

RECEIVED BY EMAIL

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Meeting Notice & Agenda
Thursday, September 15, 2022, 7:30 PM
Town Council Chambers 3rd Floor
14 Park Place
Vernon, CT 06066

Posted 9/8/2022
JS

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.
 - 2.2 Approval of the Minutes from **August 18, 2022**
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Applications:**
 - 4.1 **PZ-2022-14, 96 West Street.** An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permits to create residential units and other uses at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The property is zoned Planned Residential Development.
5. **8-24 Referrals, If any**
6. **Other Business/Discussion**
7. **Public Comments Received**
8. **Adjournment**

RECEIVED
VERNON TOWN CLERK
22 SEP - 8 PM 5:59

Roland Klee, Chair
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Thursday, August 18, 2022, 7:30 PM
Town Council Chambers 3rd Floor
14 Park Place
Vernon, CT 06066

DRAFT Minutes

RECEIVED
VERNON TOWN CLERK
22 AUG 22 AM 9:29

1. **Call to Order & Roll Call by Mike Mitchell, Vice-Chairman @ 7:30 PM**
 - Regular members present: Mike Baum, Robin Lockwood, Joseph Miller, and Mike Mitchell
 - Alternate Member: Yelena Damsky sitting for Carl Bard and William Nicholson sitting for Iris Mullan.
 - Absent Members: Roland Klee, Carl Bard, Iris Mullan
 - Staff present:
 - Shaun Gately, Director of Development Services
 - Ashley Stephens, Town Planner
 - Leslie Campolongo, Planning & Zoning Specialist
 - Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

- 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.

Robin Lockwood **MOVED** to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

- 2.2 Approval of the Minutes from **July 21, 2022**

Robin Lockwood **MOVED** to **APPROVE** the minutes from July 21, 2022. Joseph Miller seconded and the motion carried.

3. **New Application(s) for receipt, if any:**

NONE

4. **Public Hearing(s) and Action on Applications:**

4.1 PZ 2022-13, 43 & 45 South Frontage Rd. An Application David O'Connell (Shawmut Equipment Company Inc.) for a Site Plan and Special Permit to build a structure to conduct retail sales, rental, parts sales and service of new and used construction vehicles (cranes), at 43 & 45 South Frontage Rd. (Tax Map 29, Block 134A, Parcels 11A & 11B). The property is zoned Commercial.

- Shaun Gately, Director of Development Services, read the Public Notice published in the Journal Inquirer on August 6, 2022 and August 13, 2022.
- Mike Mitchell, Vice-Chairman, read the Public Hearing rules.
- Jim Aldrich, President, Aldrich Construction Co. Inc., Manchester, CT gave a presentation of Shawmut Equipment Co Inc's history and background.
- Timothy A. Coon, P.E., J.R. Russo & Associates, East Windsor, CT, walked the Commission through the site plan, including wetlands, access, drainage, parking, public water/sewer, natural gas, spill kits, dumpster enclosure, lighting, signage, landscaping and traffic generation.
- Stated the application meets Special Permits sections:
 - 4.9.2.14
 - 4.9.15.4
 - 17.3.1.1 (17.3.1.1 – 17.3.1.5)
- Commission asked questions in regards to sewer, completion date, tree structure, disposal of hazardous materials, pervious surfaces, DEEP Stormwater, NDDDB and repair scope.
- Applicant responded to the Commission.
- Discussion ensued.
- Shaun Gately, Director of Development Services responded to the Commission.
- Maryann Levesque, 183 Bolton Rd, spoke in regards to the approvals from other Commissions and Boards regarding staff comments and traffic concerns, signage and soil testing.
- Robin Lockwood responded.
- Joe Miller spoke regarding traffic and deliveries.
- Timothy A. Coon, P.E, responded to all questions and concerns.
- Shaun Gately, Director of Development Services, reminded the Commission that PZC cannot defer decision to another Commission.
- Yelena Damsky commented on employment numbers.
- Timothy A. Coon, P.E., responded.
- No one spoke in opposition.

Robin Lockwood **MOVED** to **CLOSE** the Public Hearing at 8:18 PM. William Nicholson seconded and the motion carried unanimously.

Robin Lockwood **MOVED** that the Planning and Zoning Commission **APPROVE PZ 2022-13, 43 & 45 South Frontage Rd.** because it meets the requirements of section 14.1.2 Site Plan Development and 17.3.1 Special Permits and grants section 4.9.14 general automotive repairing and servicing and 4.9.15.4 square footage exceeds 25,000 square feet, with stipulation that the special permit is solely intended for accessory use of services to cranes and is not transferable to another use. William Nicholson seconded and the motion carried unanimously.

5. **8-24 Referrals, If any**

NONE

6. **Other Business/Discussion**

NONE

7. **Public Comments Received**

Daniel McQuade – included in packet

8. **Adjournment**

Robin Lockwood **MOVED** to **ADJOURN** at 8:21 PM. William Nicholson seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

APPLICATION



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)
APPLICATION
(Revised March 2021)

The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project. Provide all the information requested.

APPLICANT (S)

NAME: _____
COMPANY: _____
ADDRESS: _____
TELEPHONE: _____ E-MAIL: _____

PROPERTY OWNER (S)

NAME: _____
ADDRESS: _____
TELEPHONE: _____ EMAIL: _____

If the applicant is not the property owner, include a letter from the property owner authorizing the applicant to seek approval by the PZC, if no signature accompanies the application. (ZR Section 2.3)

PROPERTY

ADDRESS: _____

ASSESSOR'S ID CODE: MAP # _____ BLOCK # _____ LOT/PARCEL # _____

LAND RECORD REFERENCE TO DEED DESCRIPTION: VOLUME: _____ PAGE _____

DOES THIS SITE CONTAIN A WATERCOURSE AND/OR WETLANDS? (SEE THE INLAND WETLANDS MAP AND REGULATIONS)

___ NO ___ YES

___ NO REGULATED ACTIVITY WILL BE DONE

___ REGULATED ACTIVITY WILL BE DONE

___ IWC APPLICATION HAS BEEN SUBMITTED

ZONING DISTRICT _____

IS THIS PROPERTY LOCATED WITHIN FIVE HUNDRED (500) FEET OF A MUNICIPAL BOUNDARY?

___ NO

___ YES: _____

CHECK IF HISTORIC STATUS APPLIES:

___ LOCATED IN HISTORIC DISTRICT: _____

___ INDIVIDUAL HISTORIC PROPERTY

PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

PURPOSE: _____

GENERAL ACTIVITIES: _____

APPROVAL REQUESTED

___ SUBDIVISION OR RESUBDIVISION

- ___ SUBDIVISION (SUB. SEC. 4, 5, 6)
- ___ RESUBDIVISION (SUB. SEC. 4, 5, 6)
- ___ MINOR MODIFICATION OF SUBDIVISION OR RESUBDIVISION (SUB. SEC. 4.6)
- ___ AMENDMENT OF SUBDIVISION REGULATIONS (SUB. SEC. II)

SEE SUBDIVISION REGULATIONS SEC. 4 FOR APPLICATION FEE SCHEDULES.

___ SOIL EROSION AND SEDIMENT CONTROL PLAN (ESCP) (ZR SEC. 2.117; 18) (SUB. 6.14)

___ SITE PLAN OF DEVELOPMENT (POD) (ZR SEC. 14)

- ___ POD APPROVAL (ZR SEC. 14.1.1.1; 14.1.2)
- ___ MODIFICATION OF AN APPROVED POD (ZR SEC. 14.1.1.1)
- ___ MINOR MODIFICATION OF A SITE POD (ZR SEC. 14.1.1.2)

___ SPECIAL PERMIT(S) (ZR SECTION 17.3) SECTION: _____

___ OTHER SPECIAL PERMIT(S). CITE ZR SECTION AND DESCRIBE ACTIVITY:

___ ZONING:

- ___ SITE SPECIFIC CHANGE OF ZONING DISTRICT AND MAP (ZR SEC. 1.2; 1.3; 4)
- ___ AMENDMENT OF ZONING REGULATIONS (SEC. 1.2; 1.3; 4)

CERTIFICATION AND SIGNATURE

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations" and completed the application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



APPLICANT OR AGENT SIGNATURE

PRINTED NAME

DATE

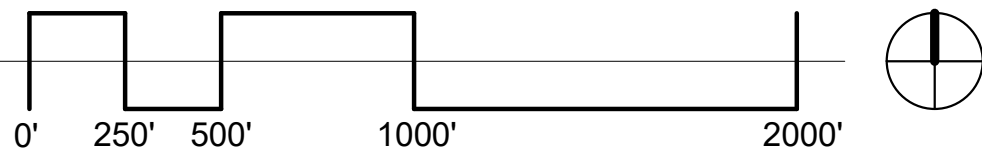
OWNER'S SIGNATURE, IF DIFFERENT

PRINTED NAME

DATE



PARCEL NUMBER: 22-0042-00008
MAP-BLOCK-LOT: 22-0042-00008
GIS: N 79*22'23" E



96 WEST STREET
UPSCALE CONSTRUCTION INC.
96 WEST STREET
VERNON, CT 06066



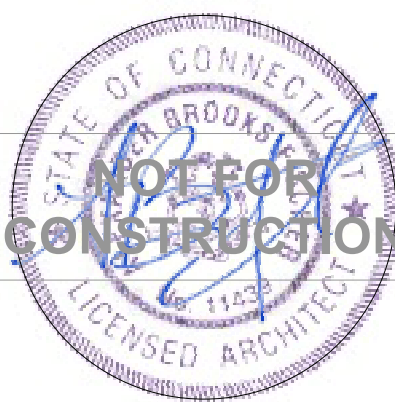
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08/29/2022

NEWMAN

NEWMAN ARCHITECTS, PC

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CIVIL ENGINEER

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1755 MERIDEN-WATERBURY TPK,
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(860) 621-3638

STRUCTURAL ENGINEER

THORNTON TOMASATTI
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WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P

CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE

P&Z SET / PERMIT SET

REVISIONS

[illegible]

PROJECT NAME

96 WEST STREET

PROJECT ADDRESS

**96 WEST STREET
VERNON, CT 06066**

PROJECT NUMBER

20210044

DRAWING TITLE

COVERSHEET

SCALE:

DRAWN BY

DRW

DATE:

