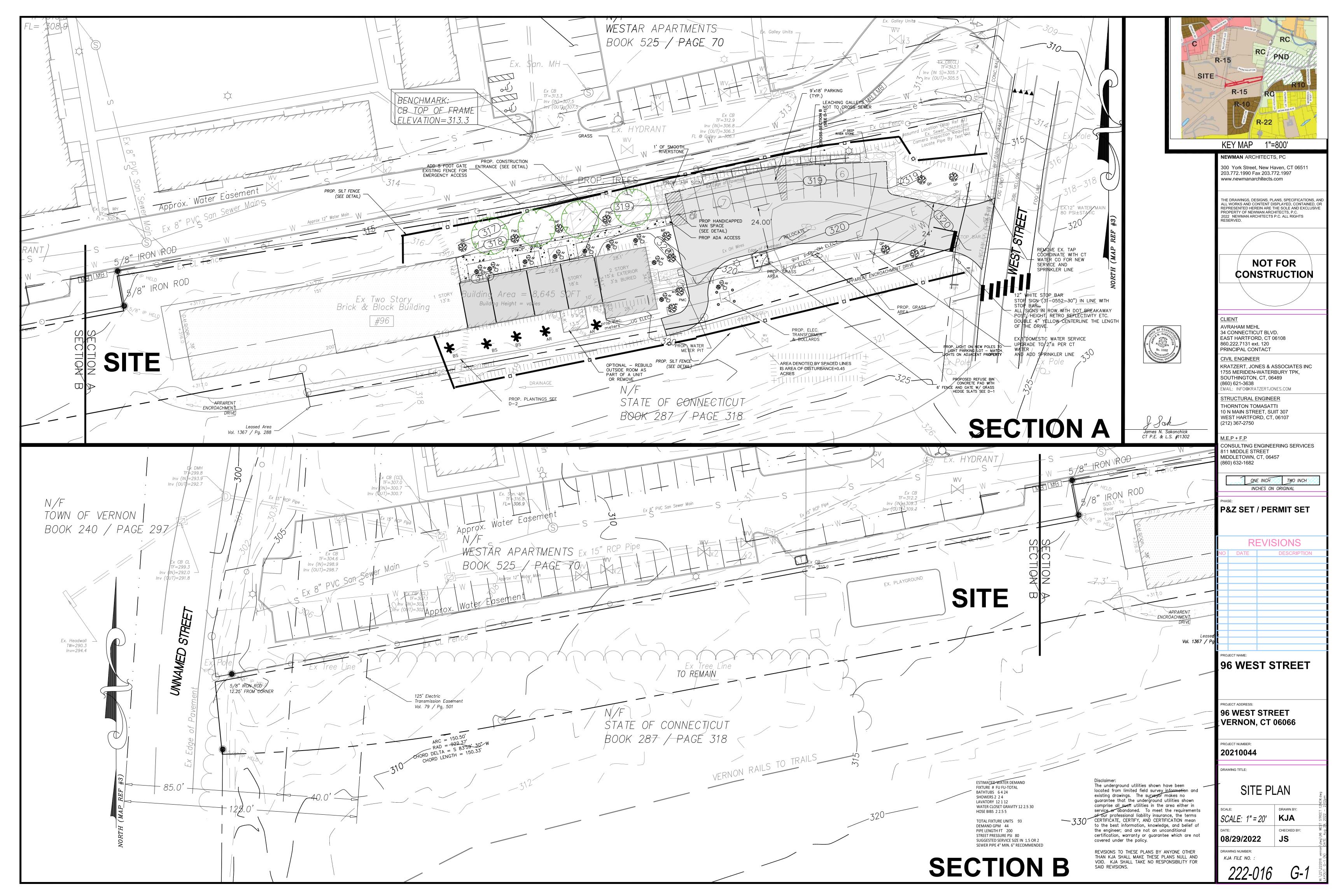
LOCATION MAP

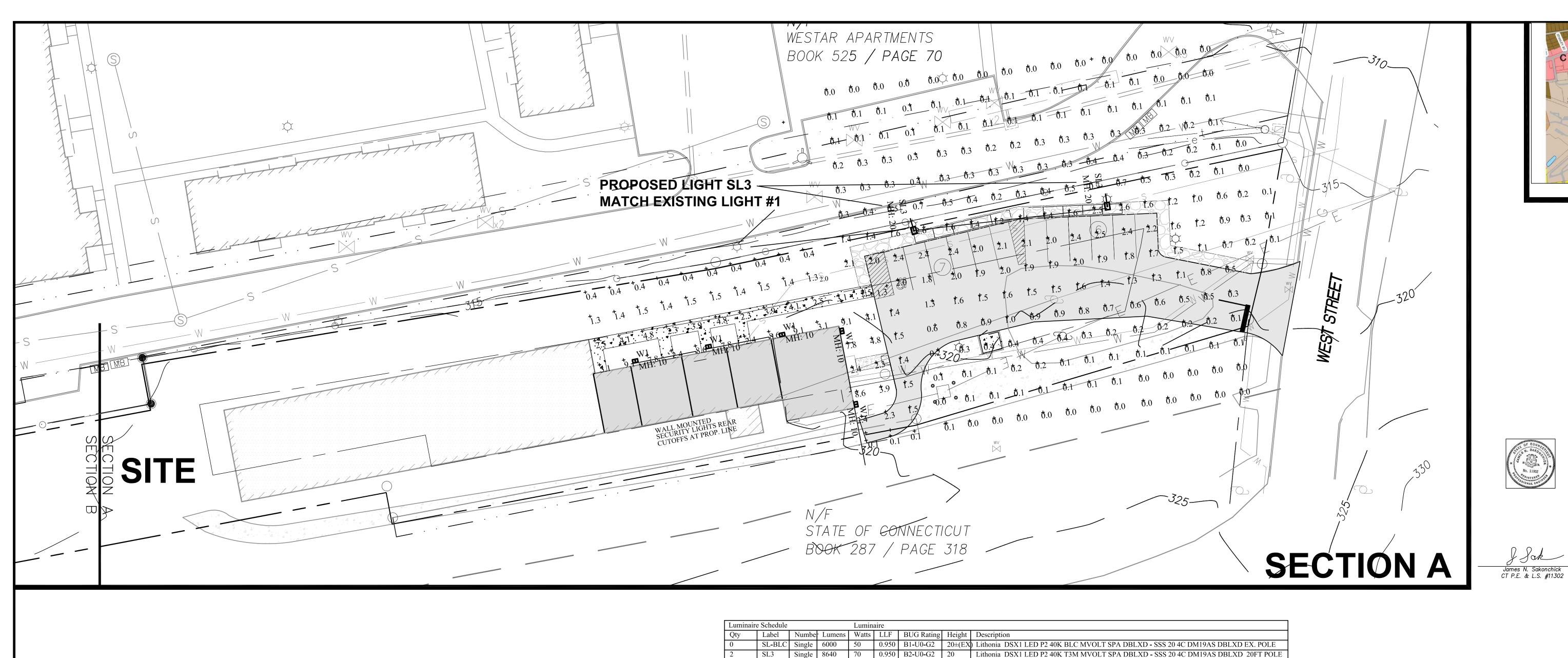
SCALE: 1" = 200' **KJA** 08/29/2022

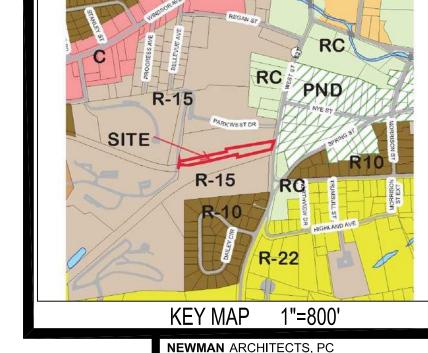
KJA FILE NO. :

222-016 E-0









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REVISIONS DESCRIPTION

96 WEST STREET

PROJECT ADDRESS:

96 WEST STREET **VERNON, CT 06066**

PROJECT NUMBER:

20210044

DRAWING TITLE: **LIGHTING** PLAN

> DRAWN BY: KJA CHECKED BY

> > JS

08/29/2022

RAWING NUMBER: KJA FILE NO. :

- ANCHOR BOLT COVER - FOR THE PREVENTION OF MOISTURE USE DOUBLE NUTS AND WASHERS (DO NOT GROUT ASSEMBLY) — 1" CHAMFER (4) 1"x36" ANCHOR BOLTS AND PIÉR FURNISHED AND INSTALLED BY G.C. PAINT CONCRETE BASE - FOUR #6 VERTICAL BARS THREE #3 HOOPS BOTTOM 3" CLEAR COVER

POLE HEIGHT — 22'-0" POLE DIMENSION — 5" POLE TYPE — STEEL SQUARE POLE FINISH — BRONZE

FULL CUT OFF LIGHT POLE DETAIL POLE LOCATION AT ENTRANCE SEE S-1

ONE VENDOR -Greg Loda (OTHERS OK) Lighting Affiliates 1208 Cromwell Ave

Rocky Hill, CT 06067

Rev. 6/07/16

website: www.lightingaffiliates.com Voice Number : 860-721-1171 x 219 Email Address : gloda@lightingaffiliates.com

the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

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The underground utilities shown have been

existing drawings. The surveyor makes no guarantee that the underground utilities shown

located from limited field survey information and

comprise all such utilities in the area either in

service or abandoned. To meet the requirements

of our professional liability insurance, the terms

CERTIFICATE, CERTIFY, AND CERTIFICATION mean

to the best information, knowledge, and belief of

Specific Luminai Width: Depth: Height:	13-3/4" Wei (34.9 cm) 10" (25.4 cm) 6-3/8" (16.2 cm)	ght: 12 lb: (5.4 kg	Width:	(BBW, ELCW 13-3/4" BBW (34.9 cm) Weight: 4" ELCW (10.2 cm) Weight: 6-3/8" (16.2 cm) For 3/4" NPT side-entry conduit (BBW only)	5 lbs (2.3 kg) 10 lbs (4.5 kg)	application and is carenergy-eard con With an nighttim over corthe D-Selighting	tions. It features a sleek, modern design arefully engineered to provide long-lasting, efficient lighting with a variety of optical atrol options for customized performance. expected service life of over 20 years of the use and up to 74% in energy savings emparable 250W metal halide luminaires, eries Wall is a reliable, low-maintenance solution that produces sites that are conally illuminated.
Orderi DSXW1 LED	ng Inforn	nation		EXA	MPLE	DSXW1 L	ED 20C 1000 40K T3M MVOLT DDBTXD
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type III Medium T4M Type IV Medium T4M Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT 1 120 1 208 1 240 1 277 1 347 7 480 2	Shipped include (blank) Surface mountin bracket BBW Surface- mounted back box (for condi- entry) 3	PE Photoelectric cell, button type ⁴ DMG 0-10V dimming driver (no controls) PIR 180° motion/amblent light sensor, <15° mtg ht ⁵ PIRH 180° motion/amblent light sensor, 15-30′ mtg ht ⁵ PIRIFG3V Motion/ambient sensor, 8-15′ mounting height, ambient sensor enabled at 1k. ⁵
Other Option	Š			Finish (required)			
DF Doub HS Hous	ialled e fuse (120, 277 or 34 le fuse (208, 240 or 4 e-side shield ⁸ ate surge protection ¹	(7V) ⁷ BSW (80V) ⁷ WG (VG	d separately * Bird-deterrent spikes Wire guard Vandal guard Diffused drop lens	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminu DWHXD White	m	OBLBXD Textured	d dark bronze DSSTXD Textured sandstone
Ordered ar DSXWHS U DSXWBSW U DSXWIWG U	House-side shield (one pe light engine) Bind-deterrent spikes Whe guard accessory Vandal guard accessory		options), or, 2 Only availab 3 Back box sh 4 Photocontre 5 PIR and PIRT for details. IL LED/1000 m 6 Cold weathe available with www.lithonis 7 Single fuse (8 Also availab)	photocontrol (PE option). ble with 20C, 700mA or 1000m ips installed on fixture. Cannot ol (PE) requires 120, 208, 240, 1FC3V specifies the Sensor SW notudes ambient light sensor. N A configuration (DSXW1 LED: er (-20C) rated. Not compatible th 347 or 480 voltage options. a.com	A. Not availab be field instal 277 or 347 vol tch SBGR-10- lot available v 20C 1000). e with conduit Emergency co bitage option. Accessories in	le with PIR or PIRH. led. Cannot be orde tage option. Not av ODP control; PIRH s ith "PE" option (bu entry applications. I imponents located i Double fuse (DF) re	

