

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice & Agenda
Thursday, February 17, 2022, 7:30 PM

Zoom Meeting Information

<https://us02web.zoom.us/j/6149852850?pwd=NUZwVkEwWkRlS1EweC94cFNHVUxhdz09>

Meeting ID: 614 985 2850 **Passcode:** h72Vs7

By Phone: 646 876 9923

Meeting ID: 614 985 2850

Passcode: 786221

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote.
 - 2.2 Approval of the Minutes from the **February 3, 2022**
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Applications:**
 - 4.1 PZ-2022-02, 95 Hartford Tpke.** CT Golf Land LLC has requested modifications to an approved Site Plan of Development and special permits for site grading, new construction, additions, and other activities on property located at 95 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00095).
 - 4.2 PZ-2022-03, 57 Hartford Tpke.** An Application by Jerry Fornarelli for a modification to an approved site plan and special permits from Section 5 of the Zoning Regulations, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike (Tax Map 01, Block 0158, Parcel 00057).
5. **8-24 Referrals, If any**
6. **Other Business/Discussion**
7. **Adjournment**

Roland Klee, Chair
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Thursday, February 3, 2022, 7:30 PM
VIA Zoom

Zoom Meeting Information

<https://us02web.zoom.us/j/6149852850?pwd=NUZwVkEwWkRlS1EweC94cFNHVUxBdz09>

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By Phone: 646 876 9923

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Passcode: 786221

DRAFT MINUTES

1. **Call to Order & Roll Call by Roland Klee, Chairman at 7:32 PM**

- Regular members present: Roland Klee, Carl Bard, Mike Baum, Robin Lockwood, Joseph Miller, and Mike Mitchell
- Alternate Member:
- Absent Members: Iris Mullan
- Staff present: George McGregor, Town Planner, Shaun Gately, EDC
- Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote.

Robin Lockwood **MOVED** to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

2.2 Approval of the Minutes from the **January 20, 2022**

Robin Lockwood **MOVED** to **APPROVE** the minutes from January 20, 2022. Mike Mitchell seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

3.1 PZ-2022-05, 501 Talcottville Rd. An Application of Vernon Development LLC for a Site Plan and Special Permits to develop a 10,000 sq. ft. day care center at 501 Talcottville Rd. (Tax Map 09, Block 007, Parcel 0001D). Special permits requested include Section 4.9.4.15.1 (more than 40 parking spaces; Section 4.9.4.15.2 (structure within 200 feet of a residence); Section 4.9.4.15.3 (parking within 100 feet of a residence). The property is zoned Commercial.

3.2 PZ-2002-06, 501 Talcottville Rd. An Application of 501 Talcottville Rd. LLC to permit the re-subdivision of land into one additional parcel, located at 501 Talcottville Rd. (Tax Map 09, Block 0007, Parcel 0001D). The property is zoned Commercial.

George McGregor, Town Planner recommended a hearing date of March 3, 2022 for BOTH **PZ-2022-05, 501 Talcottville Rd.** and **PZ-2002-06, 501 Talcottville Rd.**

Robin Lockwood **MOVED** to **RECEIVE** both applications at the March 3, 2022 meeting. Carl Bard seconded and the motion carried unanimously.

4. **Public Hearing(s) and Action on Applications:**

4.1 PZ-2022-01, 26 Union St. An Application of Amy Javarauckas for a Special Permit pursuant to Section 4.23.5.16 and Section 24.5.21 of the Zoning Regulations to allow a Tattoo Shop at 26 Union St. (Tax Map 23, Block 106, Parcel 15). The Parcel is zoned Downtown Business & Residential (DBR) and is in the Rockville Village Overlay District.

- Shaun Gately, EDC, read the Public Notice in to record. Posted in the Journal Inquirer on January 22, 2022 and January 29, 2022.
- Shaun Gately, EDC read the details of the application.
- Chairman Roland Klee read the following teleconference rules into the record:
 1. Any member of the public who wishes to provide public comment may participate remotely via computer with a microphone and ZOOM link or via telephone call-in number
 2. We ask that all participants "MUTE" their phones and that the meeting organizer may mute participants if excessive noise or feedback interrupts the meeting.
 3. Speakers are encouraged to use the ZOOM Chat function to alert the host that they would like to speak.
 4. At the appropriate time, the Chairman will call for public comment. Speakers should unmute their phones by pressing *6 and then clearly identify their name and address.
 5. Speakers should direct their comments through the Chairman
 6. Please be patient.
- Amy Javarauckas, applicant, 17 Castlewood Road, West Hartford, spoke in regards to the application.
- Commission asked questions in regards to zoning, amount of tattoo artists and vehicles in lot at one time.
- Shaun Gately, EDC, responded.
- Amy Javarauckas, applicant, responded.
- George McGregor, Town Planner, responded.
- Chairman Roland Klee opened the Public Hearing at 7:47 PM.
- No one spoke in favor of.
- No one spoke opposed.