08/29/2022

CHECKED

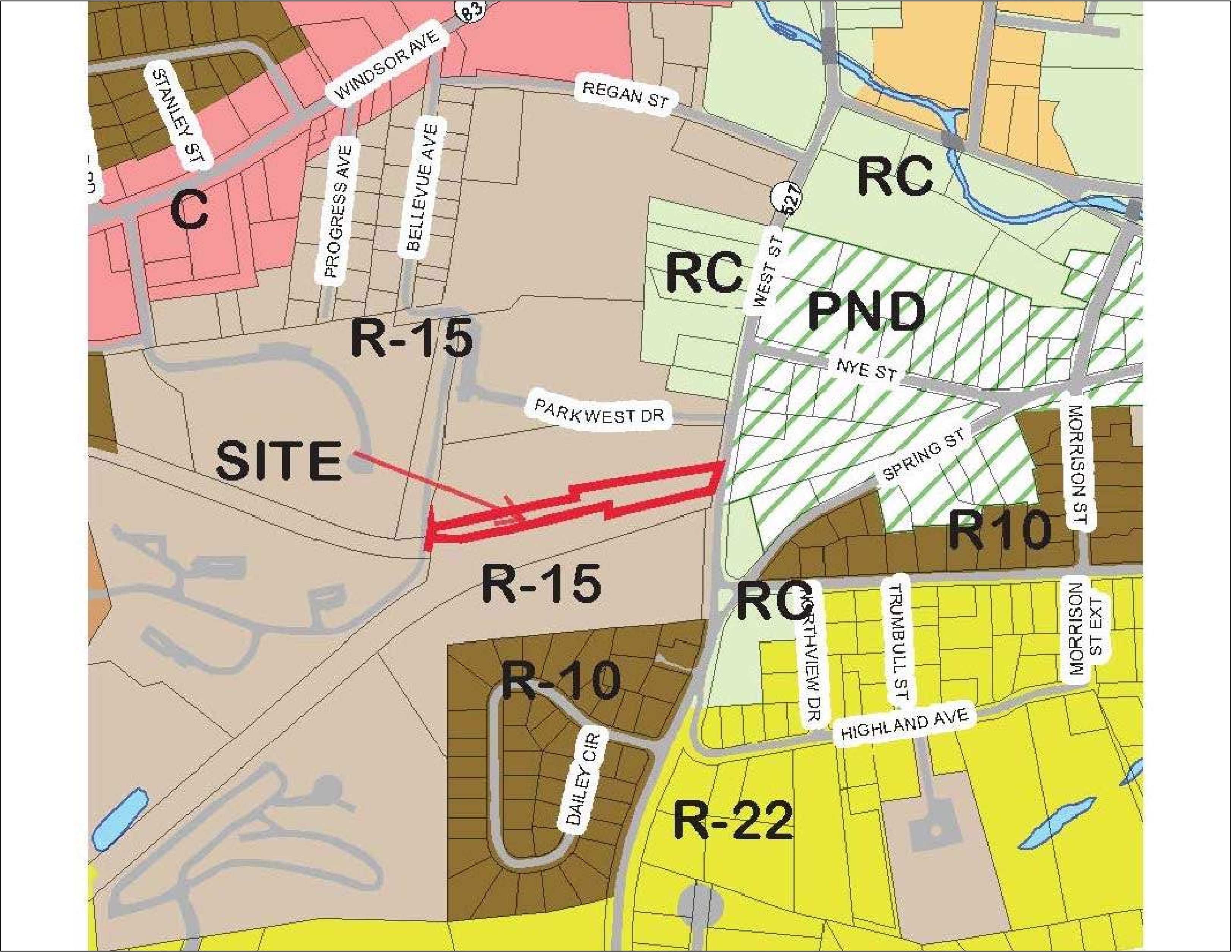
CHK

DRAWING NUMBER

CS.00



PERSPECTIVE RENDERING OF PROJECT



LOCATION MAP
1"=200'

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NOT FOR CONSTRUCTION

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ONE INCH TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

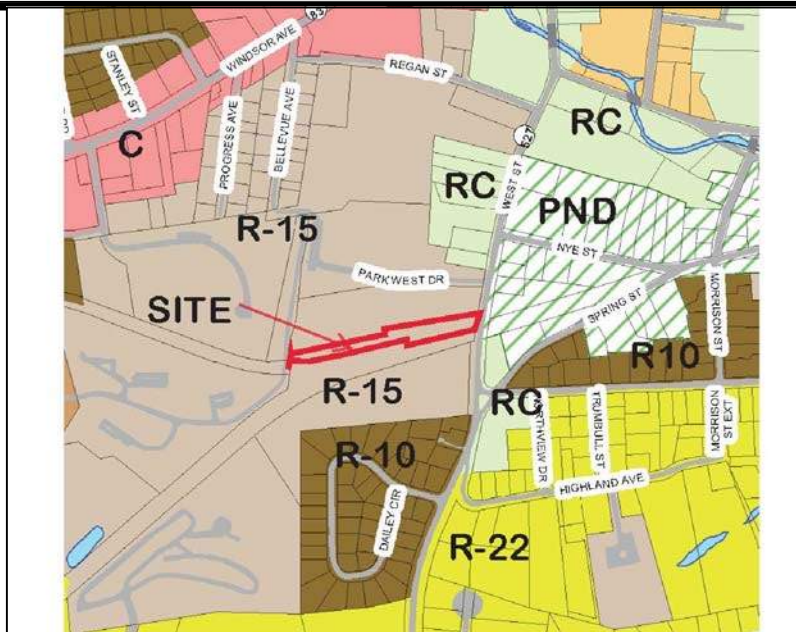
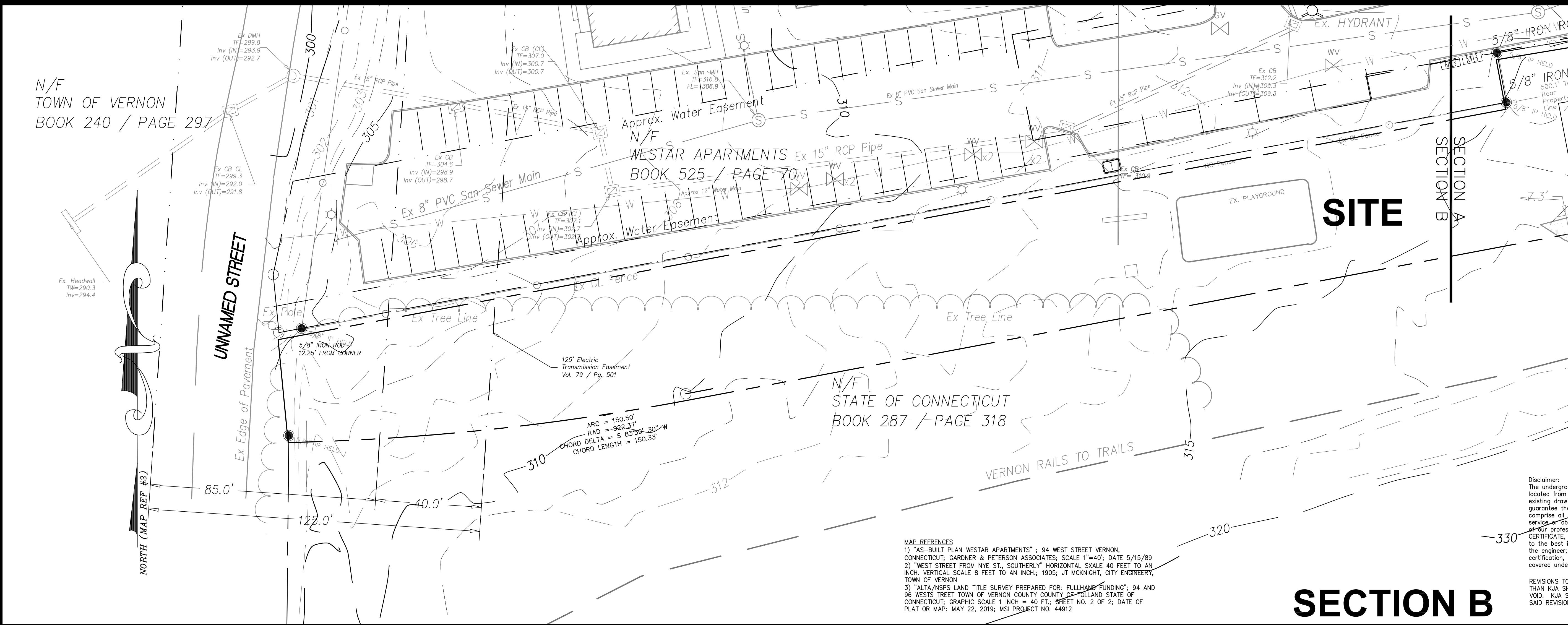
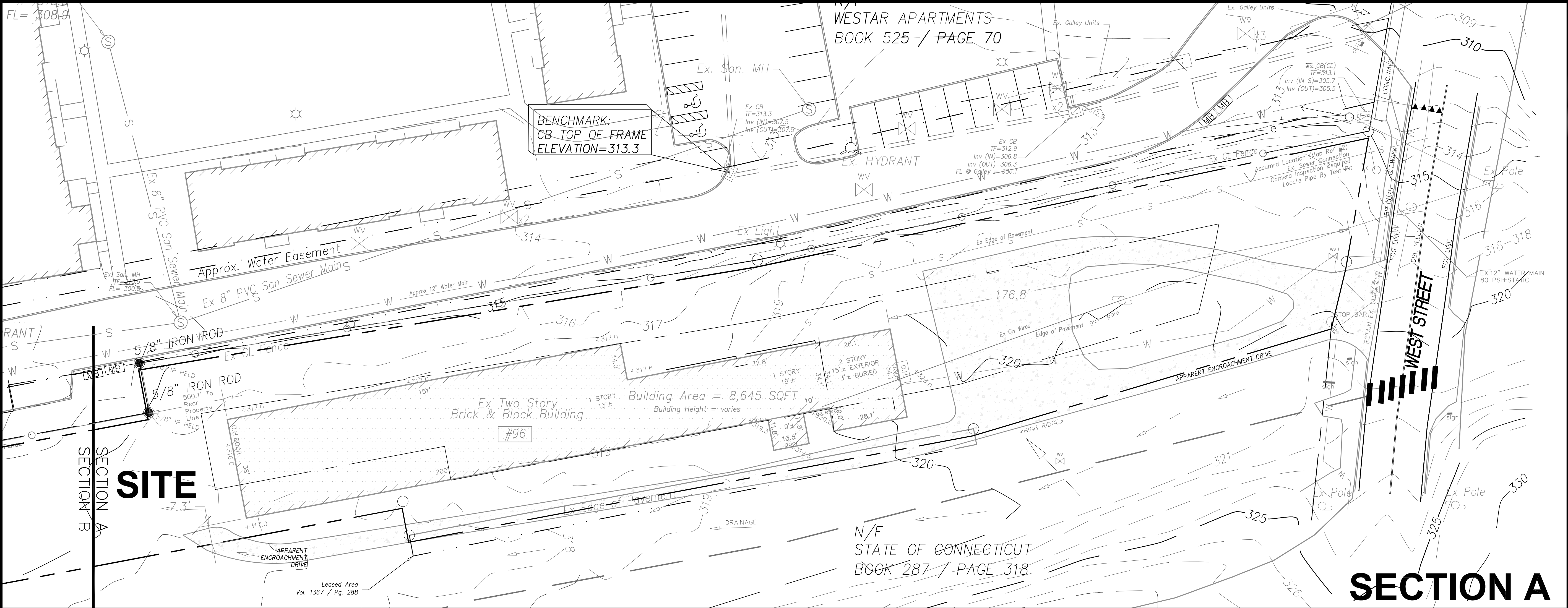
PROJECT NUMBER:
20210044