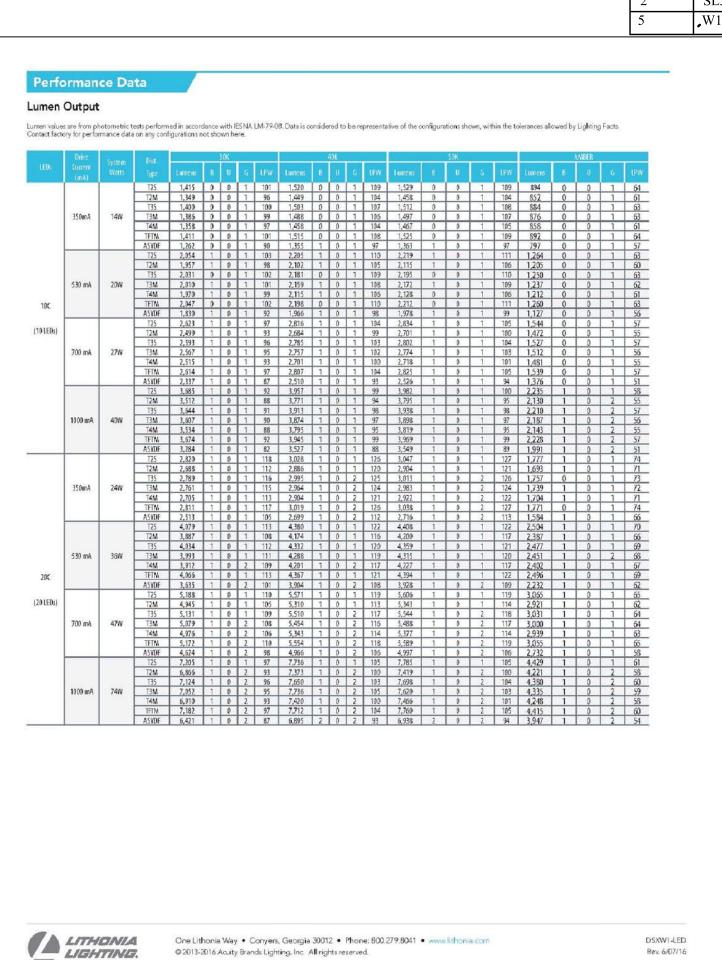
Introduction

D-Series Size 1 LED Wall Luminaire

NOOTHINE FACTS

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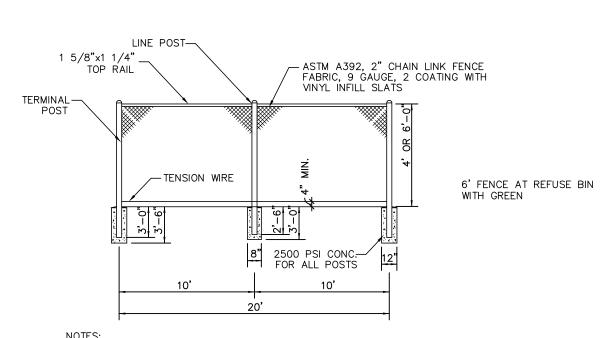
LIGHTING.



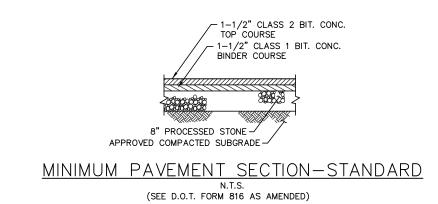


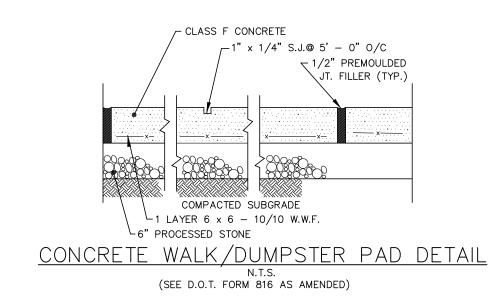
Lithonia WST LED P2 30K VW MVOLT BBW DBLXD

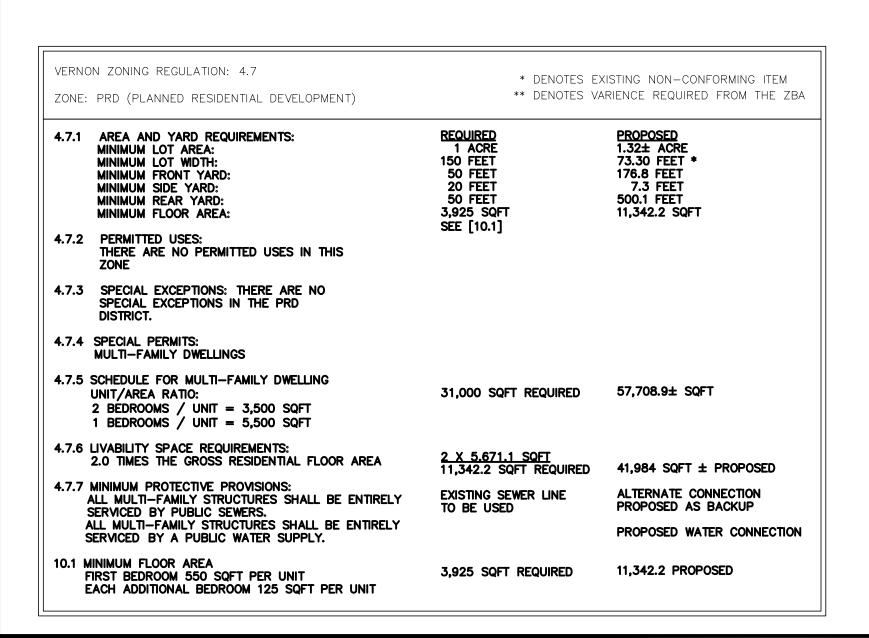
Single 3276 25 0.900 B1-U0-G0 10

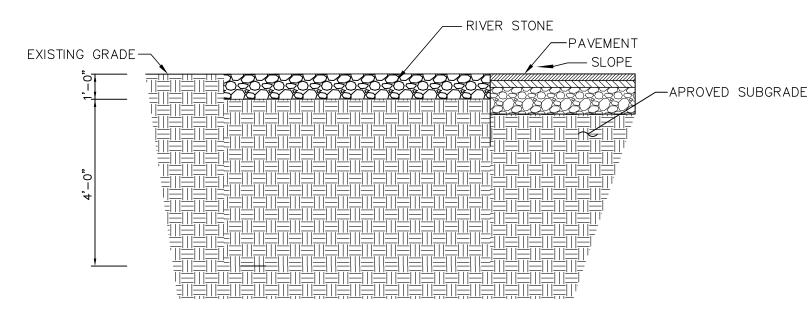


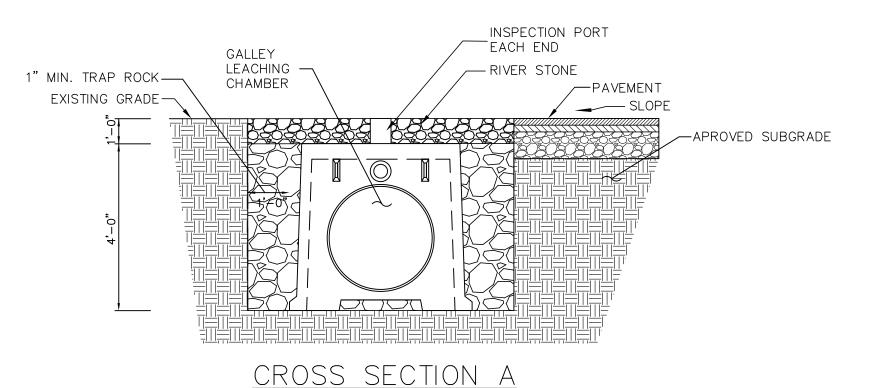
1. BOTTOM TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12 1/2" GAUGE HOG RINGS, 12' O.C. . TOP RAIL COUPLINGS TO BE SPACED EVERY 20'. EXPANSION COUPLINGS TO BE AT 100' INTERVALS. TOP RAIL WIRE TIES SHALL BE SPACED 24" MAX. FENCE SHALL CONFORM WITH CT D.O.T. STANDARDS, INCLUDING PROVIDE CHAINLINK SWING GATES AND MANDOORS AS SHOWN ON

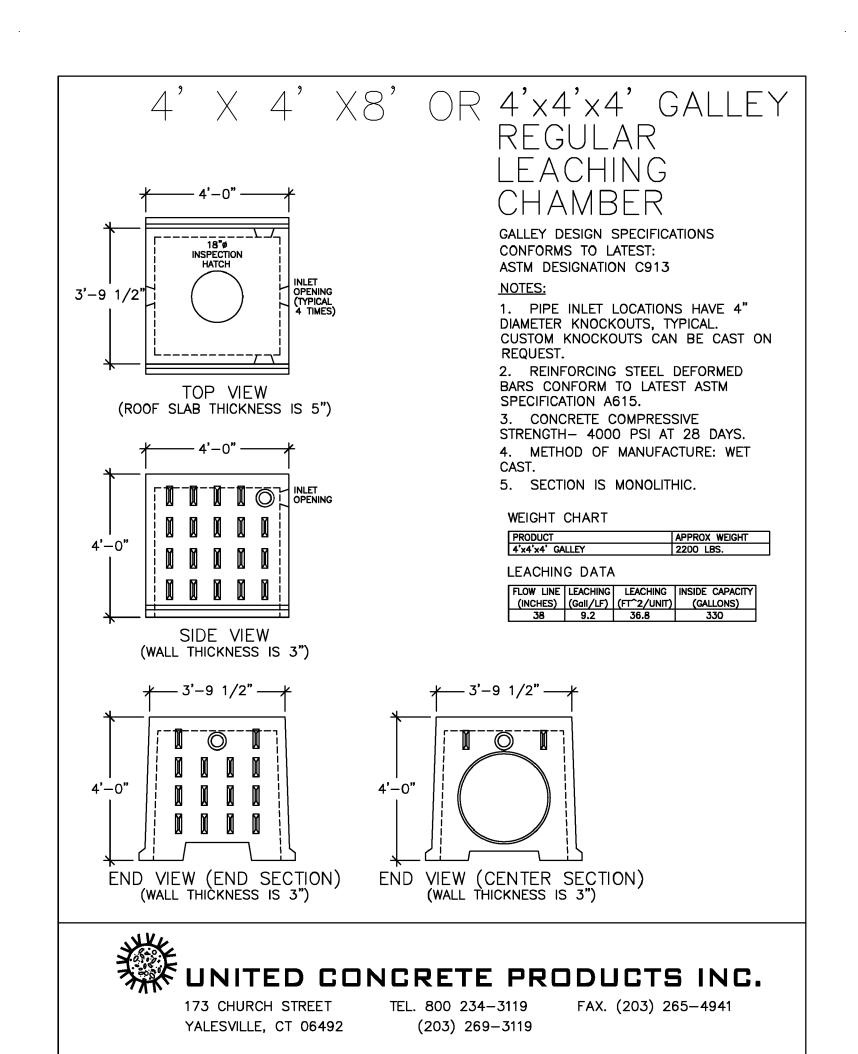












The underground utilities shown have been located from limited field survey information and

existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.



REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

> James N. Sakonchick CT P.E. & L.S. #11302

NOT ALL DETAILS APPLY

1) "AS-BUILT PLAN WESTAR APARTMENTS"; 94 WEST STREET VERNON. CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89 2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SXALE 40 FEET TO AN INCH. VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEERY, TOWN OF VERNON 3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHAND FUNDING"; 94 AND 96 WESTS TREET TOWN OF VERNON COUNTY COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR GRADED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE. IF GRADING IS DELAYED MORE THAN 30 DAYS AFTER SOILS ARE DISTURBED, TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON-VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING
- 2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM
- OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS. 3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN.) AND SEEDED OR MULCHED.
- 4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THIER APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
- 5. ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT WILL BE SUBJECT TO A CITATION.
- 6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE MUNICIPALITY.
- 7. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL,
- OR STAKED HAYBALES. 8. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR
- TO ANY CONSTRUCTION. 9. BRING ANY UNFORSEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY. 10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY 11. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222-7131 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY
- CONSTRUCTION ACTIVITY. 12. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222-713 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN. NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COP'
- OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED 13. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
- 14. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR WINGS SHOULD BE USED TO BREAK THE VELOCITY OF WATER FLOWING ALONG THE GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THE TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET; FOR 3:1 TO 5:1 EVERY 75 FEET; AND FOR 2:1 TO 3:1 SLOPES, EVERY 50 FEET.
- 15. PURSUANT TO THE REGULATIONS; A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.
- 16. CATCH BASIN MAINTENANCE SCHEDULE: SEDIMENT TO BE EXTRACTED FROM SUMP(S) BI-YEARLY IN THE SPRING AND FALL AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER. 17. MATERIAL FROM THE TEMPORARY STOCKPILE WHICH IS NOT USED DURING
- CONSTRUCTION SHALL HAULED OFF-SITE. 18. IF OVER 5 ACRES ARE TO BE DISTURBED, THE SITE CONTRACTOR SHALL
- OBTAIN A NPDES STORMWATER PERMIT. 19. INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONDUCTED ONCE A WEEK AND WITHIN 24-HOURS AFTER EVERY RAINFALL

SITE PLAN CONSTRUCTION SEQUENCE:

- 1. PURSUANT TO THE EROSION SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS OF ENSUING CONSTRUCTION ACTIVITY AND OBTAIN GRADING PERMIT PRIOR TO BEGINNING SITE CLEARING OPERATIONS.
- 2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
- 3. CALL BEFORE YOU DIG 1-800-922-4455. 4. CLEAR AND GRUB SITE, TREES AND STUMPS SHALL BE DISPOSED OF IN AN
- APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE. 5. STRIP AND STOCKPILE TOPSOIL; ANCHOR WITH STRAW MULCH AND SILT FENCE. IF STOCKPILES ARE TO BE LEFT IN PLACE FOR MORE THAN 30 DAYS, THEY SHOULD BE SEEDED WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/ACRE.
- 6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT. 7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
- 8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION. 9. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT MAX. 2:1 BANKS.
- 10. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS. 11. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE 12. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY

THON, STABILIZE ALL SLOPES.		
SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 S
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10

- 13. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER. 14. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
- 15. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

LANDSCAPE NOTES

- 1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED. 2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB, SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT ${ t I}$ GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND
- PRUNE OUT ALL DEAD TWIGS. 3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONI MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE
- 4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

NEWMAN ARCHITECTS, PC 300 York Street, New Haven, CT 06511 203.772.1990 Fax 203.772.1997 www.newmanarchitects.com

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AVRAHAM MEHL

34 CONNECTICUT BLVD. EAST HARTFORD, CT 06108 860.222.7131 ext. 120 PRINCIPAL CONTACT

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M.E.P + F.PCONSULTING ENGINEERING SERVICES 811 MIDDLE STREET MIDDLETOWN, CT, 06457

ONE INCH	TWO INCH
INCHES ON OR	IGINAL

P&Z SET / PERMIT SET

	REVISIONS								
NO	DATE	DESCRIPTION							

96 WEST STREET

96 WEST STREET **VERNON, CT 06066**

PROJECT NUMBER:

20210044

RAWING TITLE:

DETAIL SHEET & SITE NOTES

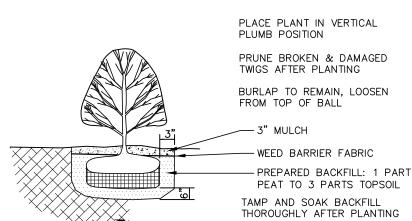
KJA CHECKED BY JS

08/29/2022 RAWING NUMBER:

KJA FILE NO. :

CONIFEROUS TREE PLANTING PLACE PLANT IN VERTICAL PLUMB POSITION DIAGONAL STAKING 2"X 2" X 8' CEDAR STAKES RUBBER JHOSE LOOP AND NO. 12 WIRE BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING

	/		COMPACTED OR UNDISTURBED SOIL
PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
AR	2	ARBOR VITAE	5'-6'
BS	3	BILIE SPRIICE	5'-6'

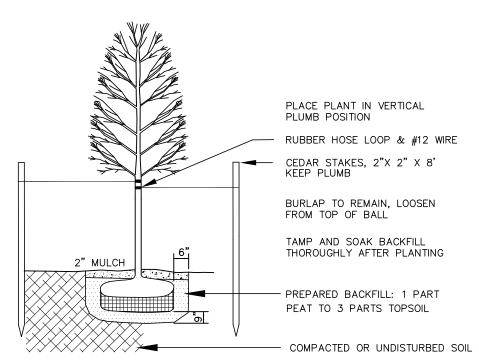


COMPACTED OR UNDISTURBED SOIL SHRUB PLANTINGS
N.T.S.

PREPARED BACKFILL: 1 PART

PEAT TO 3 PARTS TOPSOIL

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
€ Az	10	Az WHITE GUMPO AZALEA Azalea 'Gumpo Rose'	12"-15"
Rh	10	4' full height spread at 10 yr maturit Rh RHODODENDRON GRANDIFLORUM <i>Rhododendron catawbiense</i>	
BX BX	10	6' full height spread at 10 yr maturit GREEN GEM BOXWOOD <i>BUXUS X 'GREEN GEM'</i> 4' full height spread at 10 yr maturit	3'-4'



DECIDUOUS TREE PLANTINGS

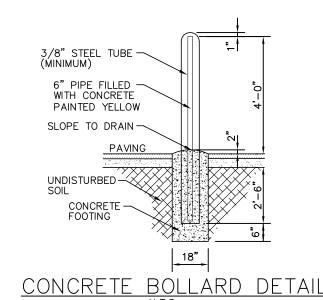
N.T.S.

PLANTING LIST SYMBOL	QUAN.	NAME		SIZE	
AR	4		BRUM (RED MAI ND BURLAP	PLE)	2.5" CALIPER
MF	3	MALUS	JAPANESE FLO	OWERING CRABAPP	LE 8' HEIGHT
PCN	4	PRUNUS	S CERASIFERA	NEWPORT PLUM	8 FT HEIGHT

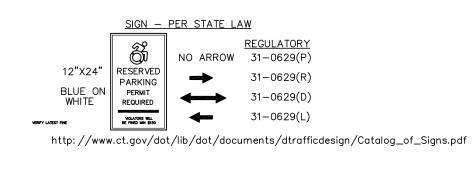
QUERCUS PALUSTRIS PIN OAK 2.5" CALIPER

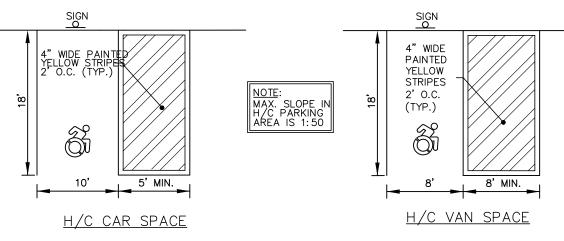
LANDSCAPE NOTES

- 1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
- SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
- INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE 4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

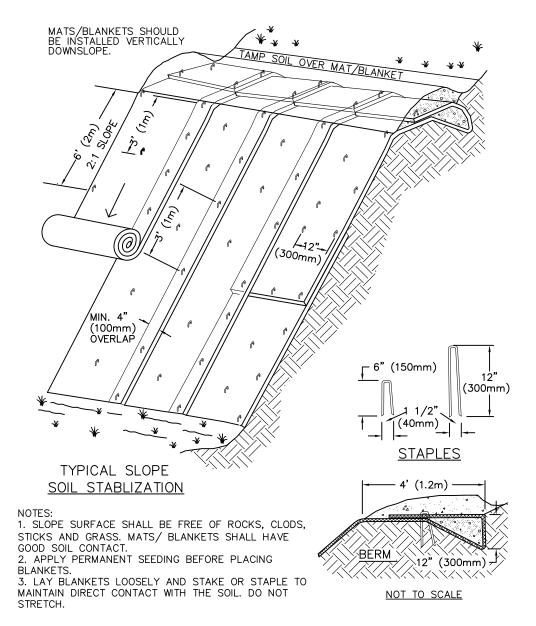


FINISHED GRADE FILTER FABRIC 3 SIDES OF TRENCH LAP AT TOP OF STONE/GRAVEL 1/2" CRUSHED STONE OR SCREENED GRAVEL 4" PVC PERF. PIPE - HOLES DOWN INV. AS SHOWN ON PLAN

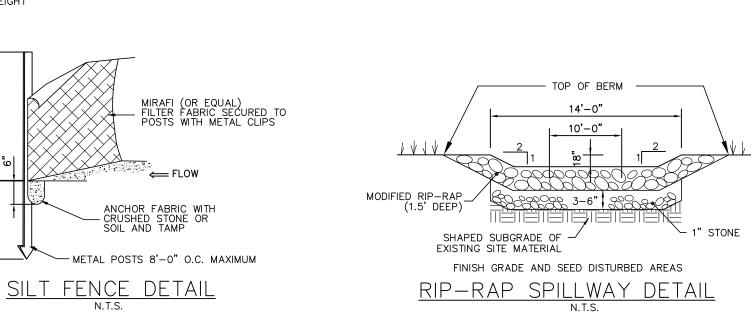


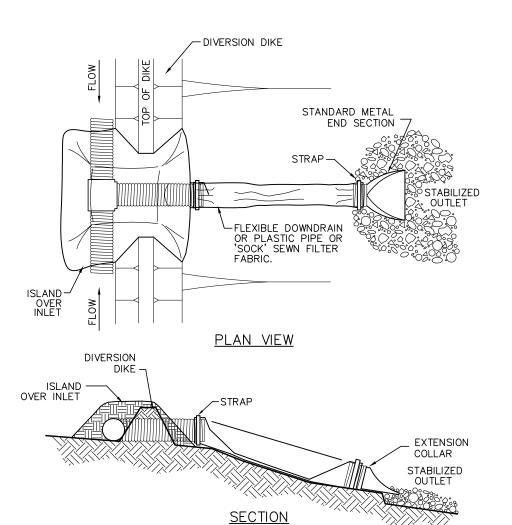


HANDICAPPED PARKING DETAIL

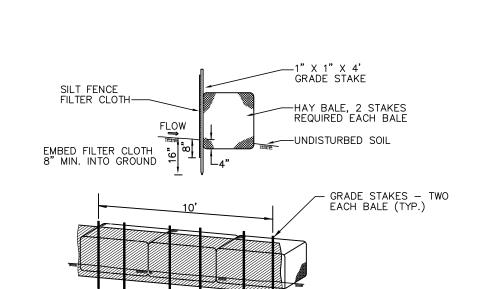


EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION





SLOPE DRAIN
N.T.S

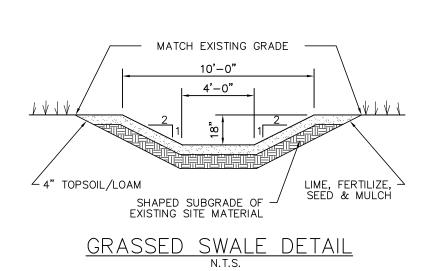


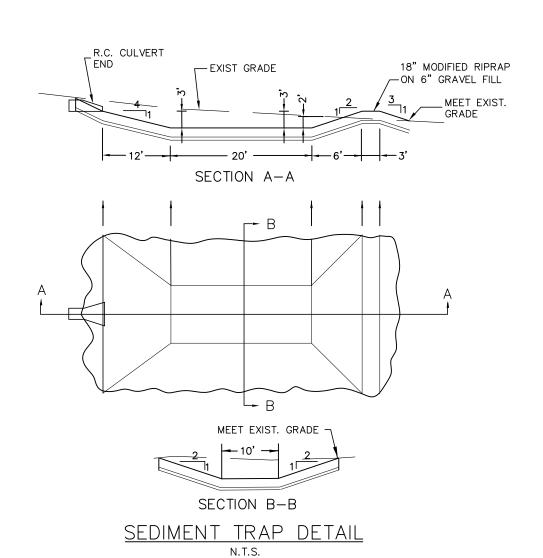
CONSTRUCTION NOTES:

1. SILT FENCE FILTER CLOTH TO BE SECURELY FASTENED TO GRADE STAKE WITH STAPLES, 6" ON CENTER. 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN ONE ANOTHER THEY SHALL OVERLAP BY 6" AND BE FOLDED.

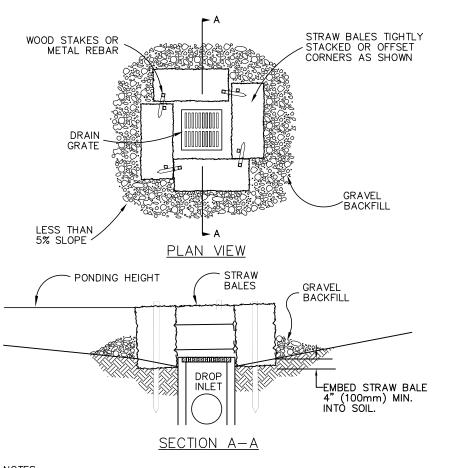
3. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE

HAYBALE-SILT FENCE EROSION PROTECTION
N.T.S.