Mike Mitchell **MOVED** to **CLOSE** the Public Hearing at 7:48 PM. Robin Lockwood seconded and the motion passed unanimously.

Mike Mitchell **MOVED** the Planning and Zoning Commission **APPROVE** PZ-2022-01, 26 Union St. upon a finding that the application meets the special permit criteria found in Section 17.3 of the Zoning Regulations. Joseph Miller seconded and the motion carried unanimously.

4.2 PZ-2022-04, 1230 Hartford Tpke. An Application of Body Secrets Day Spa for a Special Permit pursuant to Section 4.9.4.22 of the Zoning Regulations to allow a non-independent massage area as accessory to a Day Spa, and personal service establishment. The property is located at 1230 Hartford Turnpike and zoned Commercial (C) (Tax Map 43, Block 68, Parcel 36).

- Shaun Gately, EDC, read the Public Notice in to record. Posted in the Journal Inquirer on January 22, 2022 and January 29, 2022.
- Shaun Gately, EDC read the details of the application.
- Dawn Webber, applicant, 206 Ferguson Road, Manchester, spoke in detail regarding the application.
- Commission asked questions regarding parking and hours.
- Dawn Webber, applicant, responded.
- Chairman Roland Klee opened the Public Hearing at 7:58 PM.
- No one spoke in favor of.
- No one spoke opposed.

Mike Mitchell **MOVED** to **CLOSE** the Public Hearing at 7:59 PM. Carl Bard seconded and the motion passed unanimously.

Robin Lockwood **MOVED** the Planning and Zoning Commission **APPROVE** PZ-2022-04, 1230 Hartford Tpke. upon a finding that the application meets the special permit criteria found in Section 17.3 and Section 4.9.4.22 of the Zoning Regulations. Mike Mitchell seconded and the motion carried unanimously.

5. **8-24 Referrals, If any**

5.1 19 Park St.

- George McGregor, Town Planner, gave details on 8-24 referral 19 Park St.
- Lengthy discussion ensued.

Mike Mitchell, **MOVED** the disposition of the property at 19 Park St. is consistent with POCD, with the condition that any future plans for this address be brought before the PZC commission. Joseph Miller seconded and the motion carried unanimously.

6. **Other Business/Discussion**

NONE

7. **Adjournment**

Robin Lockwood **MOVED** to **ADJOURN** at 8:20 PM. Mike Mitchell seconded and the motion carried unanimously.

APPLICATION

1

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Jerry Fornarelli

Title: _____

Company: CT Golf Land, LLC

Address: 57 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-951-4657 Fax: _____

E-mail: _____

II. PROPERTY OWNER (S):

Name: Peter Krause

Title: President

Company: Sub Peak of Connecticut, Inc.

Address: 14 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-205-1440 Fax: 860-646-4895

E-mail: pkrause7681@gmail.com

IV. PROJECT

Project Name: CT Golf Land - Phase II

Project Contact Person:

Name: Mark Peterson

Title: _____

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike

Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

____ Other Special Permit(s). Cite ZR Section and describe activity:

____ 5.7.1, 5.7.2,

____ 5.7.5,

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

____ Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:



Signature



Signature

12/10/2021
Date

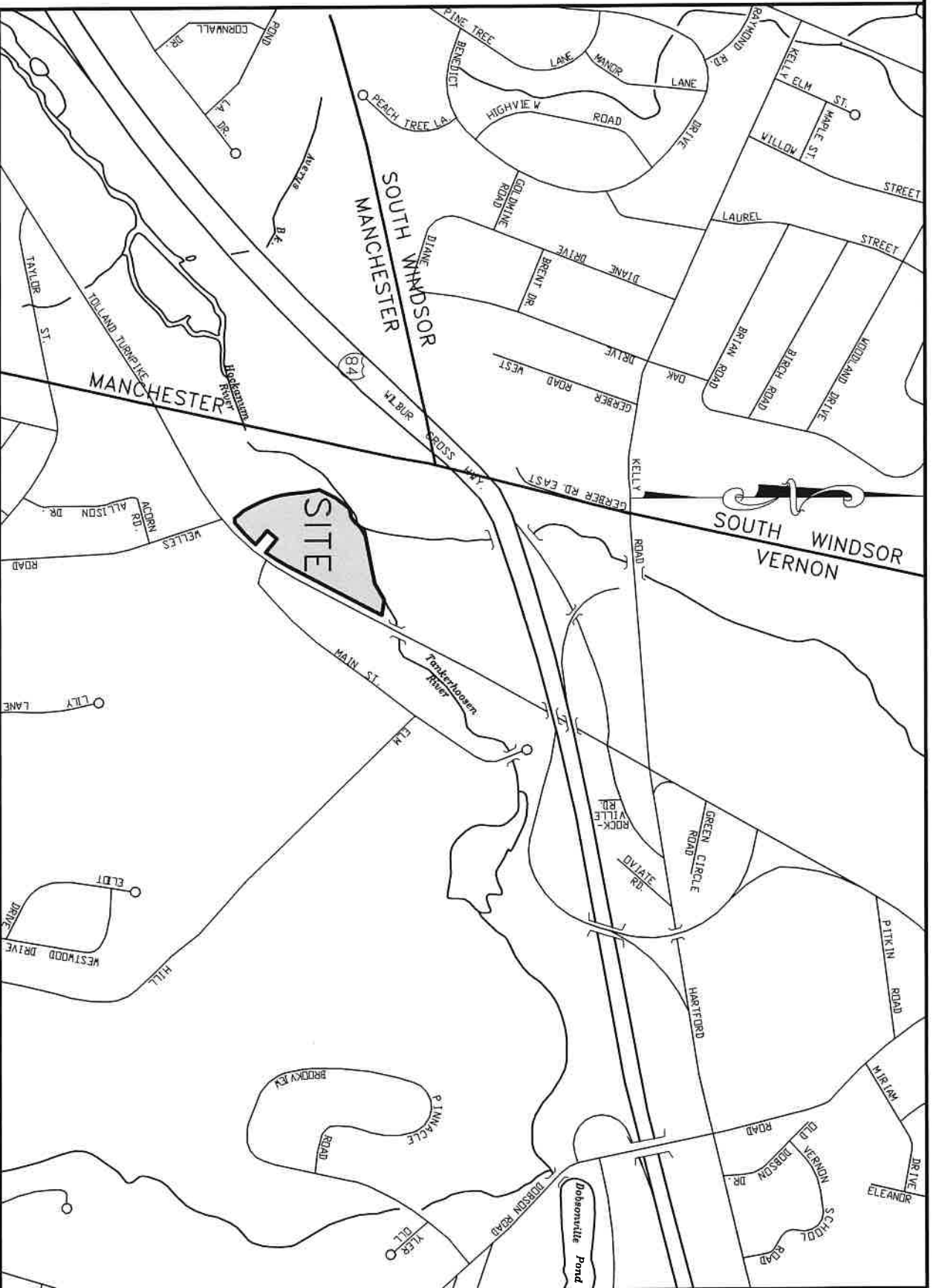
12/10/2021
Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____



KEY MAP

SCALE: 1"=1000'

Record and Return to:
Attorney James Martin
Robinson Donovan, P.C.
1500 Main Street-Suite 1600
PO Box 15609
Springfield, MA 01115-5609

QUIT-CLAIM DEED

KNOW ALL YE BY THESE PRESENTS THAT TALCOTTVILLE DEVELOPMENT COMPANY, LLC, a Connecticut limited liability company having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut acting herein by Solomon Kerensky its managing member (hereinafter "Grantor")

for One Dollar (\$1.00) and other valuable consideration paid, grants to

SUB Peak of Connecticut, Inc, a Connecticut corporation having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut (hereinafter, "Grantee")

with QUIT-CLAIM COVENANTS,

All that certain piece or parcel of land situated in the Town of Vernon, County of Tolland the State of Connecticut, being designated as LOT #6 on a map entitled RESUBDIVISION PLAN TALCOTTVILLE DEVELOPMENT COMPANY, LLC LOT #6 & #7 #57, #95 AND #163 HARTFORD TURNPIKE VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE, TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY B.D.C SCALE 1" = 40' DATE 2-7-2014 SHEET 1 and 2 OF 4 MAP NO. 8926-RESUB REVISIONS 3-26-2014, revised as to page 2 on 9-12-14 (ADD MISSING BEARINGS & DISTANCES AT SOUTHERLY CORNER OF LOT 6 - TOWN CLERK MAP #5821 FILED ON 5-5-14) (sometimes referred to as the 'Premises' or 'Property') Town Clerk Map # 5919 Filed on 9-30-14.