DRAWING TITLE:
LOCATION MAP

SCALE: SCALE: 1" = 200'	DRAWN BY: KJA
DATE: 08/29/2022	CHECKED BY: JS

DRAWING NUMBER:
KJA FILE NO. :
222-016 E-0

M:\2021\20210044 96 West Street 11.08.22.dwg
C:\Users\KJA\AppData\Local\Temp\11.08.22\11.08.22.dwg
KJA 11.08.22



KEY MAP 1"=800'

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INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS		
NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
**96 WEST STREET
VERNON, CT 06066**

PROJECT NUMBER:
20210044

DRAWING TITLE:
**EXISTING
CONDITIONS**

SCALE:
SCALE: 1" = 20'

DATE:
08/29/2022

DRAWN BY:
DWG

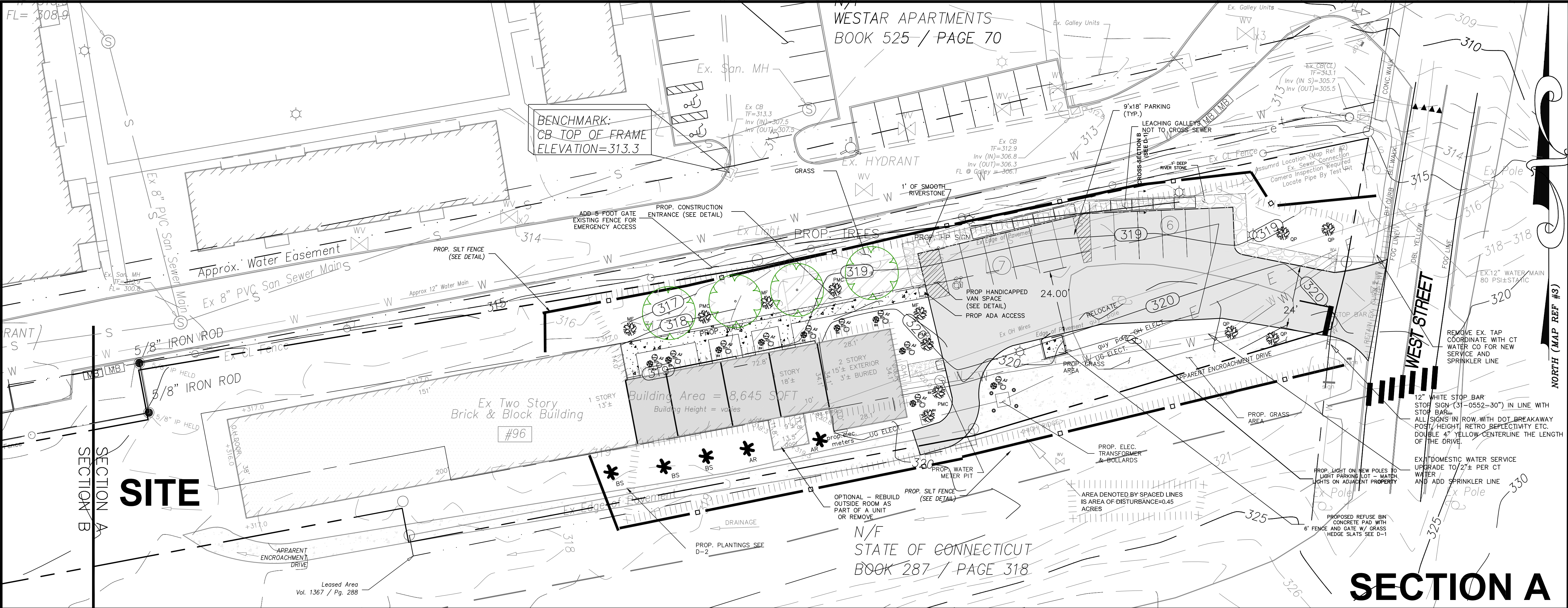
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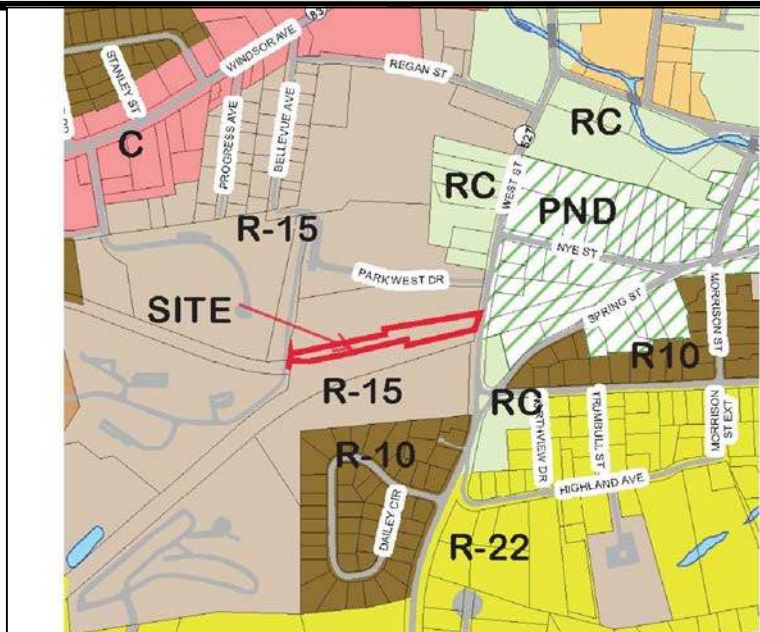
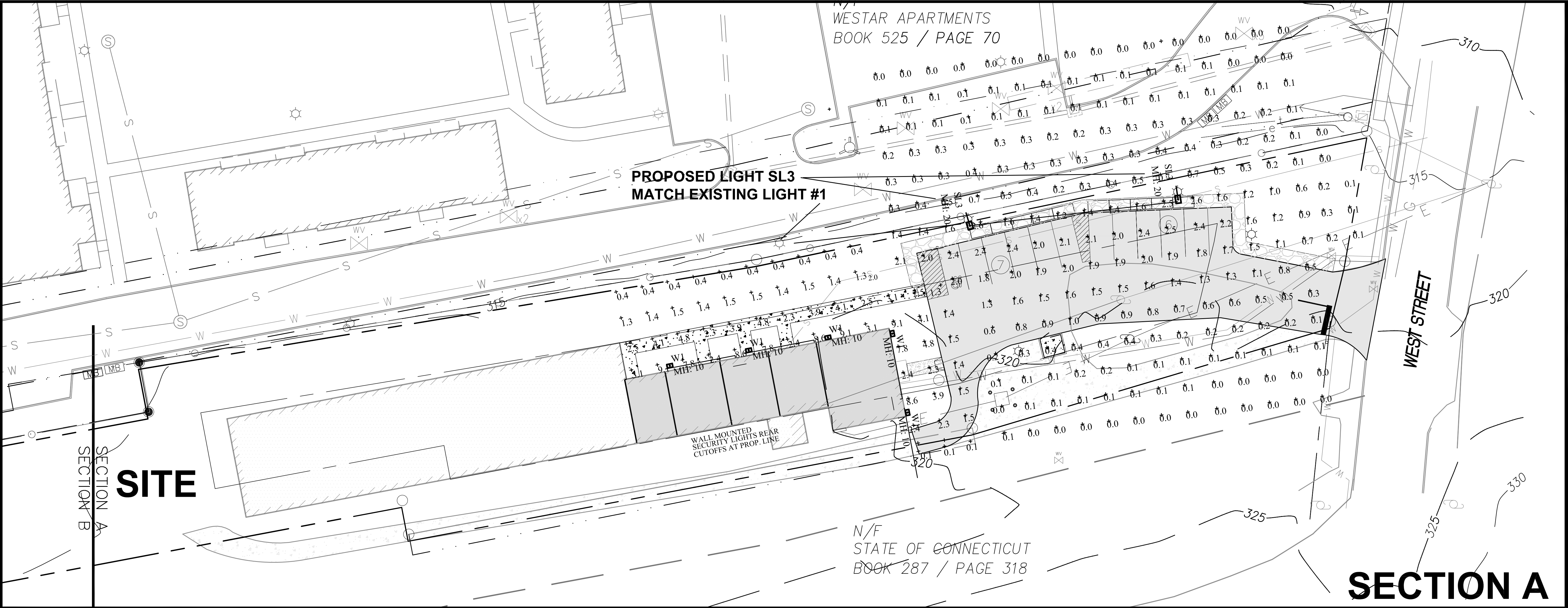
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KJA FILE NO. :
222-016 E-1

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

MAP REFERENCES
1) "AS-BUILT PLAN WESTAR APARTMENTS"; 94 WEST STREET VERNON, CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89
2) "WEST STREET FROM NYE ST, SOUTHERLY" HORIZONTAL SCALE 40 FEET TO AN INCH, VERTICAL SCALE 8 FEET TO AN INCH; 1905; J.T. MCKNIGHT, CITY ENGINEER, TOWN OF VERNON
3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHART FUNDING"; 94 AND 96 WEST STREET TOWN OF VERNON COUNTY OF MIDDLESEX STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912





KEY MAP 1"=800'

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PHASE:

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REVISIONS

NO DATE DESCRIPTION

PROJECT NAME:

96 WEST STREET

PROJECT ADDRESS:

96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:

20210044

DRAWING TITLE:

LIGHTING
PLAN

SCALE:

SCALE: 1"=20'

DATE:

08/29/2022

DRAWING NUMBER:

KJA FILE NO. :