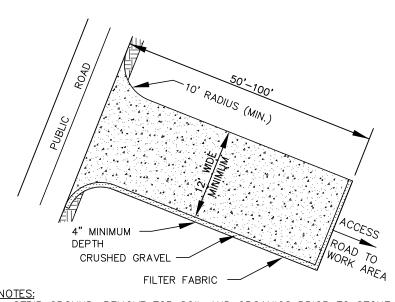


NOT ALL DETAILS APPLY

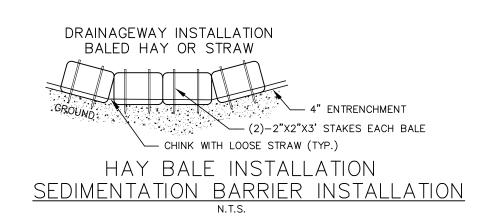


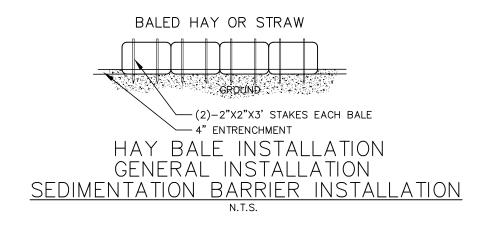
NOTES: 1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%) 2. EMBED THE BALES 4" (100mm) INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ABUTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES. 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY STRAW BALE/GRAVEL

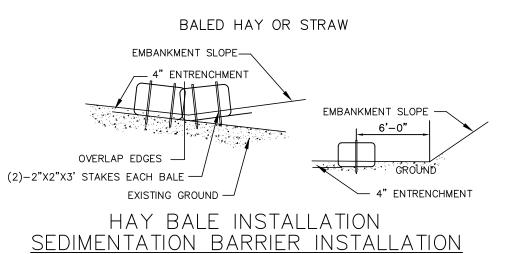
DROP INLET SEDIMENT BARRIER

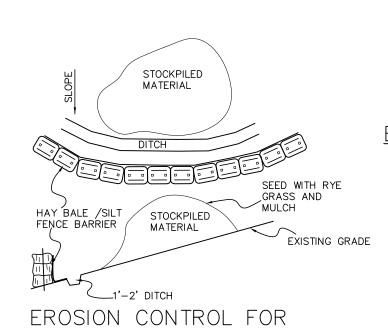


NOTES:
- STRIP GROUND, REMOVE TOP SOIL AND ORGANICS PRIOR TO STONE PLACEMENT - CRUSHED GRAVEL GRADATION SHALL BE DOT NO.3 OR ASTM C-33 NO. 3 CONSTRUCTION ENTRANCE DETAIL

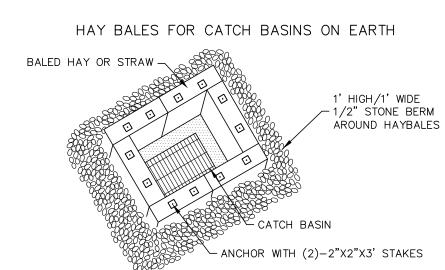




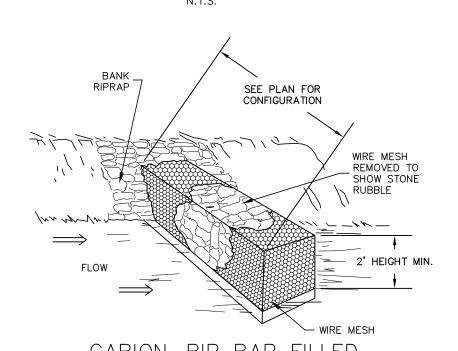


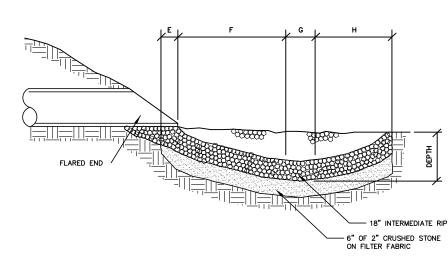


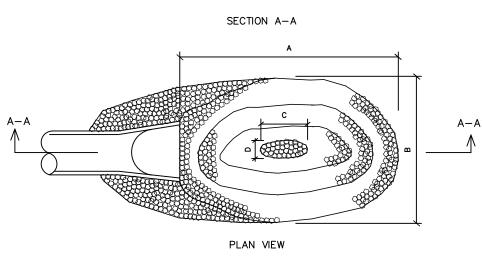
STOCKPILED MATERIAL REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.



STONE HAYBALE SEDIMENTATION BARRIER







RIP-RAP PLUNGE POOL DETAIL
N.T.S.

PIPE SIZE	А	В	С	D	Е	F	G	Н	WT. RIP RAP (TONS)	DEPTH
15"	10'	7'	1.5'	1'	1'	4.5'	1.5'	3'	6	1'-0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8	1'-4"
21"	15'	9'	2.5'	1.5'	1'	7'	2.5'	4.5'	12	1'-6"
24"	17'	10'	2.5'	1.5'	1'	8'	2.5'	5.5'	15	1'-10"
27" & 30"	20'	13'	3'	2'	2'	9'	3'	6'	22	2'-0"
36"	24'	16'	3.5'	2'	2'	9.5	3.5'	7'	33	2'-4"

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STAKED HAY OR STRAW BALES TO BUTT TOGETHER WEDGE LOOSE STRAW BETWEEN BALES TO

CREATE CONTINUOUS

BACKFILL AND COMPACT

UPHILL SIDE OF BARRIER TO PREVENT PIPING

ANCHOR WITH 2-2"x2"x3'

STAKES PER EACH BALE

EXCAVATED SOIL ON

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ONE INCH TWO INCH INCHES ON ORIGINAL P&Z SET / PERMIT SET

> **REVISIONS** DESCRIPTION

96 WEST STREET

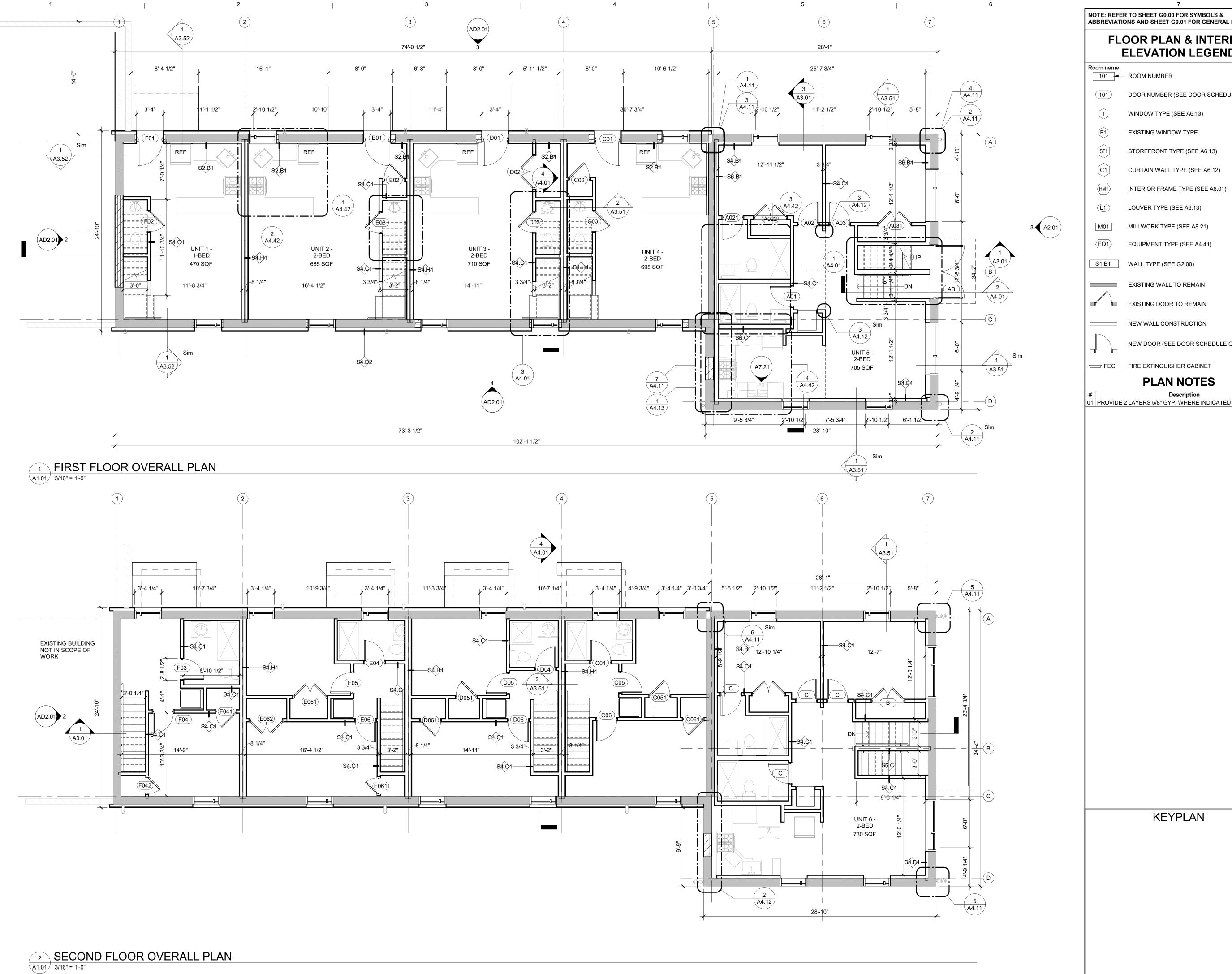
96 WEST STREET **VERNON, CT 06066**

PROJECT NUMBER: 20210044

RAWING TITLE: **EXISTING**

KJA CHECKED BY: 08/29/2022 JS RAWING NUMBER:

KJA FILE NO. :



3

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

FLOOR PLAN & INTERIOR ELEVATION LEGEND

101 ROOM NUMBER

DOOR NUMBER (SEE DOOR SCHEDULE ON A6.00)

WINDOW TYPE (SEE A6.13)

EXISTING WINDOW TYPE

STOREFRONT TYPE (SEE A6.13)

CURTAIN WALL TYPE (SEE A6.12)

INTERIOR FRAME TYPE (SEE A6.01)

LOUVER TYPE (SEE A6.13)

MILLWORK TYPE (SEE A8.21)

EQUIPMENT TYPE (SEE A4.41)

EXISTING DOOR TO REMAIN

NEW WALL CONSTRUCTION

NEW DOOR (SEE DOOR SCHEDULE ON A6.00)

KEYPLAN

FEC FIRE EXTINGUISHER CABINET

PLAN NOTES Description

PRINCIPAL CONTACT **CIVIL ENGINEER**

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34 CONNECTICUT BLVD. EAST HARTFORD, CT 06108 860.222.7131 ext. 120

<u>CLIENT</u>

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P&Z SET / PERMIT SET **REVISIONS**

DESCRIPTION

PROJECT NAME: 96 WEST STREET

PROJECT ADDRESS:

96 WEST STREET VERNON, CT 06066

20210044

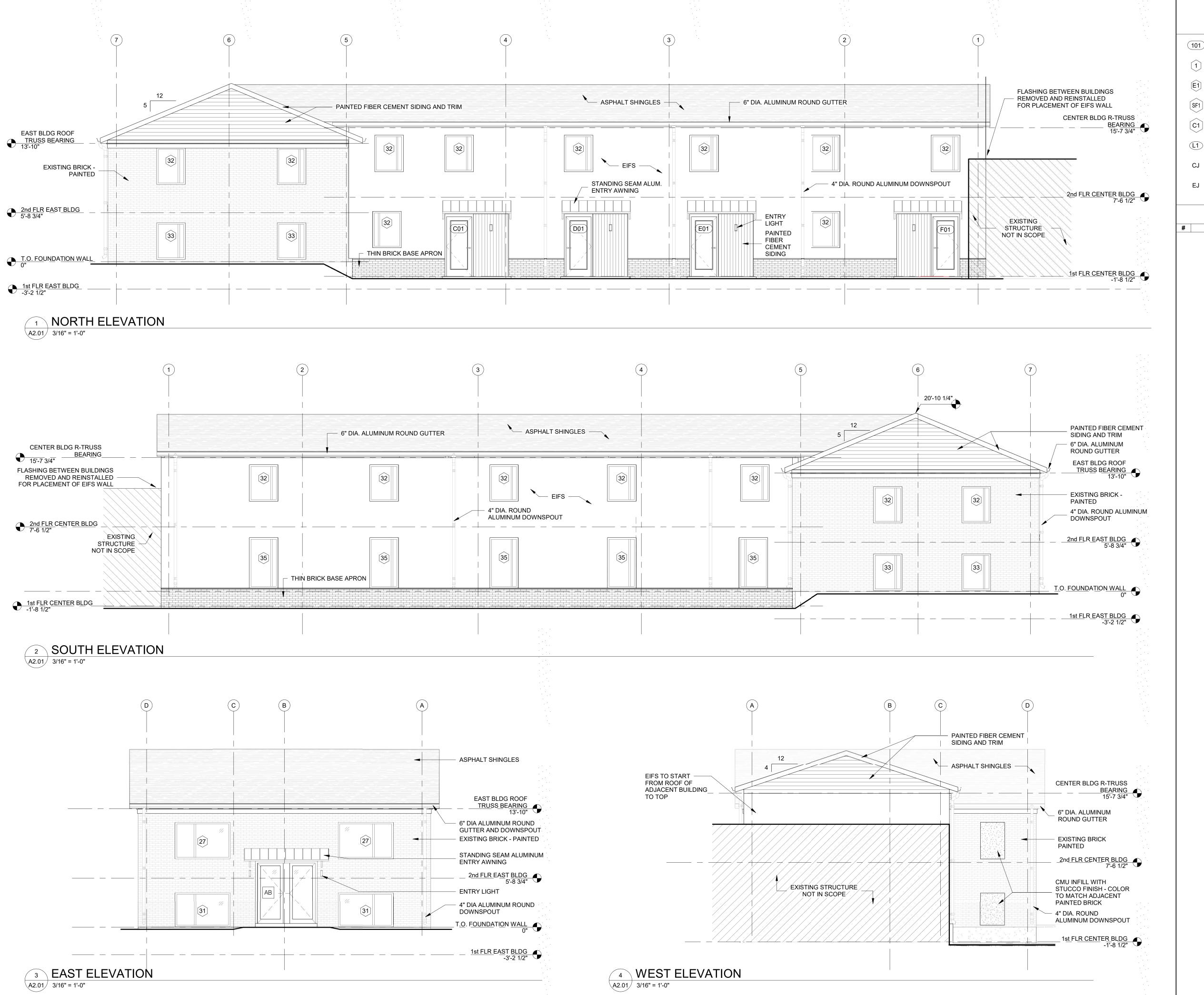
OVERALL FLOOR PLANS

As indicated DWG

CHK

08/29/2022

A1.01



NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

EXTERIOR ELEVATIONS LEGEND

101) DOOR NUMBER (SEE DOOR SCHEDULE ON A 6.00)