Said premises are more particularly bounded and described as set forth in Schedule A attached hereto and made a part hereof.

This parcel is known as 95 Hartford Turnpike, Vernon, Connecticut

SAID PREMISES ARE SUBJECT TO: (1) Any and all provisions of any ordinance, municipal regulation or public or private law; (2) Taxes in favor of the Town of Vernon on the Grand List of October 1, 2013, and subsequent lists thereafter, which taxes the Grantee herein assumes and agrees to pay; (3) previously granted exclusive use restrictions, (4) Riparian rights in and to the Hockanum and Tankerhoosen Rivers.

SAID PREMISES ARE CONVEYED SUBJECT TO AND TOGETHER WITH such easements, covenants, restrictions and agreements as of record may appear or as are shown on the

CONVEYANCE TAX RECEIVED
STATE \$ 10937.50
TOWN \$ 2187.50
Bernice K. Dixon
TOWN CLERK OF VERNON

covenants, restrictions and agreements as of record may appear or as are shown on the aforesaid maps including, but not limited to easements for drainage, sanitary sewers, water mains, and signage.

DRIVEWAY EASEMENT. Lot #6 is conveyed together with a non-exclusive easement to use that portion of the Access and Utility Easement running from Route 83 to the Hockanum River described in the Driveway and Utility Easement Declaration dated June 20, 2006 and recorded in Volume 1840 at Page 140 of the Vernon Land Records. This grant of easement is subject to a covenant that the Grantee, its successors and assigns, shall contribute 'pro rata' to the expense of maintaining, repairing or replacing that portion of the driveway and easement area. At the time of this conveyance, the parcels utilizing the Driveway include Lot #6 being conveyed herein, The Courthouse One/Big Sky building lot located at 47 Hartford Turnpike, Vernon, CT, the Riverview Associates office building lot located at 49 Hartford Turnpike, Vernon, CT, the Juris Limited building lot located at 45 Hartford Turnpike, Vernon, CT, the Hotel and Restaurant building Lot #5 located at 51 Hartford Turnpike, Vernon, CT, and the Healthwise building Lot #7 located at 57 Hartford Turnpike, Vernon, CT, and the Colonial Corners parcel located at 27 Hartford Turnpike, Vernon, CT..

UTILITY EASEMENT. The Grantor, for itself, and for the benefit of all existing or future lot owners within the commercial complex, reserves a non-exclusive underground easement within a strip of land 10 feet in width within Lot #6 and lying adjacent to, and parallel to, the easterly boundary of the Access and Utility Easement referred to in the foregoing paragraph. This easement is to install, maintain, upgrade, repair or replace such utilities as may, from time to time, service parcels within the commercial complex. Grantee may relocate any such utility easement(s) that interferes with Grantee's development plans. Any such relocation shall be at Grantee's sole expense, done in accordance with accepted engineering standards and subject to approval by the affected utility company or governmental entity.

Said premises are subject to an easement for the Quality Inn sign (now Motel 6) as shown on the aforesaid maps and described in a Correcting Quit Claim Deed dated July 24, 2007 and recorded at Volume 1946 at Page 228 of the Vernon Land Records.

A second non-exclusive sign easement is reserved by the Grantor, its successors and assigns, for access to, and use of, a portion of a pylon sign shown on the aforesaid maps as "Sign Easement" situated adjacent to Route 83 at the main driveway entrance to the commercial complex and northwesterly of the Quality Inn (now Motel 6) sign. This pylon sign will become the property of the Grantee. The use of the sign will be shared between the Grantor and the Grantee.

The Grantee will have the use of that portion of the pylon sign presently containing theater style movable letters. The Grantor will have that remaining portion presently containing six display signs. The Grantee shall have the right to redesign or even replace the entire sign in its present location at Grantee's expense provided that the

relative square foot percentage ratio of use by the parties is maintained and the right of then current owners/tenants of the commercial complex is preserved. Grantor, or its assignee(s), reserves the right to approve any redesign of its portion which approval shall not be unreasonably withheld, delayed or conditioned. The cost of routine maintenance and utilities for this sign will be shared in the same percentage as the relative percentage use.

A non-exclusive easement is granted to the Grantee for use (fishing, nature viewing, maintenance etc) of the length (approx. 35 feet) of the pedestrian bridge leading to Lot # 7 shown as "Existing Bridge" at the northeast corner of said premises. The Grantee agrees to pay one half the expense of maintaining this bridge. This easement shall lapse at such time as a single owner owns the property on both sides of the bridge.