222-016 L-1



D-Series Size 1 LED Wall Luminaire

Finish
Type

Color

Temp

Beam

Angle

Mount

Options

Notes

Specs

Order

Info

Support

FAQ

Contact

Privacy

Terms

Warranty

Return

Shipping

Installation

Maintenance

Recycling

Accessibility

Compliance

Documentation

Training

Partners

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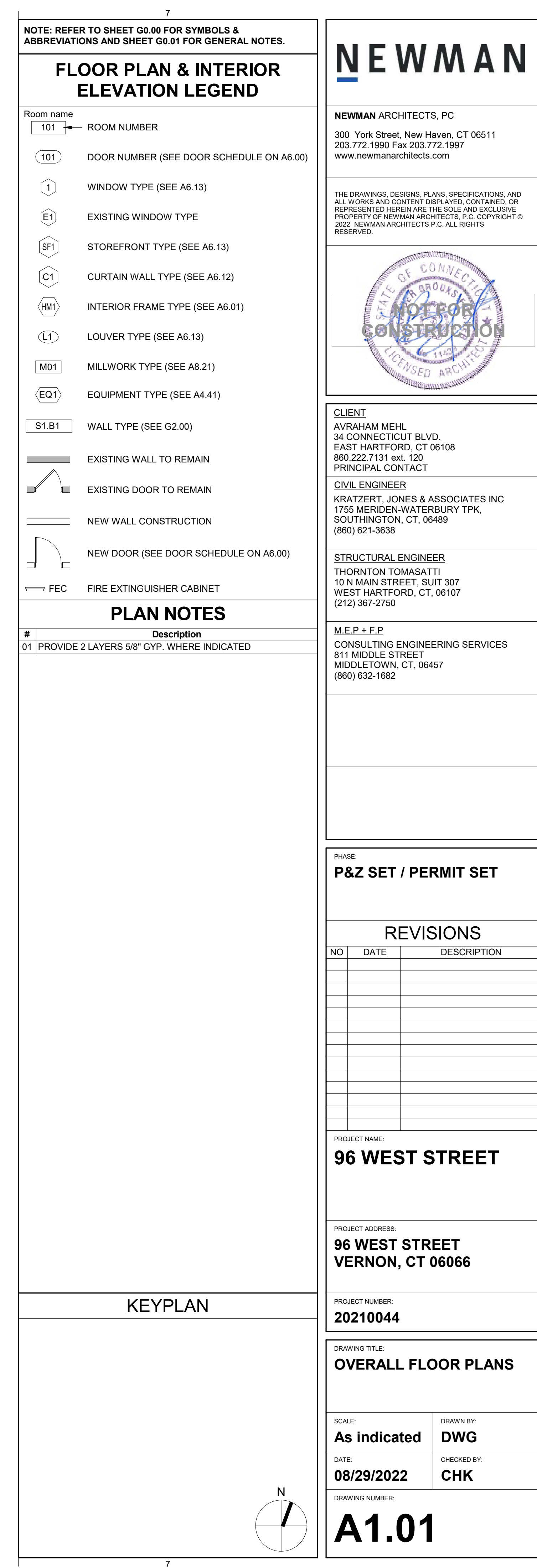
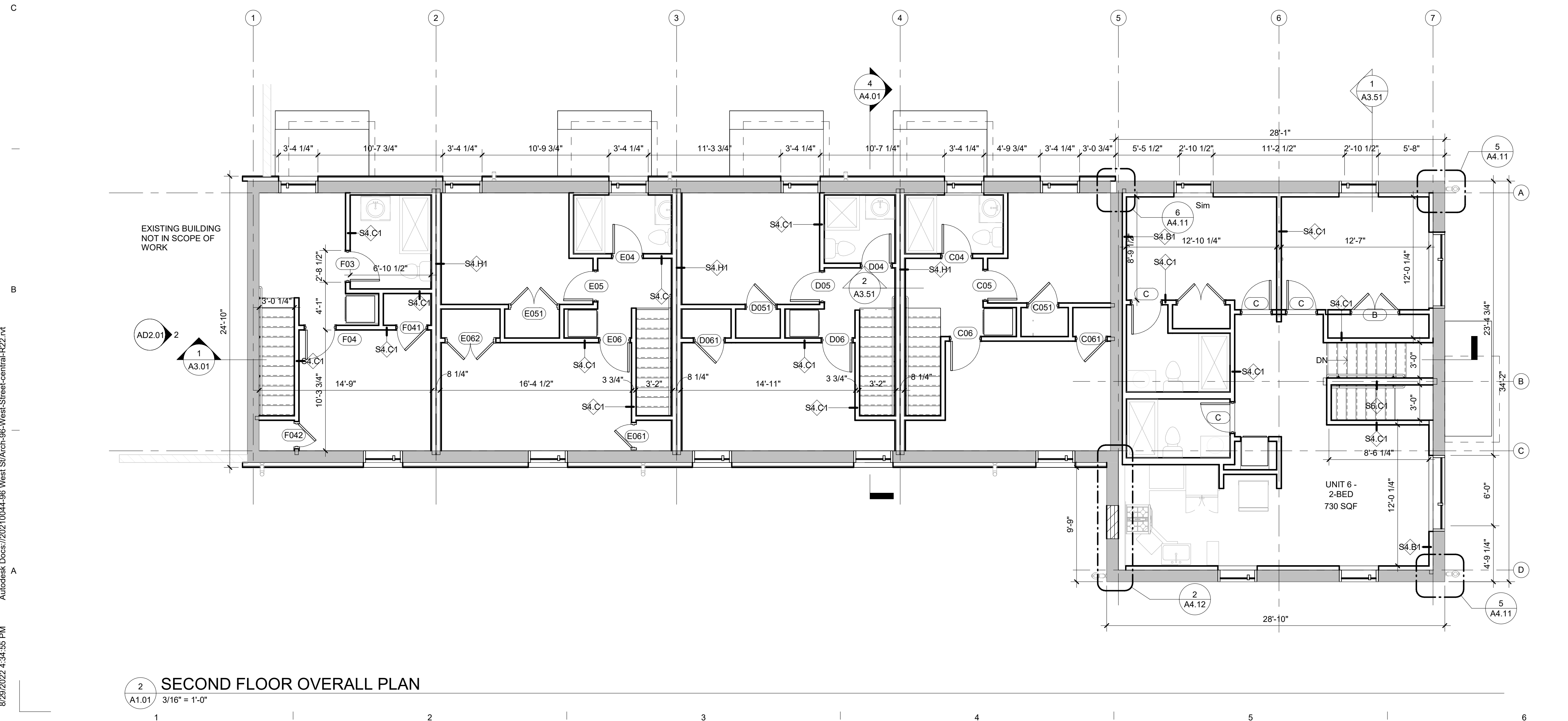
Press