1 WINDOW TYPE (SEE A6.13)

E1 EXISTING WINDOW TYPE

STOREFRONT TYPE (SEE A6.13)

C1 CURTAIN WALL TYPE (SEE A6.12)

LOUVER TYPE (SEE A6.13)

CJ CONTROL JOINT

EJ EXPANSION JOINT

ELEVATION NOTES

Description

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CLIENT

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PRINCIPAL CONTACT

CIVIL ENGINEER

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(860) 632-1682

		* .
	R	EVISIONS
NO	DATE	DESCRIPTION
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		* **

96 WEST STREET

PROJECT ADDRESS:

96 WEST STREET VERNON, CT 06066

PROJECT NUMBER: **20210044**

DRAWING TITLE:

EXTERIOR ELEVATIONS

As indicated DWG

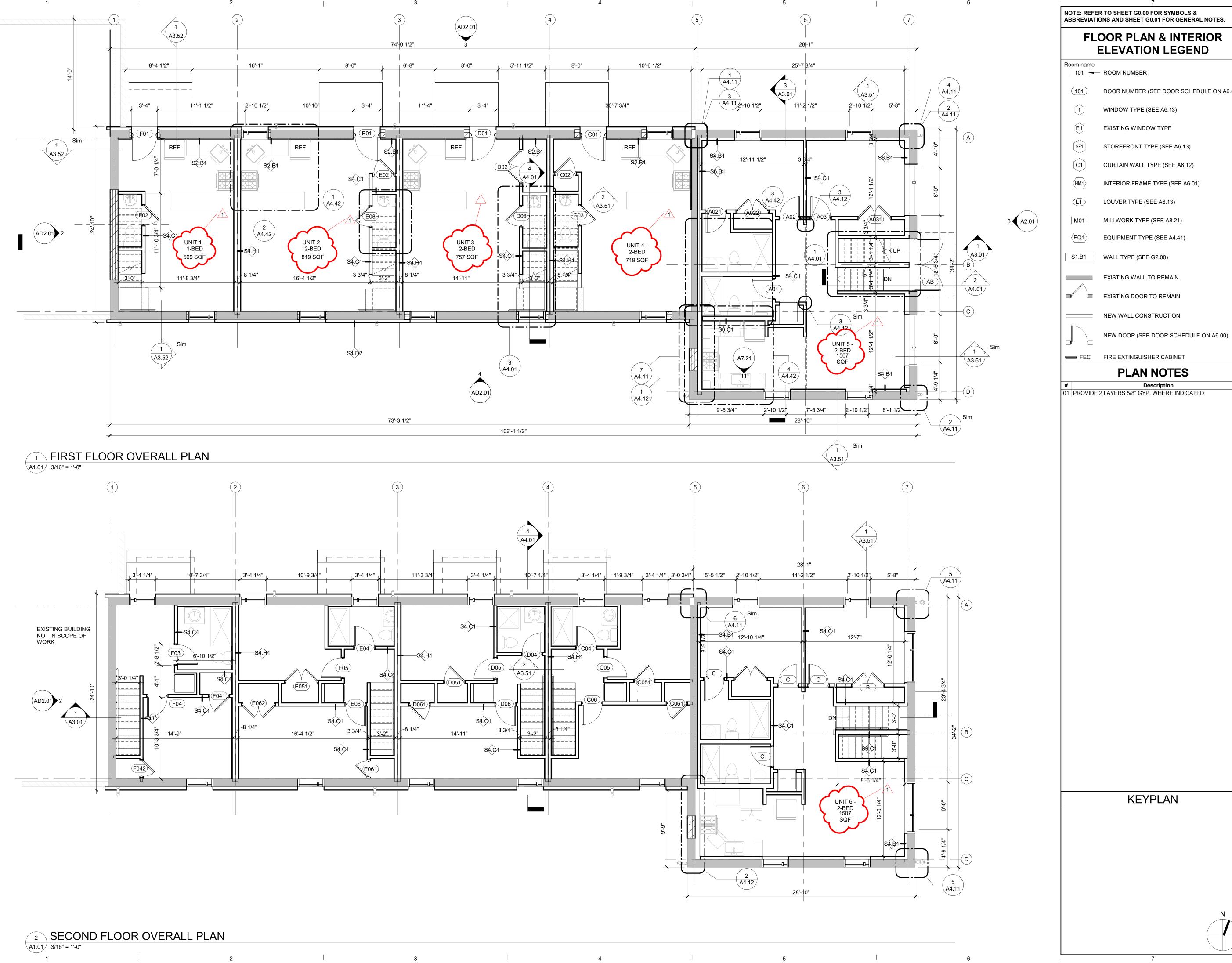
DATE: CHECKED BY:

CHK

08/29/2022

DRAWING NUMBER:

A2.01



NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

FLOOR PLAN & INTERIOR ELEVATION LEGEND

DOOR NUMBER (SEE DOOR SCHEDULE ON A6.00)

WINDOW TYPE (SEE A6.13)

EXISTING WINDOW TYPE

EQUIPMENT TYPE (SEE A4.41)

FEC FIRE EXTINGUISHER CABINET

PLAN NOTES

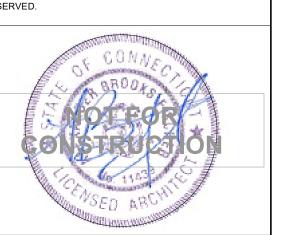
Description

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P&Z SET / PERMIT SET **REVISIONS** DESCRIPTION 1 2022-8-30 UNIT SQFT UPDATE

96 WEST STREET

PROJECT ADDRESS:

PROJECT NAME:

96 WEST STREET VERNON, CT 06066

PROJECT NUMBER: 20210044

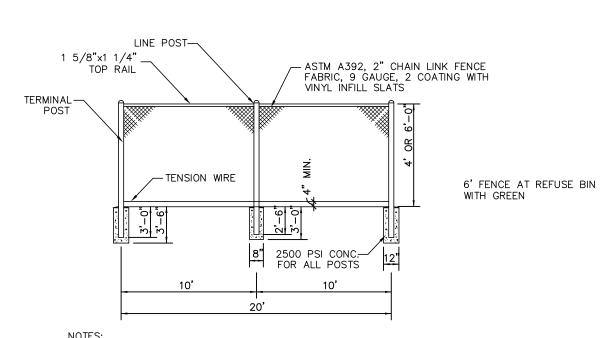
OVERALL FLOOR PLANS

As indicated DWG

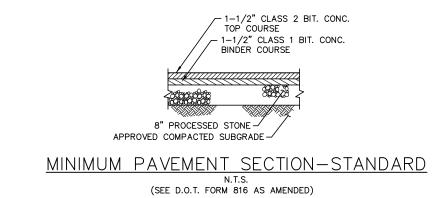
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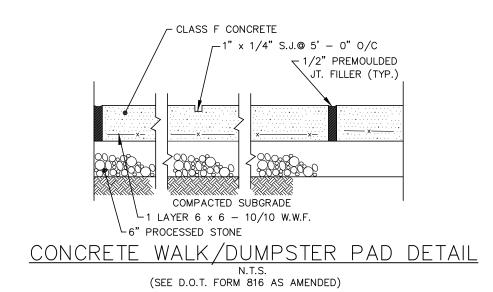
08/29/2022

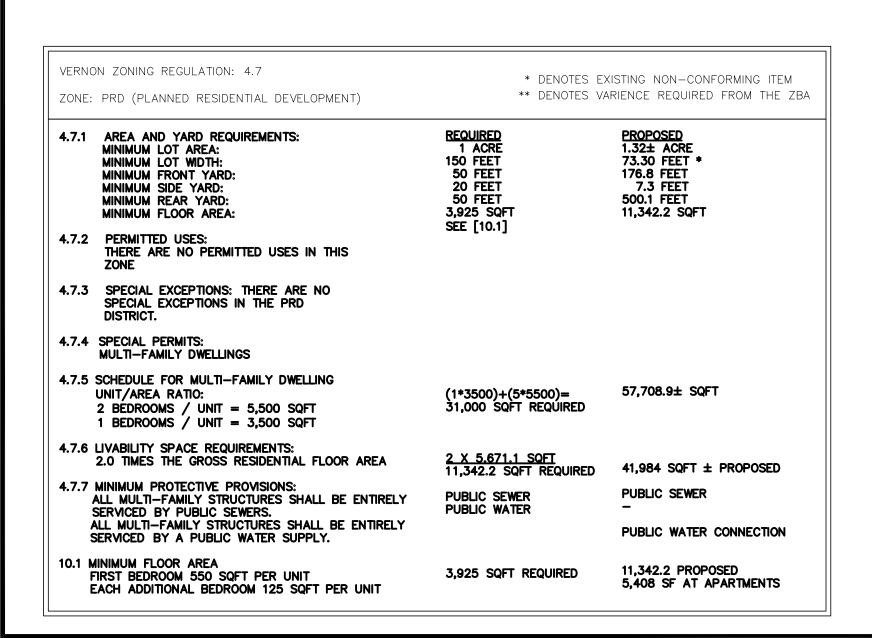
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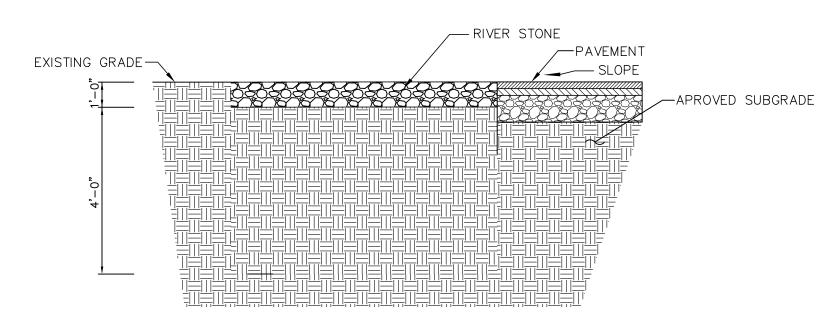


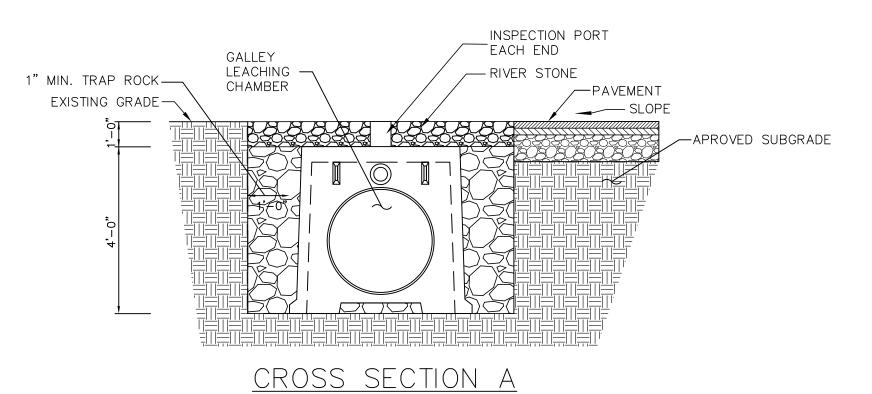
1. BOTTOM TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12 1/2" GAUGE HOG RINGS, 12' O.C. . TOP RAIL COUPLINGS TO BE SPACED EVERY 20'. EXPANSION COUPLINGS TO BE AT 100' INTERVALS. TOP RAIL WIRE TIES SHALL BE SPACED 24" MAX. FENCE SHALL CONFORM WITH CT D.O.T. STANDARDS, INCLUDING PROVIDE CHAINLINK SWING GATES AND MANDOORS AS SHOWN ON

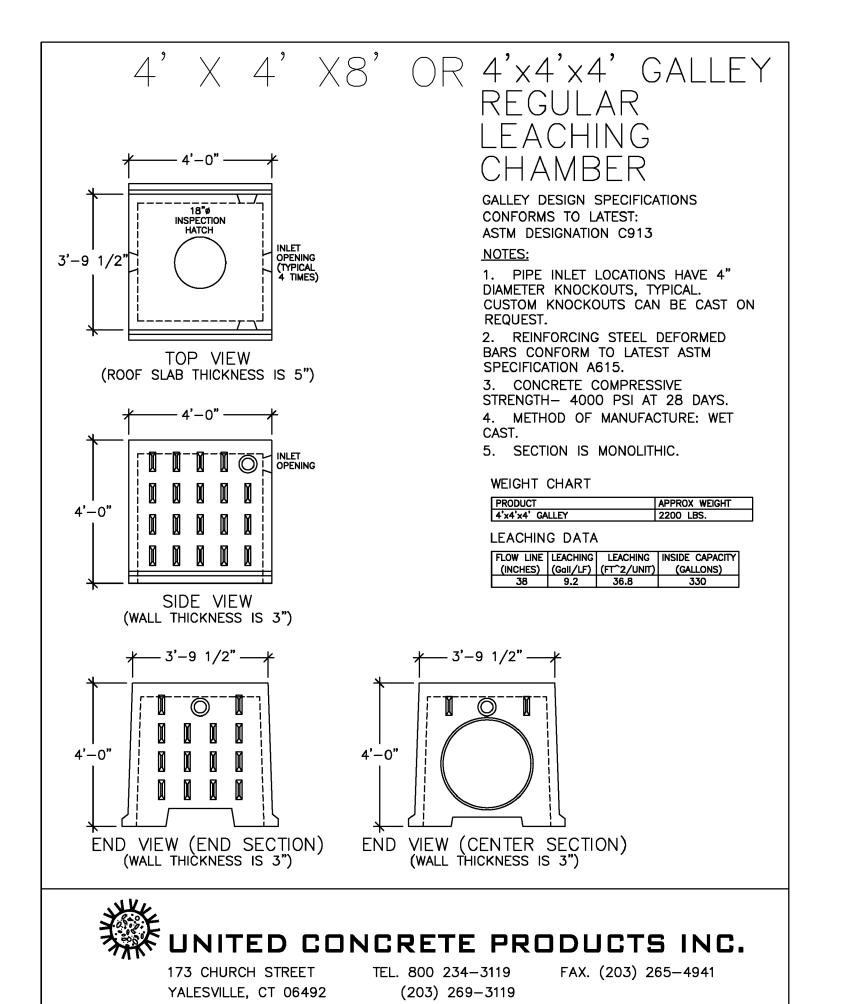






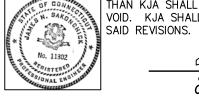






located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional covered under the policy.