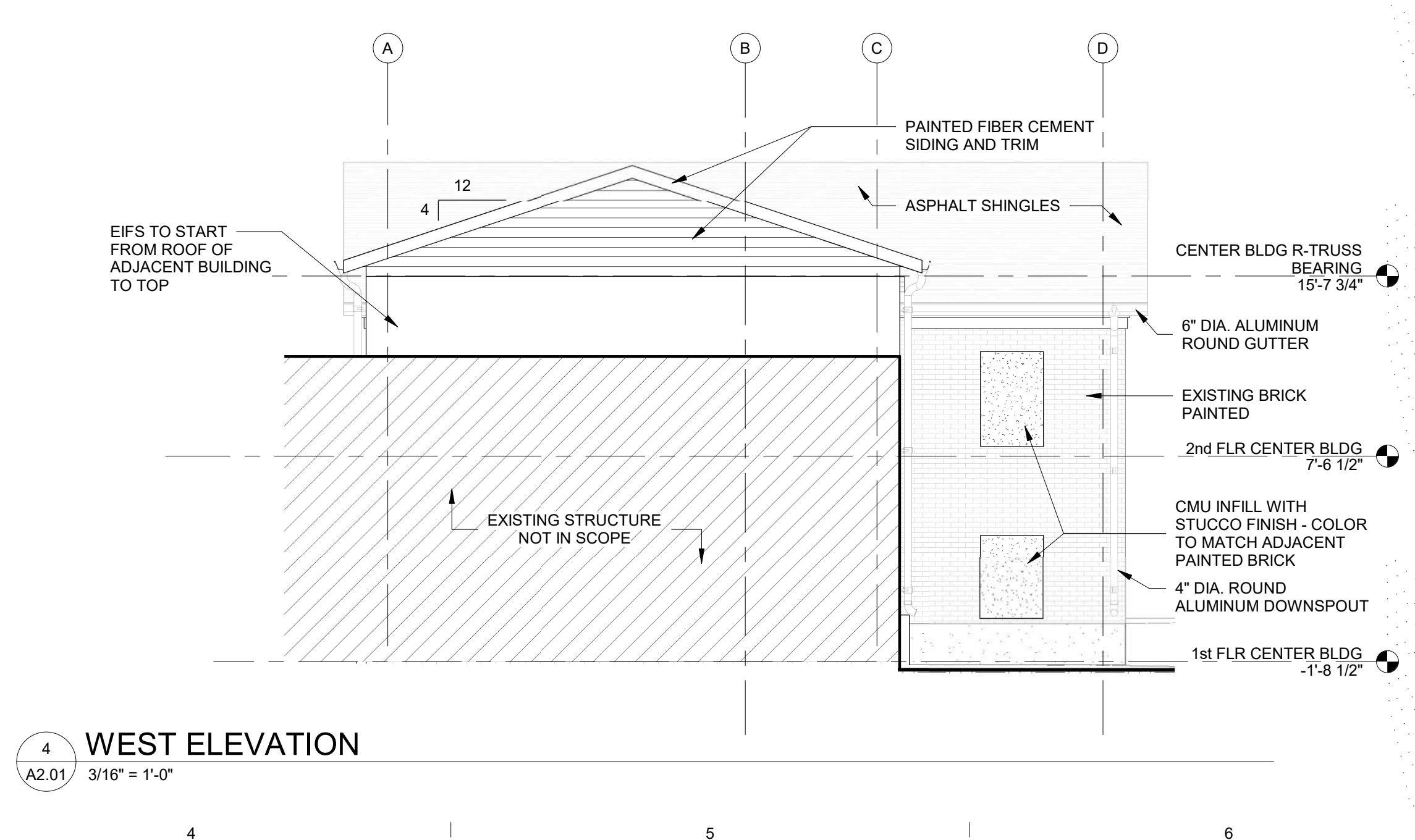
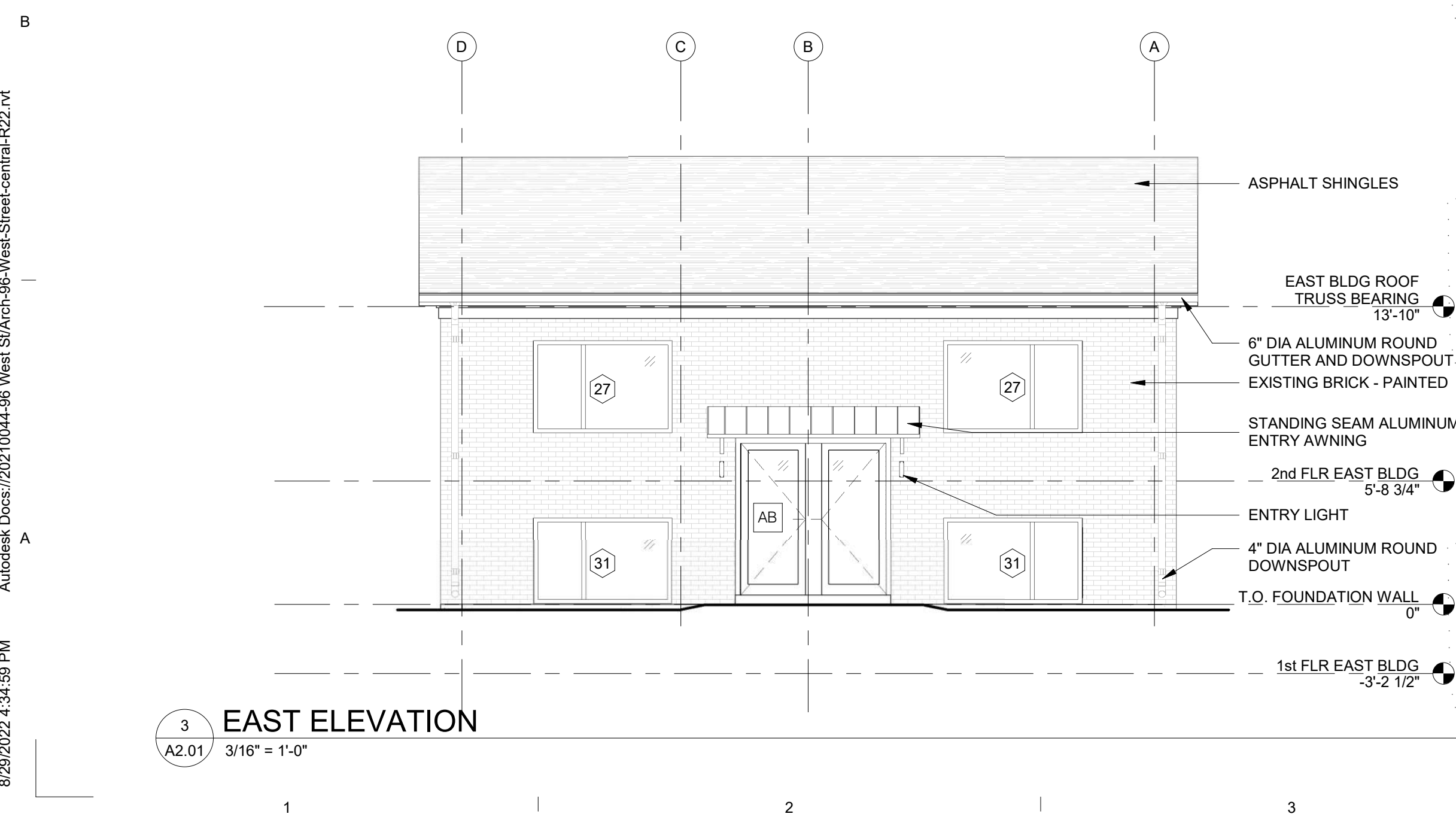
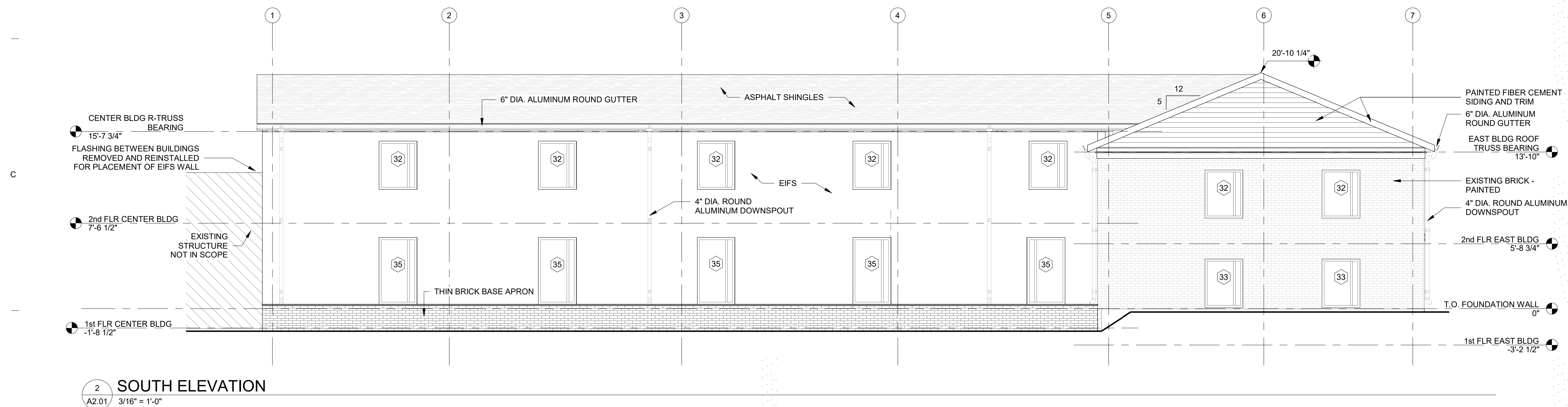
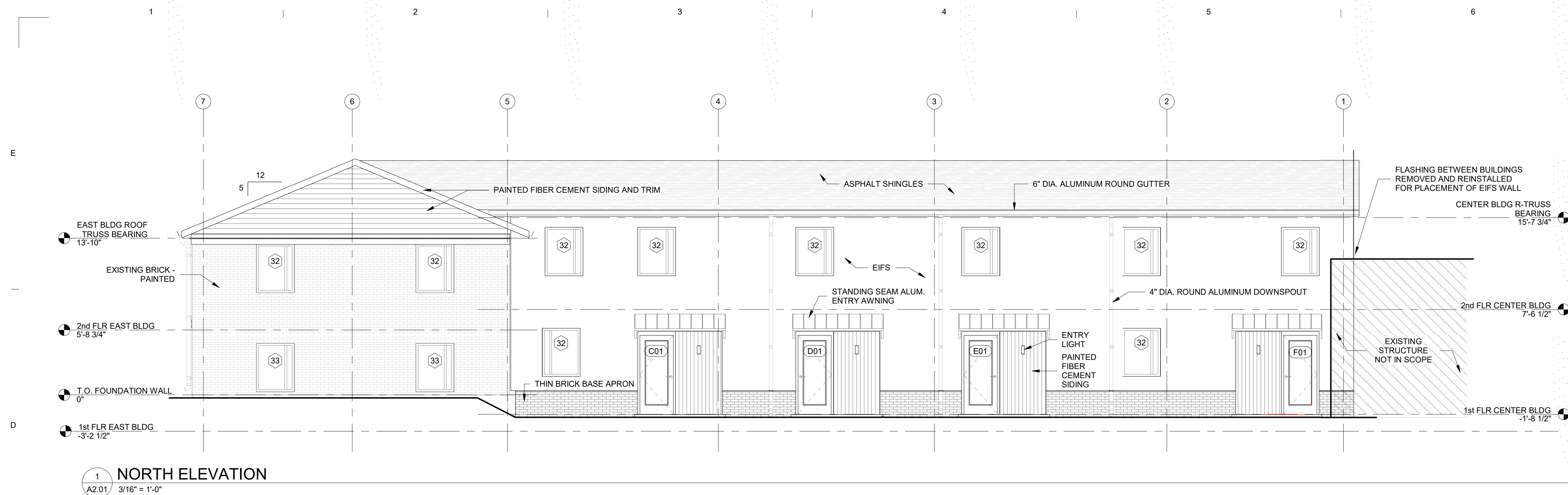
Blog

News

Jobs

Careers





NOTE: REFER TO SHEET G0.00 FOR SYMBOLS &
ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

EXTERIOR ELEVATIONS LEGEND

101	DOOR NUMBER (SEE DOOR SCHEDULE ON A 6.00)
1	WINDOW TYPE (SEE A6.13)
E1	EXISTING WINDOW TYPE
SF1	STOREFRONT TYPE (SEE A6.13)
C1	CURTAIN WALL TYPE (SEE A6.12)
L1	LOUVER TYPE (SEE A6.13)
CJ	CONTROL JOINT
EJ	EXPANSION JOINT

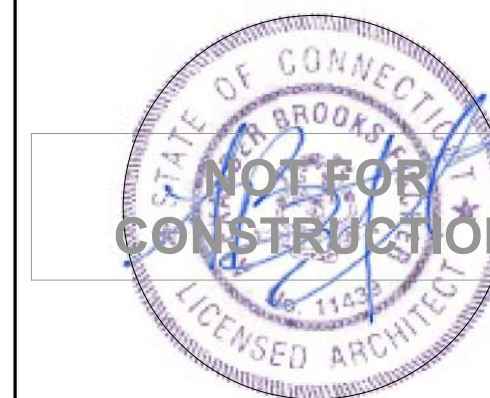
ELEVATION NOTES

#	Description
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PHASE

P&Z SET / PERMIT SET

REVISIONS

[illegible]

PROJECT NAME

96 WEST STREET

PROJECT ADDRESS

**96 WEST STREET
VERNON, CT 06066**

PROJECT NUMBER:

20210044

DRAWING TITLE

EXTERIOR ELEVATIONS

SCALE:

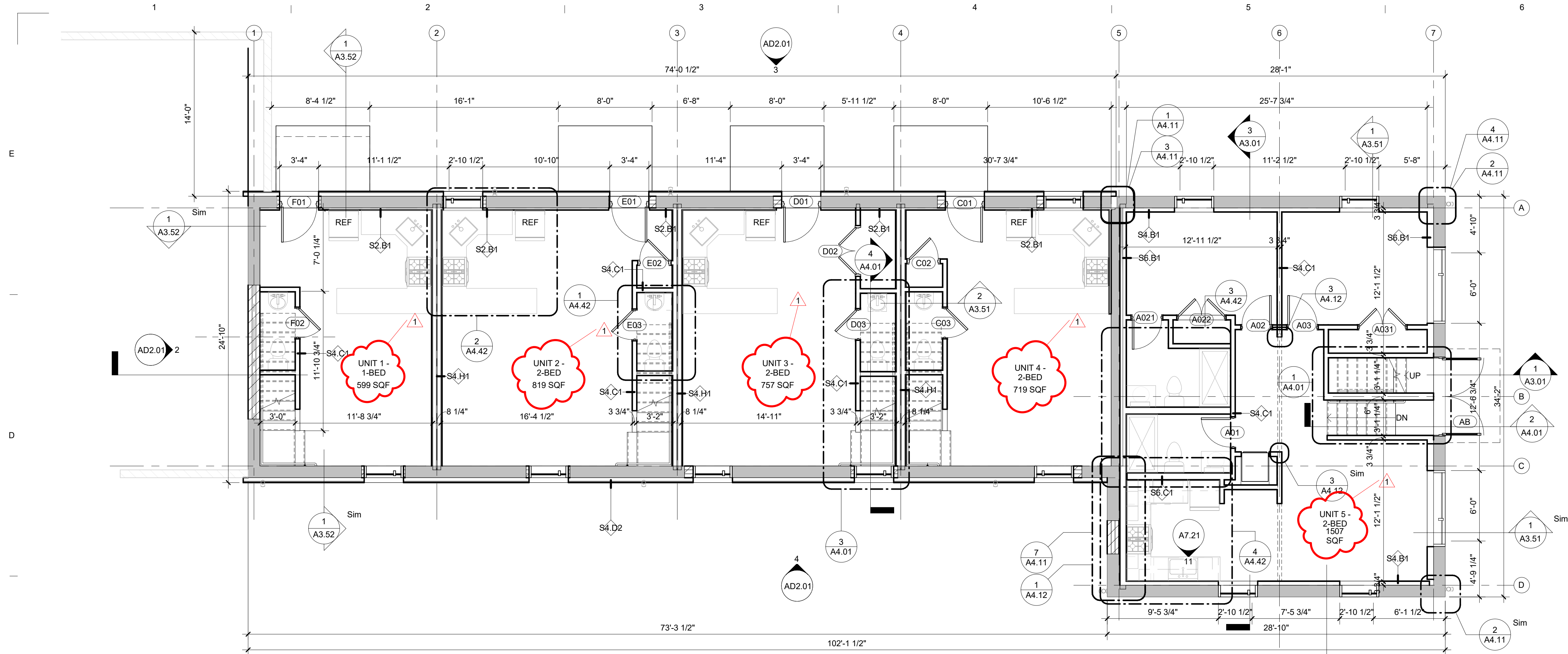
As indicated

DATE:

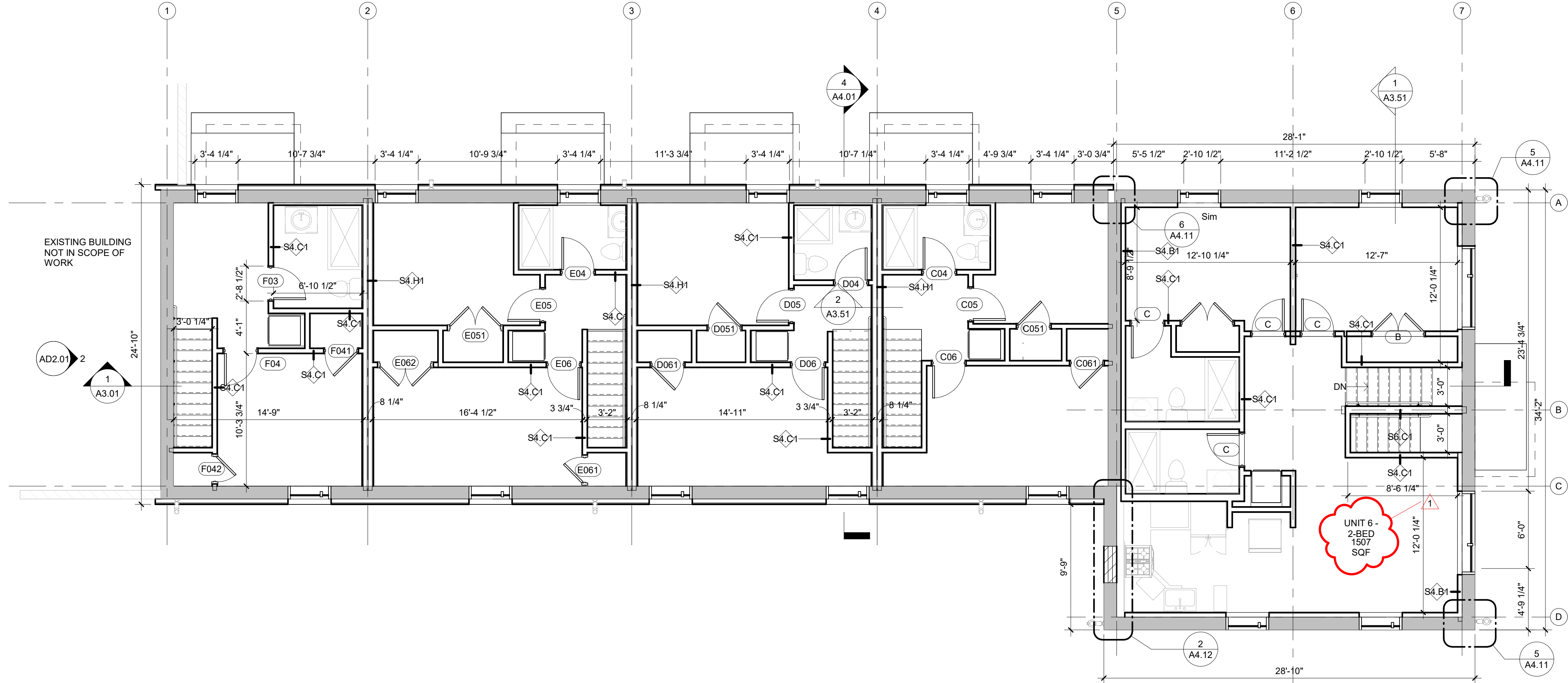
08/29/2022

DRAWING NUMBER:

A2.01



1 FIRST FLOOR OVERALL PLAN
A1.01 3/16" = 1'-0"



2 SECOND FLOOR OVERALL PLAN
A1.01 3/16" = 1'-0"

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

FLOOR PLAN & INTERIOR ELEVATION LEGEND

Room name	ROOM NUMBER
101	DOOR NUMBER (SEE DOOR SCHEDULE ON A6.00)
1	WINDOW TYPE (SEE A6.13)
E1	EXISTING WINDOW TYPE
SF1	STOREFRONT TYPE (SEE A6.13)
C1	CURTAIN WALL TYPE (SEE A6.12)
HM1	INTERIOR FRAME TYPE (SEE A6.01)
L1	LOUVER TYPE (SEE A6.13)
M01	MILLWORK TYPE (SEE A8.21)
EQ1	EQUIPMENT TYPE (SEE A4.41)
S1.B1	WALL TYPE (SEE G2.00)
	EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN
	NEW WALL CONSTRUCTION
	NEW DOOR (SEE DOOR SCHEDULE ON A6.00)
	FIRE EXTINGUISHER CABINET

PLAN NOTES

#	Description
01	PROVIDE 2 LAYERS 5/8" GYP. WHERE INDICATED

NEWMAN

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

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STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P. + F.P.
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION
1	2022-8-30	UNIT SQFT UPDATE

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
**96 WEST STREET
VERNON, CT 06066**

PROJECT NUMBER:
20210044

DRAWING TITLE:
OVERALL FLOOR PLANS

SCALE:
As indicated

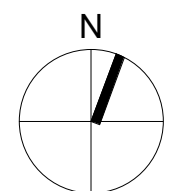
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DWG

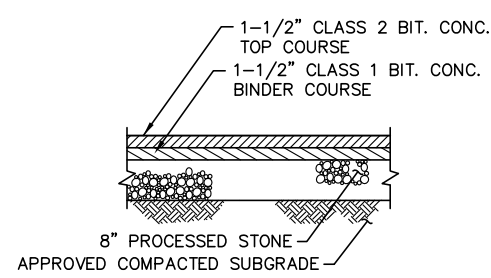
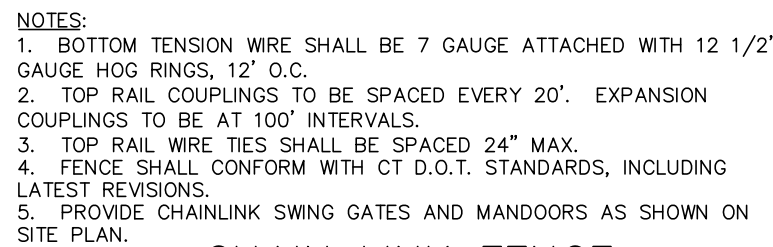
DATE:
08/29/2022

CHECKED BY:
CHK

DRAWING NUMBER:

A1.01





A cross-section diagram of a proposed drainage ditch. The ditch is 4'-0" deep and 1'-0" wide at the top. The bottom is covered with river stone. The sides are covered with pavement. The subgrade is labeled as "APPROVED SUBGRADE".

A cross-sectional diagram of a manhole assembly. The diagram shows a central circular manhole opening surrounded by a concrete frame. Above the frame is a layer of river stone, which is 1 foot thick. Above the river stone is a layer of 1-inch minimum trap rock, which is 4 feet thick. The top of the trap rock is at the existing grade. To the right of the manhole, there is a pavement slope and an approved subgrade. Labels with leader lines point to the following components: 1" MIN. TRAP ROCK, EXISTING GRADE, GALLEY LEACHING CHAMBER, INSPECTION PORT EACH END, RIVER STONE, PAVEMENT SLOPE, and APPROVED SUBGRADE. Dimensions are indicated on the left: 1'-0" for the river stone layer and 4'-0" for the trap rock layer.

MAP REFERENCES

- 1) "AS-BUILT PLAN WESTAR APARTMENTS"; 94 WEST STREET, VERNON, CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89
2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SCALE 40 FEET TO AN INCH. VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEER, TOWN OF VERNON
3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULHAMD FUNDING"; 94 AND 96 WEST STREET TOWN OF VERNON COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; NSI PROJECT NO. 44912

EROSION AND SEDIMENTATION CONTROL NOTES:

- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR GRADED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE AND MONITORING OF ALL TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON-VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING WORK.
- SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
- DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN) AND SEEDED OR MUDD.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THEIR APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE COUNCIL ON SOIL AND WATER CONSERVATION, MANUAL ENTITLED "2000 CONSTRUCTION GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
- ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT BEING SUBJECT TO A CITATION.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS DEEMED NECESSARY BY THE ENGINEER.
- SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EROSION OR STAKED HAYBALES.
- SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
- BRING ANY UNFORESEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY.
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
- BYRHAM HEMLOCK AUTHORIZED AGENT (860) 222-7131 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE CONSTRUCTION AND MAINTENANCE OF THE CONSTRUCTION OF ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY VIOLATIONS OR VIOLATIONS OF THE PLAN, AND THE CONSTRUCTION OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
- SEDIMENT CONTROL: TEMPORARY PEROUS BARRIERS, USING HAY BALES OR STAKES, SHALL BE HELD IN PLACE WITH WOODS STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
- SEDIMENT CONTROL: HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR BARRIERS SHALL BE SPACED AT 10 FEET ONTO THE SLOPE. A 6' HIGH GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THE TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET; FOR 3:1 TO 5:1 EVERY 75 FEET; AND FOR 2:1 TO 3:1 EVERY 50 FEET.
- PURSUANT TO THE REGULATIONS; A LAYER OF TPO/SILT SHALL BE SPREAD OVER THE EXCAVATED AREA, LOADED & SEDED, 4 INCHES MINIMUM IN ACCORDANCE WITH THE CITY OF BOSTON'S STANDARD SPECIFICATIONS.
- CATCH BASIN MAINTENANCE SCHEDULE:
- SEDIMENT TO BE EXTRACTED FROM SUMP(S) BI-YEARLY IN THE SPRING AND FALL AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
- REMOVAL FROM THE SITE OF ANY STORED WASTE WHICH IS NOT USED DURING CONSTRUCTION SHALL HAULED OFF-SITE.
- IF OVER 5 ACRES ARE TO BE DISTURBED, THE SITE CONTROL SHALL OBTAIN AN EROSION CONTROL PLAN FROM THE CITY OF BOSTON.
- INSPECTION OF EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONDUCTED ONCE A WEEK AND WITHIN 24-HOURS AFTER EVERY RAINFALL