The underground utilities shown have been



certification, warranty or guarantee which are not REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR

> James N. Sakonchick CT P.E. & L.S. #11302

NOT ALL DETAILS APPLY

1) "AS-BUILT PLAN WESTAR APARTMENTS"; 94 WEST STREET VERNON. CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89 2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SXALE 40 FEET TO AN INCH. VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEERY, TOWN OF VERNON 3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHAND FUNDING"; 94 AND 96 WESTS TREET TOWN OF VERNON COUNTY COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR GRADED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE. IF GRADING IS DELAYED MORE THAN 30 DAYS AFTER SOILS ARE DISTURBED, TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON-VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING
- 2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM
- OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS. 3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN.) AND SEEDED OR MULCHED.
- 4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THIER APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
- 5. ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT WILL BE SUBJECT TO A CITATION.
- 6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE MUNICIPALITY.
- 7. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
- 8. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
- 9. BRING ANY UNFORSEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY. 10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY 11. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222-7131 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY
- CONSTRUCTION ACTIVITY. 12. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222-713 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN. NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COP'
- OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED 13. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
- 14. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR WINGS SHOULD BE USED TO BREAK THE VELOCITY OF WATER FLOWING ALONG THE GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THI TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET; FOR 3:1 TO 5:1 EVERY 75 FEET; AND FOR 2:1 TO 3:1 SLOPES, EVERY 50 FEET.
- 15. PURSUANT TO THE REGULATIONS; A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.
- 16. CATCH BASIN MAINTENANCE SCHEDULE: SEDIMENT TO BE EXTRACTED FROM SUMP(S) BI-YEARLY IN THE SPRING AND FALL AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER. 17. MATERIAL FROM THE TEMPORARY STOCKPILE WHICH IS NOT USED DURING
- CONSTRUCTION SHALL HAULED OFF-SITE. 18. IF OVER 5 ACRES ARE TO BE DISTURBED, THE SITE CONTRACTOR SHALL
- OBTAIN A NPDES STORMWATER PERMIT. 19. INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONDUCTED ONCE A WEEK AND WITHIN 24-HOURS AFTER EVERY RAINFALL

SITE PLAN CONSTRUCTION SEQUENCE:

- 1. PURSUANT TO THE EROSION SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS OF ENSUING CONSTRUCTION ACTIVITY AND OBTAIN GRADING PERMIT PRIOR TO BEGINNING SITE CLEARING OPERATIONS.
- 2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
- 3. CALL BEFORE YOU DIG 1-800-922-4455. 4. CLEAR AND GRUB SITE, TREES AND STUMPS SHALL BE DISPOSED OF IN AN
- APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE. 5. STRIP AND STOCKPILE TOPSOIL; ANCHOR WITH STRAW MULCH AND SILT FENCE. IF STOCKPILES ARE TO BE LEFT IN PLACE FOR MORE THAN 30 DAYS, THEY SHOULD BE SEEDED WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/ACRE.
- 6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT. 7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
- 8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION. 9. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT MAX. 2:1 BANKS. 10. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
- 11. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE. 12. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.

SUGGESTED SEED MIXTURE LBS/AC LBS/1000 SF KENTUCKY BLUEGRASS 0.45 CREEPING RED FESCUE PERENNIAL RYEGRASS

13. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER. 14. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.

15. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT.

- NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED. 2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB, SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT ${ t I}$ GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND
- PRUNE OUT ALL DEAD TWIGS. 3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONI MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE
- 4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

NEWMAN ARCHITECTS, PC 300 York Street, New Haven, CT 06511 203.772.1990 Fax 203.772.1997

www.newmanarchitects.com

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NOT FOR CONSTRUCTION

AVRAHAM MEHL

34 CONNECTICUT BLVD. EAST HARTFORD, CT 06108 860.222.7131 ext. 120 PRINCIPAL CONTACT

CIVIL ENGINEER KRATZERT, JONES & ASSOCIATES INC 1755 MERIDEN-WATERBURY TPK, SOUTHINGTON, CT, 06489 (860) 621-3638

EMAIL: INFO@KRATZERTJONES.COM STRUCTURAL ENGINEER THORNTON TOMASATTI 10 N MAIN STREET, SUIT 307 WEST HARTFORD, CT, 06107

(212) 367-2750 M.E.P + F.PCONSULTING ENGINEERING SERVICES

811 MIDDLE STREET

MIDDLETOWN, CT, 06457

(860) 632-1682 ONE INCH TWO INCH

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96 WEST STREET

96 WEST STREET **VERNON, CT 06066**

PROJECT NUMBER: 20210044

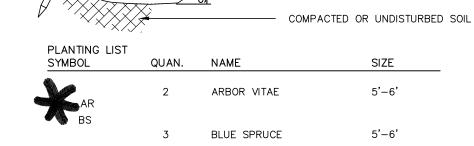
> RAWING TITLE: **DETAIL SHEET** & SITE NOTES

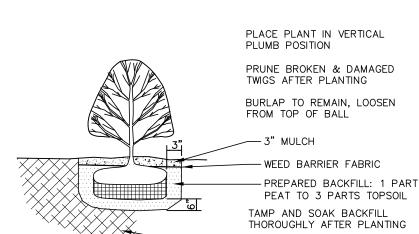
KJA CHECKED BY

08/29/2022 JS RAWING NUMBER:

KJA FILE NO. :

CONIFEROUS TREE PLANTING PLACE PLANT IN VERTICAL PLUMB POSITION DIAGONAL STAKING 2"X 2" X 8' CEDAR STAKES RUBBER JHOSE LOOP AND NO. 12 WIRE BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING



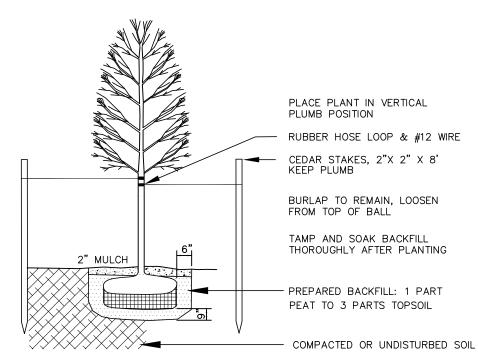


COMPACTED OR UNDISTURBED SOIL SHRUB PLANTINGS

PREPARED BACKFILL: 1 PART

PEAT TO 3 PARTS TOPSOIL

PLANTING LIST			0.77
SYMBOL	QUAN.	NAME	SIZE
€) ^{Az}	10	Az WHITE GUMPO AZALEA Azalea 'Gumpo Rose'	12"-15"
Rh	10	4' full height spread at 10 yr matu Rh RHODODENDRON GRANDIFLORUM <i>Rhododendron catawbiense</i> 6' full height spread at 10 yr matu	
₩ BX	10	GREEN GEM BOXWOOD BUXUS X 'GREEN GEM' 4' full height spread at 10 yr matu	3'-4'



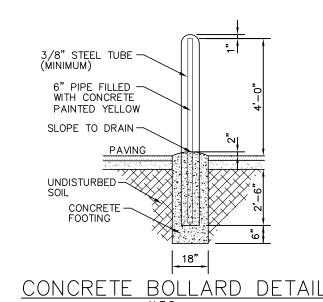
DECIDUOUS TREE PLANTINGS

N.T.S.

PLANTING LIST SYMBOL	- QUAN.	NAME	SIZE	<u> </u>
AR	4	ACER RUBRI BAGGED ANI	JM (RED MAPLE)) BURLAP	2.5" CALIPER
MF	3	MALUS J	APANESE FLOWERING CR.	ABAPPLE 8' HEIGHT
PCN	4	PRUNUS (CERASIFERA NEWPORT F	PLUM 8 FT HEIGHT
QP QP	4 Ql	JERCUS PALUS	TRIS PIN OAK 2.5	5" CALIPER

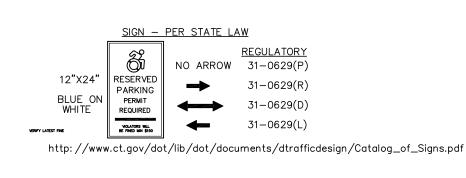
LANDSCAPE NOTES

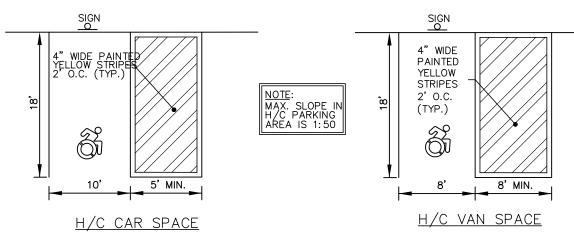
- 1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
- SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
- INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE 4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.



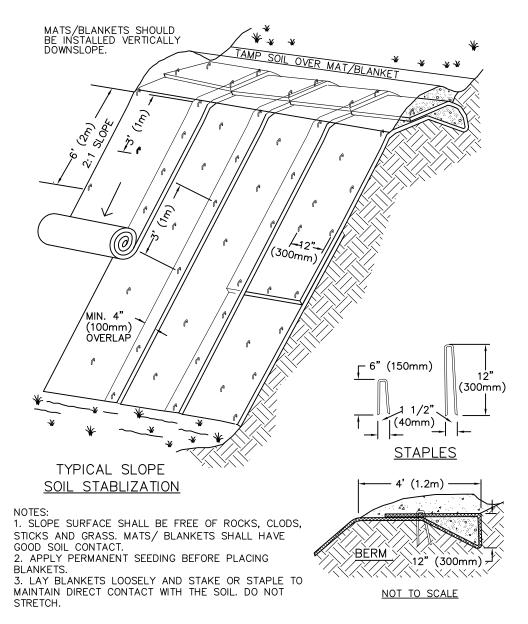
FINISHED GRADE FILTER FABRIC 3 SIDES OF TRENCH LAP AT TOP OF STONE/GRAVEL 1/2" CRUSHED STONE OR SCREENED GRAVEL 4" PVC PERF. PIPE - HOLES DOWN INV. AS SHOWN ON PLAN

CURTAIN DRAIN DETAIL

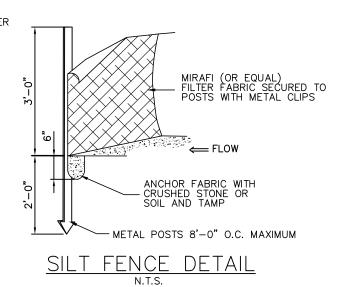


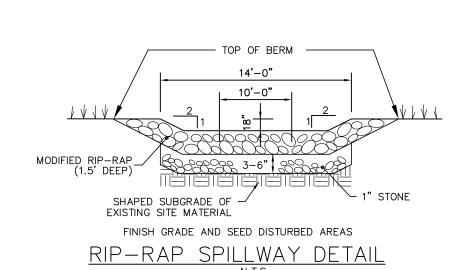


HANDICAPPED PARKING DETAIL

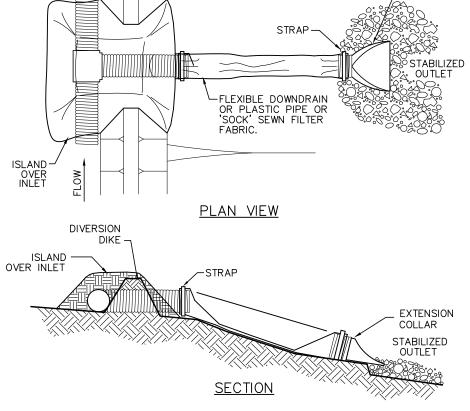


EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION

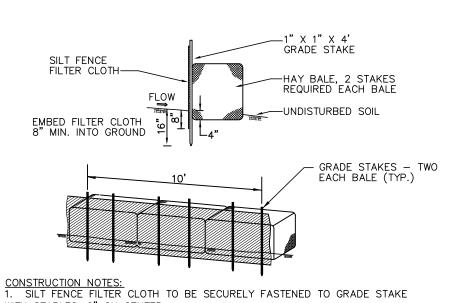




- DIVERSION DIKE STANDARD METAL

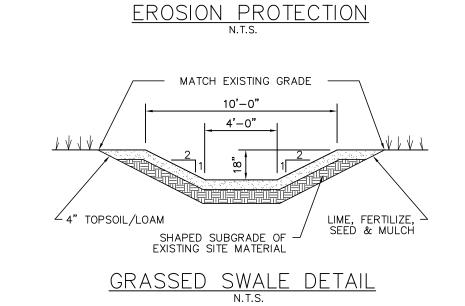


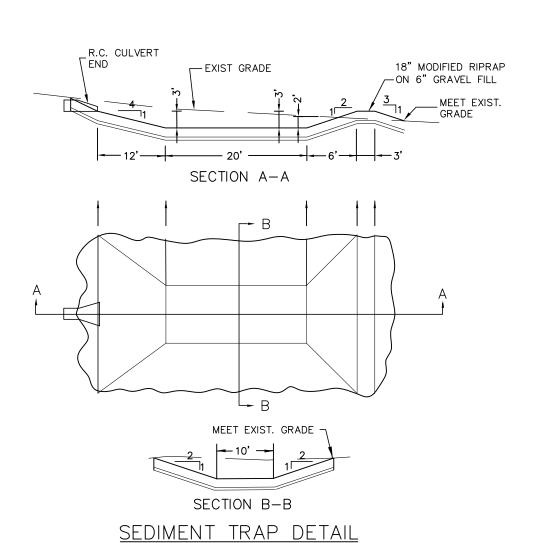
SLOPE DRAIN
N.T.S



WITH STAPLES, 6" ON CENTER. 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN ONE ANOTHER THEY SHALL OVERLAP BY 6" AND BE FOLDED.