SITE PLAN CONSTRUCTION SEQUENCE:

1. PURSUANT TO THE EROSION SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS OF ENSUING CONSTRUCTION ACTIVITY AND OBTAIN GRADING PERMIT PRIOR TO BEGINNING CONSTRUCTION.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG.
4. CLEAR AND GRUB SITE, TREES AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE.
5. STRIP AND STOCKPILE TOPSOIL, ANCHOR WITH STRAW MULCH AND SILT FENCE.
6. EXPOSED AREAS AND AREAS OF EROSION SHALL BE PROTECTED WITH SOD. THIS SHOULD BE SEEDDED WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/AC.
7. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
8. VISIT TOR SHORE OF THE LAKE AND START BUILDING EXCAVATION AND PILE FOUNDATION, SLAB AND BUILDING.
9. CONSTRUCT SITE UTILITIES, PROTECT CATCH BASINS WITH STAKED HAY BALES, TRIM ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
10. PLACE AND GRAD DRIVEWAY, DRIVEWAY SHALL BE GRADDED AT MAX 2:1 BANKS.
11. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
12. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
13. FINISH DRIVE SITE, DRIVEWAY AND SEED ALL AREAS DISTURBED BY CONSTRUCTION, STABILIZE ALL SLOPES.

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	<u>45</u>	<u>1.00</u>

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. ALL SHRUBS SHALL BE SET IN THE PLANT BEDS AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND SHALL BE THE SAME AS THAT AT THE PLANT BED. MULCH SHALL BE APPLIED IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. ALL TREES SHALL BE SET IN THE PLANT BEDS AND STONE MULCH TO DEPTH OF 3" STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BEFORE ALL DISTURBED AREAS SHALL BE SEEDDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.



REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

James N. Sakonchick
CT P.E. & L.S. #1130

NEWMAN ARCHITECTS, PC

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www.newmanarchitects.com

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**NOT FOR
CONSTRUCTION**

CLIENT

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 EMAIL: INFO@KRATZERTJONES.COM

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WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P

CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH TWO INCH

INCHES ON ORIGINAL

PHASE:

P&Z SET / PERMIT SET

REVISIONS

[illegible]

PROJECT NAME:

96 WEST STREET

PROJECT ADDRESS

96 WEST STREET
VERNON, CT 06066

20210044

DRAWING TITLE:

DETAIL SHEET & SITE NOTES

SCALE:

SCALE: 1" = 20'	KJA
DATE: 08/29/2022	CHECKED BY: JS

DRAWING NUMBER:

KJA FILE NO. :

222-016 D-1

4:\22\222016\version\dwg\96 WEST STREET 12NEW.dwg
PLOTOUT: 0-1 (N) DATE: Aug 30, 2022 - 1:12pm

LID CHECKLIST

Applicants must complete and submit the following checklist with the application.

Date: _____

Project: _____

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided by the applicant in the space provided below. Comments will be reviewed with Town Staff at the scheduled Development Staff Meeting and documented.

Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting sensitive natural resources including but not limited to existing wetlands (as designated by a Certified Soils Scientist in Connecticut), streams, ponds, vernal pools, flood zones, stream channel encroachment lines, soil types and infiltration rates, wells, tree lines, property boundaries, and other items that may be requested by the Town.		
2	Utilizing the Existing Conditions Plan as a guide, development has been located to maximize preservation of contiguous natural sensitive areas.		
3	Proposed site developments for residential or two family dwellings on more than one individual parcel, all commercial, industrial, and retail developments have been guided by the applicable requirements of the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual.		
4	Bioretention Basins or Rain Gardens have been incorporated within yards, median strips, cul-de-sacs islands, and parking lot islands.		

Date: _____

Project: _____

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.		
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.		
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.		
8	Post Development stormwater runoff is at or less than the predevelopment runoff.		
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.		
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.		

Date: _____

Project: _____

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.		
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.		
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.		
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.		
15	Impervious area percentages for pre and post development have been provided.		
16	When conflicts exist between the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State Manual shall govern.		

POST CONSTRUCTION STORMWATER MAINTENANCE

Thursday, April 07, 2022

Stormwater System
Operations and Maintenance Plan
For the Proposed:
Apartment Development
Located at:
96 West St.
Vernon, Connecticut
Prepared for Submission to:
City of Vernon, Connecticut

PREPARED BY JAMES SAKONCHICK PE 11302
KRATZERT, JONES & ASSOC. INC.
MILLDAL CT 06467-0337
SAKONCHICK@KRATZERTJONES.COM
KJA JOB 222016

James Sakonchick

Site Improvements

The proposed site improvements will include a reuse of the existing building for an partial apartment conversion.

The site will have these buildings, updated paved parking areas, landscaped areas, site utilities and lighting, and a stormwater infiltration stone and galley area. Reference is made to the plans for the site development. The full size versions of these plans are available at Kratzert, Jones & Associates KJA who will be happy to supply replacement copies if the on site copies are misplaced.

The proposed stormwater management system is designed to be in compliance with the Town of Vernon Low Impact Design requirements, the 2002 State of Connecticut Guidelines for Soil Erosion and Sediment Control, and the 2004 State of Connecticut Stormwater Quality Manual. The design will function to mitigate peak flows from the site.

Required Stormwater Maintenance.

The following Operations and Maintenance Plan was prepared specifically for this proposed development in the City of Vernon, Connecticut. The Plan was developed to satisfy the requirements of the Connecticut Department of Energy and Environmental Protection's 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

The Property Owner will be responsible for implementing the Plan on the property. Maintenance inspections shall be performed by qualified persons. KJA can provide training if desired.

Maintenance Logs and Checklists

The property owner will keep a record of all maintenance procedures performed, date of inspection/ cleanings, etc. Copies of inspection reports and maintenance records shall be kept on-site.

The following record will be developed for annual maintenance. Copies of the records will be kept on-site or with the management company as part of the Storm Water Management Plan.

- Annual record of maintenance which may be invoices or bills paid.

Spill Control

In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and

clean-up:


- Manufacturer's recommended methods for spill clean-up will be clearly posted and site personnel will be made aware of the procedures and the location of the information and clean-up supplies.
- Materials and equipment necessary for spill clean-up will be kept in the material storage area on-site. Equipment and materials will include but not be limited to: absorbent booms or mats, brooms, dust pans, mops, rags, gloves, goggles, sand, and plastic and metal trash containers specifically for this purpose.
- All spills will be cleaned immediately after discovery.
- The spill area will be kept well-ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with hazardous substance.
- Spills of toxic or hazardous material, regardless of size, will be reported to the appropriate State or local government agency.
- If a spill occurs, this plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean the spill if there is another one. A description of the spill, the cause, and the remediation measures will also be included.

A spill report shall be prepared by the property owner following each occurrence. The spill report shall present a description of the release, including quantity and type of material, date of spill, circumstances leading to the release, location of spill, response actions and personnel, documentation of notifications and corrective measures implemented to prevent reoccurrence.

The property owner shall identify an appropriately qualified and trained site employee involved with day-to-day site operations to be the spill prevention and clean-up coordinator. The name(s) of responsible spill personnel shall be posted on-site. Each employee shall be instructed that all spills are to be reported to the spill prevention and clean-up coordinator.

SUGGESTED KIT TO KEEP ON SITE IN OFFICE: (OTHER INEXPENSIVE KITS AVAILABLE ALSO)

Screen clipping taken: 4/7/2022, 5:02 PM



Roll over image to zoom in

SpillTech SPKU-10 Universal 10-Gallon Spill Kit

[Visit the SpillTech Store](#)

\$118⁷⁵


- Package dimensions: 18.542 cms(L) x 33.782 cms(W) x 44.45 cms(H)
- Package quantity: 1
- Product Type: JANITORIAL SUPPLY
- Country Of origin: United States

Specifications for this item

Brand Name	SpillTech
Color	Yellow
Ean	0818502025205 , 0818502020187
Item Weight	11.10 pounds
Material	HAWA
Model Number	SPKU-10
Number of Items	1
Part Number	SPKU-10

Screen clipping taken: 4/7/2022, 5:00 PM

ALTERNATIVES:

			
SpillTech Universal Overpack Salvage Drum Spill Kit, 20 Gallon, 43 Pieces (SPKU-20)	Stardust Quick Response II Spill Kit 2-Pack. Each Pack Includes: Yellow Duffle, 15 ...	AWF PRO Portable Sorbent Universal Spill Kit, 32 Pieces: Perfect for Truckers, Rest...	SpillTech Refill for Universal 50-Gallon Spill Kit, 127 Pieces (RSPKU-50)
★★★★★ 21	★★★★★ 94	★★★★★ 36	
\$144.75	\$87.90	\$78.79 	\$144.75
FREE delivery: April 12 - 15	FREE delivery: April 12 - 15	FREE delivery: Monday, April 11	FREE delivery: April 12 - 15

Storm Water Management System Components

PARKING LOT SHEET RUNOFF ONTO 6 FT STONE BED WITH 10 -8 FOOT GALLEYS FOR INFILTRATION.

The property owner is responsible for cleaning the surface stones and to visually inspect the galleys on the property. If galleys are clogged, a Connecticut Licensed hauler shall clean the galleys, and dispose of removed sand legally. The road sand may be reused for winter sanding, but may not be stored on-site. As part of the hauling contract, the hauler shall notify the property owner in writing where the material is being disposed. **Note - be careful not to blow grass clippings on stone bed but blow debris off of bed.** The Galleys shall be inspected during the month of April. Any debris occurring shall be removed by Vacuum "Vactor" type of maintenance equipment.

Parking Lots

Parking lots and sidewalks shall be swept as necessary by the property owner, or at least once per year, to clean sediment, trash, and other debris. The property owner will sweep parking lots on the property in the spring to remove winter accumulations of road sand.

Landscaping

The management company retained by the property owner will maintain landscaped areas. Normally the landscaping maintenance will consist of pruning, mulching, planting, mowing lawns, raking leaves, etc. Note - be careful not to blow grass clippings on stone bed but blow debris off of bed. Use of fertilizers and pesticides will be controlled and limited to minimal amounts necessary for healthy landscape maintenance.

The lawn areas, once established, will be maintained at a typical height of 3". This will allow the grass to be maintained with minimal impact from weeds and/or pests. The low maintenance areas will be maintained as a meadow or allowed to revert back to natural conditions.