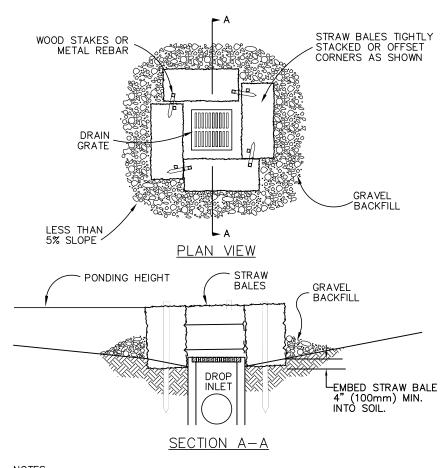
3. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE HAYBALE-SILT FENCE





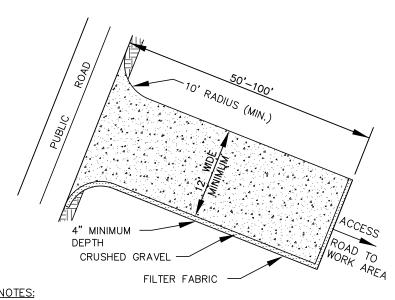
N.T.S.

NOT ALL DETAILS APPLY

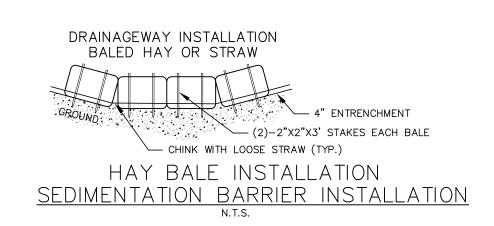


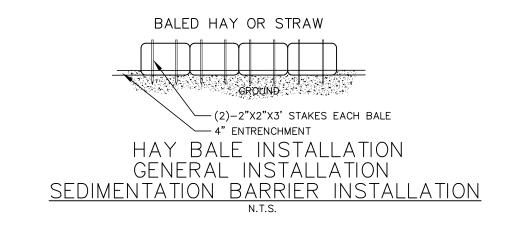
NOTES: 1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%) 2. EMBED THE BALES 4" (100mm) INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ABUTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES. 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY STRAW BALE/GRAVEL

DROP INLET SEDIMENT BARRIER



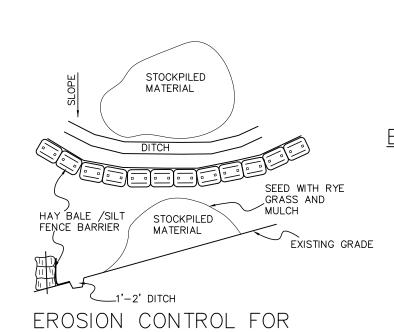
NOTES:
- STRIP GROUND, REMOVE TOP SOIL AND ORGANICS PRIOR TO STONE PLACEMENT - CRUSHED GRAVEL GRADATION SHALL BE DOT NO.3 OR ASTM C-33 NO. 3 CONSTRUCTION ENTRANCE DETAIL



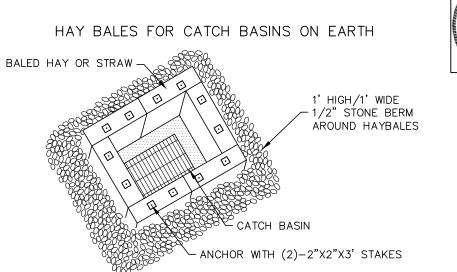


BALED HAY OR STRAW EMBANKMENT SLOPE-EMBANKMENT SLOPE -(2)-2"X2"X3' STAKES EACH BALE -- 4" ENTRENCHMENT HAY BALE INSTALLATION

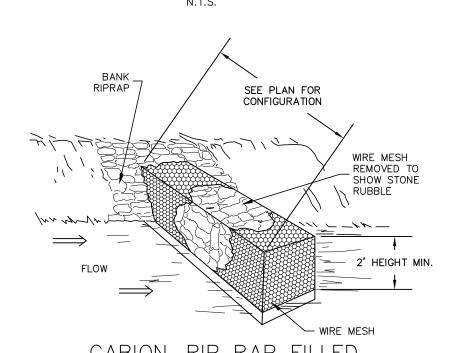
SEDIMENTATION BARRIER INSTALLATION

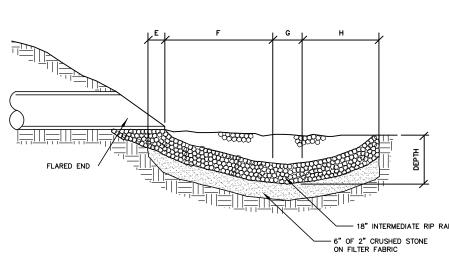


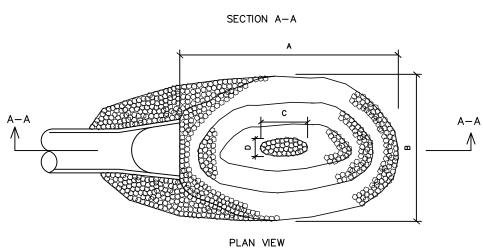
STOCKPILED MATERIAL REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.



STONE HAYBALE SEDIMENTATION BARRIER

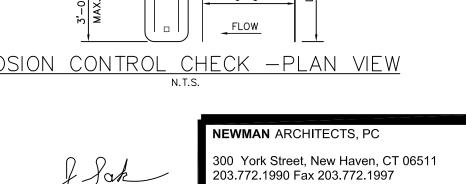






RIP-RAP PLUNGE POOL DETAIL
N.T.S.

PIPE SIZE	А	В	С	D	Е	F	G	Η	WT. RIP RAP (TONS)	DEPTH
15"	10'	7'	1.5'	1'	1'	4.5'	1.5'	3'	6	1'-0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8	1'-4"
21"	15'	9'	2.5'	1.5'	1'	7'	2.5'	4.5'	12	1'-6"
24"	17'	10'	2.5'	1.5'	1'	8'	2.5'	5.5'	15	1'-10"
27" & 30"	20'	13'	3'	2'	2'	9'	3'	6'	22	2'-0"
36"	24'	16'	3.5'	2'	2'	9.5'	3.5'	7'	33	2'-4"



STAKED HAY OR STRAW BALES TO BUTT TOGETHER WEDGE LOOSE STRAW BETWEEN BALES TO

CREATE CONTINUOUS

TO PREVENT PIPING

BACKFILL AND COMPACT

EXCAVATED SOIL ON UPHILL SIDE OF BARRIER

ANCHOR WITH 2-2"x2"x3'

James N. Sakonchick CT P.E. & L.S. #11302

STAKES PER EACH BALE

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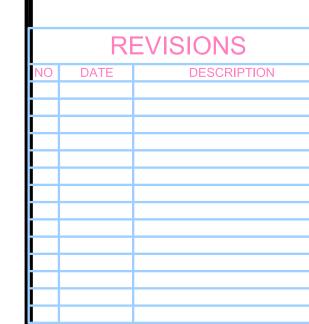
AVRAHAM MEHL 34 CONNECTICUT BLVD. EAST HARTFORD, CT 06108 860.222.7131 ext. 120 PRINCIPAL CONTACT

CIVIL ENGINEER KRATZERT, JONES & ASSOCIATES INC 1755 MERIDEN-WATERBURY TPK, SOUTHINGTON, CT, 06489 (860) 621-3638

EMAIL: INFO@KRATZERTJONES.COM STRUCTURAL ENGINEER THORNTON TOMASATTI 10 N MAIN STREET, SUIT 307 WEST HARTFORD, CT, 06107 (212) 367-2750

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96 WEST STREET

96 WEST STREET **VERNON, CT 06066**

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SCALE: 1" = 20'	KJA

PROJECT NUMBER:

CHECKED BY: JS RAWING NUMBER: KJA FILE NO. :

08/29/2022

LID CHECKLIST

Applicants must complete and submit the following checklist with the application.

Date:	Project:		
Conforma	nce with the following criteria shall be initialed in the space	es provided belo	w by a Connecticut Registered Professional
Engineer,	Land Surveyor, or Certified Soils Scientist as appropriate. If	conditions cann	ot be met comments addressing
each item	should be provided by the applicant in the space provided	below. Commer	nts will be reviewed with Town Staff
at the sch	eduled Development Staff Meeting and documented.		
Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting		
	sensitive natural resources including but not		
	limited to existing wetlands (as designated by a		
	Certified Soils Scientist in Connecticut), streams,		
	ponds, vernal pools, flood zones, stream channel		
	encroachment lines, soil types and infiltration rates,		
	wells, tree lines, property boundaries, and other items		
	that may be requested by the Town.		
2	Utilizing the Existing Conditions Plan as a guide,		
_	development has been located to maximize		
	preservation of contiguous natural sensitive areas.		
3	Proposed site developments for residential or two		
	family dwellings on more than one individual parcel,		
	all commercial, industrial, and retail developments		
	have been guided by the applicable requirements of		
	the Town's Low Impact Development Stormwater		
	Quality Manual and the Connecticut Storm Water		
	Quality Manual.		
4	Bioretention Basins or Rain Gardens have been		
	incorporated within yards, median strips,		
	cul-de-sacs islands, and parking lot islands.		

Date:	Project:	a nanidad balaw by a C		
	ance with the following criteria shall be initialed in the space	•	_	
_	Land Surveyor, or Certified Soils Scientist as appropriate. If		_	
	n should be provided below. Comments will be reviewed wit	n Town Staff at the sche	aulea development	
	ting and documented.	14 16 1		
Item	Description	Verified	Comments	
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.			
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.			
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.			
8	Post Development stormwater runoff is at or less than the predevelopment runoff.			
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.			
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.			

-	Land Surveyor, or Certified Soils Scientist as appropriate. should be provided below. Comments will be reviewed v		-	
staff meet	ting and documented.			
Item	Description	Verified	Comments	
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.			
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.			
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.			
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.			
15	Impervious area percentages for pre and post development have been provided.			
16	When conflicts exist between the Town's Low Impact			

Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State

Manual shall govern.

POST CONSTRUCTION STORMWATER MAINTENANCE

Thursday, April 07, 2022

Stormwater System
Operations and Maintenance Plan
For the Proposed:
Apartment Development
Located at:
96 West St.
Vernon, Connecticut
Prepared for Submission to:

PREPARED BY JAMES SAKONCHICK PE 11302 KRATZERT, JONES & ASSOC. INC. MILLDALE CT 06467-0337 SAKONCHICK@KRATZERTJONES.COM KJA JOB 222016

City of Vernon, Connecticut

James Sakonchick

Site Improvements

The proposed site improvements will include a reuse of the existing building for an partial apartment conversion.

The site will have these buildings, updated paved parking

areas, landscaped areas, site utilities and lighting, and a stormwater infiltration stone and galley area.

Reference is made to the plans for the site development. The full size versions of these plans are available at Kratzert, Jones & Associates KJA who will be happy to supply replacement copies if the on site copies are misplaced.

The proposed stormwater management system is designed to be in compliance with the Town of Vernon Low Impact Design requirements, the 2002 State of Connecticut Guidelines for Soil Erosion and Sediment Control, and the 2004 State of Connecticut Stormwater Quality Manual. The design will function to mitigate peak flows from the site.

Required Stormwater Maintenance.

The following Operations and Maintenance Plan was prepared specifically for this proposed development in the City of Vernon, Connecticut. The Plan was developed to satisfy the requirements of the Connecticut Department of Energy and Environmental Protection's 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

The Property Owner will be responsible for implementing the Plan on the property.

Maintenance inspections shall be performed by qualified persons. KJA can provide training if desired.

Maintenance Logs and Checklists

The property owner will keep a record of all maintenance procedures performed, date of inspection/ cleanings, etc. Copies of inspection reports and maintenance records shall be kept on-site.

The following record will be developed for annual maintenance. Copies of the records will be kept on-site or with the management company as part of the Storm Water Management Plan.

• Annual record of maintenance which may be invoices or bills paid.

Spill Control

In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and

clean-up:

- Manufacturer's recommended methods for spill clean-up will be clearly posted and site
 personnel will be made aware of the procedures and the location of the information and
 clean-up supplies.
- Materials and equipment necessary for spill clean-up will be kept in the material storage area on-site. Equipment and materials will include but not be limited to: absorbent booms or mats, brooms, dust pans, mops, rags, gloves, goggles, sand, and plastic and metal trash containers specifically for this purpose.
- All spills will be cleaned immediately after discovery.
- The spill area will be kept well-ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with hazardous substance.
- Spills of toxic or hazardous material, regardless of size, will be reported to the appropriate State or local government agency.
- If a spill occurs, this plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean the spill if there is another one. A description of the spill, the cause, and the remediation measures will also be included.

A spill report shall be prepared by the property owner following each occurrence. The spill report shall present a description of the release, including quantity and type of material, date of spill, circumstances leading to the release, location of spill, response actions and personnel, documentation of notifications and corrective measures implemented to prevent reoccurrence.

The property owner shall identify an appropriately qualified and trained site employee involved with day-to-day site operations to be the spill prevention and clean-up coordinator. The name(s) of responsible spill personnel shall be posted on-site. Each employee shall be instructed that all spills are to be reported to the spill prevention and clean-up coordinator.

SUGGESTED KIT TO KEEP ON SITE IN OFFICE: (OTHER INEXPENSIVE KITS AVAILABLE ALSO)

Screen clipping taken: 4/7/2022, 5:02 PM



Roll over image to zoom in

SpillTech SPKU-10 Universal 10-Gallon Spill Kit Visit the SpillTech Store

\$11875

- Package dimensions:18.542 cms(L) x33.782 cms(W) x44.45 cms(H)
- Package quantity: 1
- Product Type: JANITORIAL SUPPLY
- · Country Of origin: United States

cifications for this item	
Brand Name	SpillTech
Color	Yellow
Ean	0818502025205,0818502020187
Item Weight	11.10 pounds
Material	HAWA
Model Number	SPKU-10
Number of Items	1
Part Number	SPKU-10

Screen clipping taken: 4/7/2022, 5:00 PM

ALTERNATIVES:



SpillTech Universal

Overpack Salvage Drum
Spill Kit, 20 Gallon, 43
Pieces (SPKU-20)

**** 21
\$144.75

FREE delivery: April 12 - 15



Stardust Quick Response
II Spill Kit 2-Pack. Each
Pack Includes: Yellow
Duffle, 15 ...
\$\$\delta \delta \del

FREE delivery: April 12 - 15



AWF PRO Portable
Sorbent Universal Spill
Kit, 32 Pieces: Perfect for
Truckers, Rest...

****** 36

\$78.79 \(\text{prime} \)
FREE delivery: Monday, April



SpillTech Refill for Universal 50-Gallon Spill Kit, 127 Pieces (RSPKU-50) \$144.75 FREE delivery: April 12 - 15

Storm Water Management System Components

PARKING LOT SHEET RUNOFF ONTO 6 FT STONE BED WITH 10 -8 FOOT GALLEYS FOR INFILTRATION. The property owner is responsible for cleaning the surface stones and to visually inspect the galleys on the property. If galleys are clogged, a Connecticut Licensed hauler shall clean the galleys, and dispose of removed sand legally. The road sand may be reused for winter sanding, but may not be stored on-site. As part of the hauling contract, the hauler shall notify the property owner in writing where the material is being disposed. **Note - be careful not to blow grass clippings on stone bed but blow debris off of bed.** The Galleys shall be inspected during the month of April. Any debris occurring shall be removed by Vacuum "Vactor" type of maintenance equipment.

11

Parking Lots

Parking lots and sidewalks shall be swept as necessary by the property owner, or at least once per year, to clean sediment, trash, and other debris. The property owner will sweep parking lots on the property in the spring to remove winter accumulations of road sand.

Landscaping

The management company retained by the property owner will maintain landscaped areas. Normally the landscaping maintenance will consist of pruning, mulching, planting, mowing lawns, raking leaves, etc. Note - be careful not to blow grass clippings on stone bed but blow debris off of bed. Use of fertilizers and pesticides will be controlled and limited to minimal amounts necessary for healthy landscape maintenance.

The lawn areas, once established, will be maintained at a typical height of 3". This will allow the grass to be maintained with minimal impact from weeds and/or pests. The low maintenance areas will be maintained as a meadow or allowed to revert back to natural conditions.

Outdoor Storage

There will be no outdoor storage of hazardous chemicals, de-icing agents, fertilizer, pesticides, or herbicides anywhere around the buildings.

Deicing and Snow Removal & Storage

The use of clean sand may be used to aid traction in conjunction with salt and/or chemicals for deicing, snow melting and other related winter weather management. Snow shall be shoveled and plowed from sidewalk and parking areas as soon as practical during and after winter storms. Sand accumulation shall be removed from the site at the end of the winter season or appropriate time when seasonal snow has melted.

Kratzert, Jones & Associates, Inc.

1755 Meriden-Waterbury Road - P.O. Box #337 Milldale, CT 06467-0337 860-621-3638 621-9609FAX sakonchick@kratzertjones.com

8/29/2022

TRAFFIC IMPACT STATEMENT CONVERSION OF PORTION OF EXISTING BUILDING TO 6 APARTMENTS 96 WEST STREET VERNON, CT

EXISTING EXPECTED TRAFFIC

THE PRESENT 8,645 BUILDING WOULD GENERATE EXITING TRAFFIC.
CERTAIN HISTORIC USES OF THIS BUILDING WOULD GENERATE TRAFFIC SIMILAR TO THE AMOUNT GENERATED BY CONVERSION OF PART OF BUILDING TO APARTMENTS.

EXPECTED TRAFFIC GENERATION BY APARTMENTS.

AT RUSH HOUR APARTMENTS GENERATE ABOUT ONE VEHICLE TRIP PER HOUR. SIX APARTMENTS WOULD GENERATE 6 TRIPS. THIS IS LESS THAN THE AVERAGE VARIATION IN TRAFFIC ON WEST STREET DURING RUSH HOUR.

CONSEQUENTLY, THIS CONVERSION TO APARTMENTS WOULD HAVE NO IMPACT.

James Sakonchick PE #11302

1 printed 8/29/2022

22-0042-0008B	SUNSET WEST LLC	C/O DAYSHA JAMES	34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0042-0001C	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0043-00005	100 WEST LLC		619 EASTERN PKWY	BROOKLYN	NY	11213
22-0042-00008	SUNSET WEST LLC		34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0038-00044	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0049-00005	PARVEZ SHAFIQ		93 WEST ST 1ST FLOOR	VERNON	CT	6066
22-0048-00001	101 WEST ST LLC		101 WEST ST	VERNON	CT	6066
22-0048-00002	PATEL PRATIK & MEMA GRAMOZ		35 FELDSPAR	GLASTONBURY	CT	6033
22-0049-00007	VERNON TOWN OF		14 PARK PLACE	VERNON	CT	06066-3291
11-RROW-00000	CONNECTICUT STATE OF	C/O PROPERTY MANAGEMENT	24 WOLCOTT HILL RD	WETHERSFIELD	CT	06109-1152
07-0024-0012A	VERNON TOWN OF	ABANDONED R R	14 PARK PLACE	VERNON	CT	6066
null	null	null	null	null	null	null

STAFF COMMENTS



North Central District Health Department

☐ Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188 ☐ Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531 ☐ Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034 ☐ Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S. Director of Health

September 7, 2022

Ms. Ashley Stephens Vernon Town Planner 55 West Main Street Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application – Up Realty LLC

96 West Street Vernon, Connecticut

Dear Ashley:

I am writing regarding the Planning & Zoning Commission Application at the above referenced address.

North Central District Health Department (NCDHD) has the following comments regarding the proposed site plans:

- Public Water and Public Sewer are available for this property. Any building(s) with plumbing shall connect to these utilities.
 - o In the case that public sewers will not be available for this property for whatever reason(s), the NCDHD must be contacted.
- Asbestos may be present in materials such as thermal systems insulation, flooring, plaster, wallboard, siding, roofing, and other materials. Residential structures with 5 or more units must be inspected by an asbestos consultant **before** renovation or demolition is started, to determine if asbestos is present.
 - o If a facility is structurally sound, all asbestos-containing material must be abated prior to demolition;
 - Asbestos abatement involving more than 3 linear feet or more than 3 square feet must be performed by a Connecticut licensed asbestos contractor;
 - A notification must be submitted to the Connecticut Department of Public Health (CT DPH) whenever more than 10 linear or 25 square feet of asbestos will be disturbed;
 - o A demolition notification be submitted to the CT DPH for **any** structure that is demolished.
 - o Asbestos is regulated as a "special waste," and cannot be disposed of with

regular trash.

- Due to the age of the existing structures on the property, there is a chance that lead-based paint may be present. When lead-based paint is disturbed during renovation, repair or painting activities, dangerous amounts of lead dust can be created which poses a health risk for children under the age of 6.
 - EPA's Lead Renovation, Repair and Painting (RRP) Rule requires that firms performing renovation, repair and painting projects that disturb lead-based paint in homes built before 1978 be certified by EPA (or an EPA-authorized state), use certified renovators who are trained by EPA-approved training providers and follow lead-safe work practices.
- Sandblasting creates large amounts of dust that may present a safety hazard both to
 the workers performing the sandblasting, and to any occupants of the structure and
 neighboring properties. This is particularly a concern if lead-based paint or asbestos
 is present.
 - o Dust emissions must be controlled (e.g., with water misting) if any sandblasting is to be done to ensure that any lead dust and/or asbestos do not cross any property lines and affect neighboring apartment complexes.
- Any dumpsters shall reside on a concrete surface or a similar surface.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,

Brian Bielawiec

Registered Sanitarian

Buttina as



TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291 (860) 870-3640 Astephens@vernon-ct.gov

MEMORANDUM

TO: Planning & Zoning Commission

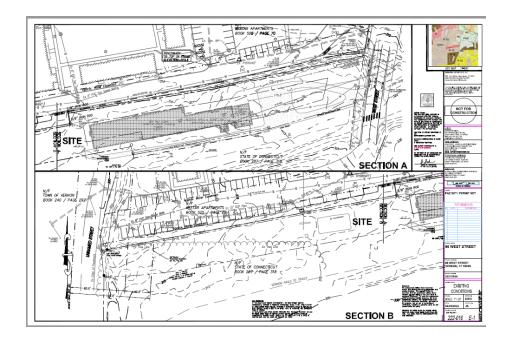
FROM: Ashley Stephens, Town Planner

SUBJECT: PZ 2022-14- 96 West St

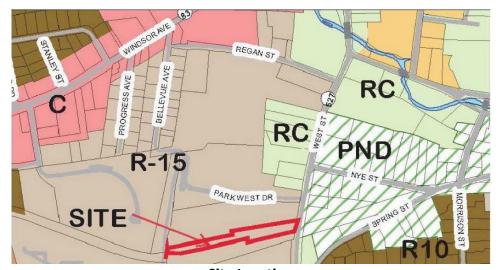
DATE: September 15, 2022

REQUEST

PZ-2022-14, 96 West Street. An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permit to conduct adaptive reuse creating six (6) residential units at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The Special Permit request includes Section 4.7.4.8 (Multifamily dwellings). The property is zoned Planned Residential Development.







Site Location

SUMMARY

The applicant proposes to reuse this building to create 6 residential units. This will involve demoing the existing interiors, and make site and façade improvements. Access to the site will be provided via the existing curb cut off of West St. The property will provide 13 parking spaces for employees and customers. The applicant submitted an application with a site plan set, drainage plan, LID Checklist, traffic statement, photometric calculation and architectural elevations, all included in the agenda packet.



STAFF REVIEWS:

<u>Traffic Authority:</u> This application is not proposing to create new curb cuts so it did not need to go before the commission.

<u>Design Review Commission:</u> The Design Review Committee --- meeting on 9/7

Conservation: Not needed.

Town Engineer: The engineer has several concerns with the plans being difficult to follow.

<u>Building Official:</u> Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

<u>Fire Marshal:</u> Has concerns about the drawing marked North Elevation. It lists an Existing structure which does not say what it is used for and its fire separation from the building.

Wetlands Commission: There are no wetlands on the property.

Zoning Enforcement: Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

<u>Health Department:</u> The North Central District Health Department (NCDHD) has reviewed the application and provided the following comments:

 There may be asbestos present and the structure will need to be inspected before renovations or demolition is started.

- There is a chance lead-based paint is present, if there is, EPA protocols need to be followed.
- Dust from sandblasting will need to be controls.

Town Planner Summary:

We are waiting for further clarification with the use for the rear of the building. We have been in contact with the applicant who is working with the owner to decide on what use would make the most sense for the project. I will provide a final review either before or at the meeting.