Outdoor Storage

There will be no outdoor storage of hazardous chemicals, de-icing agents, fertilizer, pesticides, or herbicides anywhere around the buildings.

Deicing and Snow Removal & Storage

The use of clean sand may be used to aid traction in conjunction with salt and/or chemicals for deicing, snow melting and other related winter weather management. Snow shall be shoveled and plowed from sidewalk and parking areas as soon as practical during and after winter storms. Sand accumulation shall be removed from the site at the end of the winter season or appropriate time when seasonal snow has melted.

Kratzert, Jones & Associates, Inc.
1755 Meriden-Waterbury Road – P.O. Box #337
Middale, CT 06467-0337
860-621-3638 621-9609FAX sakonchick@kratzertjones.com

8/29/2022

TRAFFIC IMPACT STATEMENT
CONVERSION OF PORTION OF EXISTING BUILDING TO 6 APARTMENTS
96 WEST STREET
VERNON, CT

EXISTING EXPECTED TRAFFIC

THE PRESENT 8,645 BUILDING WOULD GENERATE EXITING TRAFFIC.
CERTAIN HISTORIC USES OF THIS BUILDING WOULD GENERATE TRAFFIC SIMILAR TO
THE AMOUNT GENERATED BY CONVERSION OF PART OF BUILDING TO APARTMENTS.

EXPECTED TRAFFIC GENERATION BY APARTMENTS.

AT RUSH HOUR APARTMENTS GENERATE ABOUT ONE VEHICLE TRIP PER HOUR.
SIX APARTMENTS WOULD GENERATE 6 TRIPS.
THIS IS LESS THAN THE AVERAGE VARIATION IN TRAFFIC ON WEST STREET DURING
RUSH HOUR.

CONSEQUENTLY, THIS CONVERSION TO APARTMENTS WOULD HAVE NO IMPACT.

James Sakonchick

JAMES SAKONCHICK PE #11302

22-0042-0008B	SUNSET WEST LLC	C/O DAYSHA JAMES	34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0042-0001C	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0043-00005	100 WEST LLC		619 EASTERN PKWY	BROOKLYN	NY	11213
22-0042-00008	SUNSET WEST LLC		34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0038-00044	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0049-00005	PARVEZ SHAFIQ		93 WEST ST 1ST FLOOR	VERNON	CT	6066
22-0048-00001	101 WEST ST LLC		101 WEST ST	VERNON	CT	6066
22-0048-00002	PATEL PRATIK & MEMA GRAMOZ		35 FELDSPAR	GLASTONBURY	CT	6033
22-0049-00007	VERNON TOWN OF		14 PARK PLACE	VERNON	CT	06066-3291
11-RROW-00000	CONNECTICUT STATE OF	C/O PROPERTY MANAGEMENT	24 WOLCOTT HILL RD	WETHERSFIELD	CT	06109-1152
07-0024-0012A	VERNON TOWN OF	ABANDONED R R	14 PARK PLACE	VERNON	CT	6066
null	null	null	null	null	null	null

STAFF COMMENTS



North Central District Health Department

□ Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188

□ Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531

□ Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034

□ Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

September 7, 2022

Ms. Ashley Stephens
Vernon Town Planner
55 West Main Street
Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application – Up Realty LLC
96 West Street
Vernon, Connecticut

Dear Ashley:

I am writing regarding the Planning & Zoning Commission Application at the above referenced address.

North Central District Health Department (NCDHD) has the following comments regarding the proposed site plans:

- Public Water and Public Sewer are available for this property. Any building(s) with plumbing shall connect to these utilities.
 - In the case that public sewers will not be available for this property for whatever reason(s), the NCDHD must be contacted.
- Asbestos may be present in materials such as thermal systems insulation, flooring, plaster, wallboard, siding, roofing, and other materials. Residential structures with 5 or more units must be inspected by an asbestos consultant **before** renovation or demolition is started, to determine if asbestos is present.
 - If a facility is structurally sound, all asbestos-containing material must be abated prior to demolition;
 - Asbestos abatement involving more than 3 linear feet or more than 3 square feet must be performed by a Connecticut licensed asbestos contractor;
 - A notification must be submitted to the Connecticut Department of Public Health (CT DPH) whenever more than 10 linear or 25 square feet of asbestos will be disturbed;
 - A demolition notification be submitted to the CT DPH for **any** structure that is demolished.
 - Asbestos is regulated as a "special waste," and cannot be disposed of with

regular trash.

- Due to the age of the existing structures on the property, there is a chance that lead-based paint may be present. When lead-based paint is disturbed during renovation, repair or painting activities, dangerous amounts of lead dust can be created which poses a health risk for children under the age of 6.
 - EPA's Lead Renovation, Repair and Painting (RRP) Rule requires that firms performing renovation, repair and painting projects that disturb lead-based paint in homes built before 1978 be certified by EPA (or an EPA-authorized state), use certified renovators who are trained by EPA-approved training providers and follow lead-safe work practices.
- Sandblasting creates large amounts of dust that may present a safety hazard both to the workers performing the sandblasting, and to any occupants of the structure and neighboring properties. This is particularly a concern if lead-based paint or asbestos is present.
 - Dust emissions must be controlled (e.g., with water misting) if any sandblasting is to be done to ensure that any lead dust and/or asbestos do not cross any property lines and affect neighboring apartment complexes.
- Any dumpsters shall reside on a concrete surface or a similar surface.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brian Bielawiec, R.S.", is written above the typed name.

Brian Bielawiec
Registered Sanitarian



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
Astephens@vernon-ct.gov

MEMORANDUM

TO: Planning & Zoning Commission

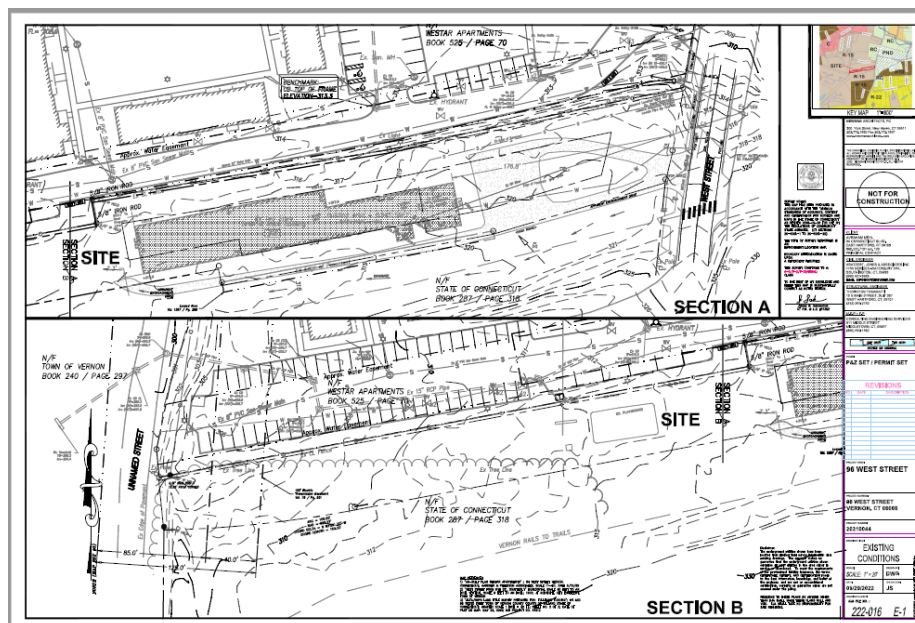
FROM: Ashley Stephens, Town Planner

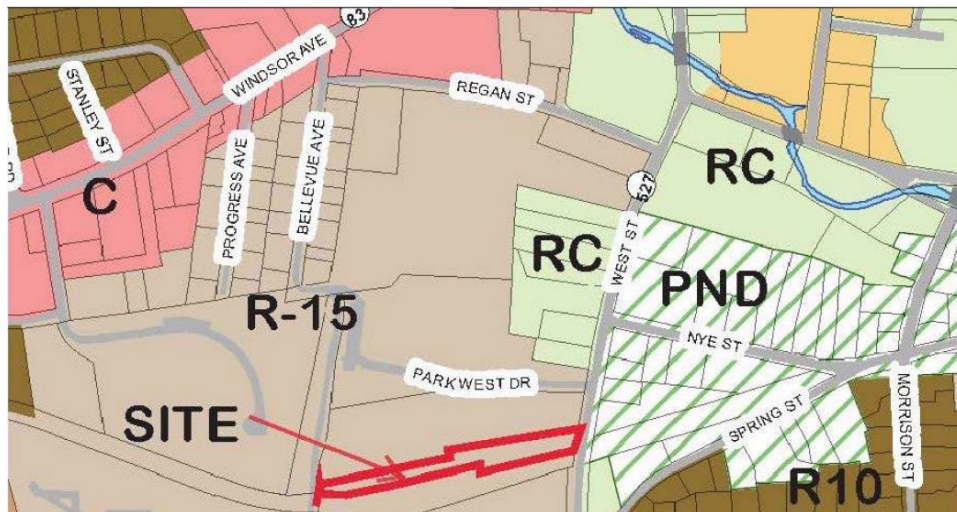
SUBJECT: PZ 2022-14- 96 West St

DATE: September 15, 2022

REQUEST

PZ-2022-14, 96 West Street. An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permit to conduct adaptive reuse creating six (6) residential units at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The Special Permit request includes Section 4.7.4.8 (Multi-family dwellings). The property is zoned Planned Residential Development.





Site Location

SUMMARY

The applicant proposes to reuse this building to create 6 residential units. This will involve demoing the existing interiors, and make site and façade improvements. Access to the site will be provided via the existing curb cut off of West St. The property will provide 13 parking spaces for employees and customers. The applicant submitted an application with a site plan set, drainage plan, LID Checklist, traffic statement, photometric calculation and architectural elevations, all included in the agenda packet.



STAFF REVIEWS:

Traffic Authority: This application is not proposing to create new curb cuts so it did not need to go before the commission.

Design Review Commission: The Design Review Committee ---meeting on 9/7

Conservation: Not needed.

Town Engineer: The engineer has several concerns with the plans being difficult to follow.

Building Official: Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

Fire Marshal: Has concerns about the drawing marked North Elevation. It lists an Existing structure which does not say what it is used for and its fire separation from the building.

Wetlands Commission: There are no wetlands on the property.

Zoning Enforcement: Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

Health Department: The North Central District Health Department (NCDHD) has reviewed the application and provided the following comments:

- There may be asbestos present and the structure will need to be inspected before renovations or demolition is started.

- There is a chance lead-based paint is present, if there is, EPA protocols need to be followed.
- Dust from sandblasting will need to be controlled.

Town Planner Summary:

We are waiting for further clarification with the use for the rear of the building. We have been in contact with the applicant who is working with the owner to decide on what use would make the most sense for the project. I will provide a final review either before or at the meeting.