All of the easements, covenants, restrictions and agreements shall benefit and or burden the parties hereto, their successors and assigns and run with the land.

Lot #6 being a portion of the premises conveyed to the Grantor by deed dated April 30, 1974 and recorded in Volume 246, Page 284 of the Vernon Land Records.

[SIGNATURE PAGE FOLLOWS]

Signed this 2nd day of October, 2014

Witnessed by,

TALCOTTVILLE DEVELOPMENT COMPANY, LLC

Arthur E. Brestan

William E. Breslau

by

~~Solomon Kerensky, a Managing Member~~

James F. Martin
JAMES F. MARTIN

STATE OF CONNECTICUT)

) ss. Vernon

October 2, 2014

COUNTY OF TOLLAND

Personally appeared, Solomon Kerensky, a Managing Member of TALCOTTVILLE DEVELOPMENT COMPANY, LLC, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained, as his free act and deed, and the free act and deed of said limited liability company, before me.

A. Morris Breslow

William E. Breslau
Commissioner of Superior Court

Grantee's Mailing Address:
24 Hartford Turnpike
Vernon, CT 06066

Schedule A

Said premises are more particularly described as follows: Commencing at a point at the southerly most corner of the Premises herein described which point is at the intersection of Conn. Route 83 aka Hartford Turnpike and the Access and Utility Easement on Lot #5 as shown on said map; thence, from said point and place of beginning along the easterly line of said Access and Utility Easement the following courses and distances: N 43° 01' 25" W a distance of 81.51' to a point; then N 31° 12' 35" W a distance of 75.00' to a point; thence along a curve to the right having a R = 560.00' a distance of 103.44' to a point; thence N 20° 37' 35" W a distance of 19.73' to a point; thence along a curve to the right having a R= 560.00' a distance of 118.92' to a point; thence N 08° 27' 35" W a distance of 98.41' to a point; thence N 12° 01' 46" W a distance of 91.00' to a point; Thence along Lot #5 and Lot # 7 as shown on said map the following courses and distances: N 23° 41' 22" E a distance of 120.33' to a point; thence N 34° 55' 24" E a distance of 107.10' to a point; thence N 76° 06' 36" E a distance of 56.61' to a point; thence N 51° 32' 45" E a distance of 35.95' to a point; thence N 39° 15' 45" E a distance of 86.15' to a point; thence N 76° 00' 26" E a distance of 346.00' to a point; thence N 57° 19' 59" E a distance of 120.00' to a point; thence S 83° 59' 50" E a distance of 101.13' to a point in the westerly line of Conn. Route 83; thence along Conn. Route 83 the following courses and distances: S 25° 02' 07" W a distance of 689.86' to a point; thence along a curve to the right having a R= 1000.00' a distance of 159.93' to a point; thence N 52° 59' 07" W a distance of 112.61' to a point; thence S 38° 00' 17" W a distance of 80.00' to a point; thence S 52° 59' 07" E a distance of 114.72' to a point; thence along a curve to the right having a R= 1000.00' a distance of 192.95' to a point; thence S 86° 48' 52" W a distance of 12.15' to a point; thence along a curve to the right having a R= 1136.80' a distance of 12.57' to the point or place of beginning.

L:\TALCOTTVILLE DEVELOPMENT CO #46002\Sale Of Golfand To Krause 2014 #46002-096\QC Deed 2014-10-1.Doc

RECORDED IN
VERNON LAND RECORDS
Bernice K. Dixon
VERNON TOWN CLERK
ON Oct 02, 2014 AT 12:55P

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE

TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.

ERIC R. PETERSON, P.E., L.S.

MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808

www.GardnerPeterson.com

info@GardnerPeterson.com

December 27, 2021

Golf Land II 95 Hartford Turnpike Project Narrative

The applicant, CT Golf Land, LLC, is requesting approvals to construct Phase II of Connecticut Golf Land located at 95 Hartford Turnpike. The site contains 8.86 acres and is bounded by Hartford Turnpike to the east, an access drive to south, the Hockanum River to the west and the Tankerhoosen River to the north. The site has numerous existing improvements and was approved for the construction of Phase I on October 1, 2020. The site is served by public utilities.

Proposed Development

The applicant is proposing to construct three recreational areas under the Phase II improvements. These include:

- (1) mini-golf course behind the main building,
- (2) the bumper boats to the southwest of the proposed mini-golf course,
- (3) the go carts and to the southwest of the bumper boats.

Other site improvements consist of proposed sidewalks and perimeter fencing. The proposed flood storage area will also be relocated and expanded in size to offset fill required for the construction of the go-cart building.

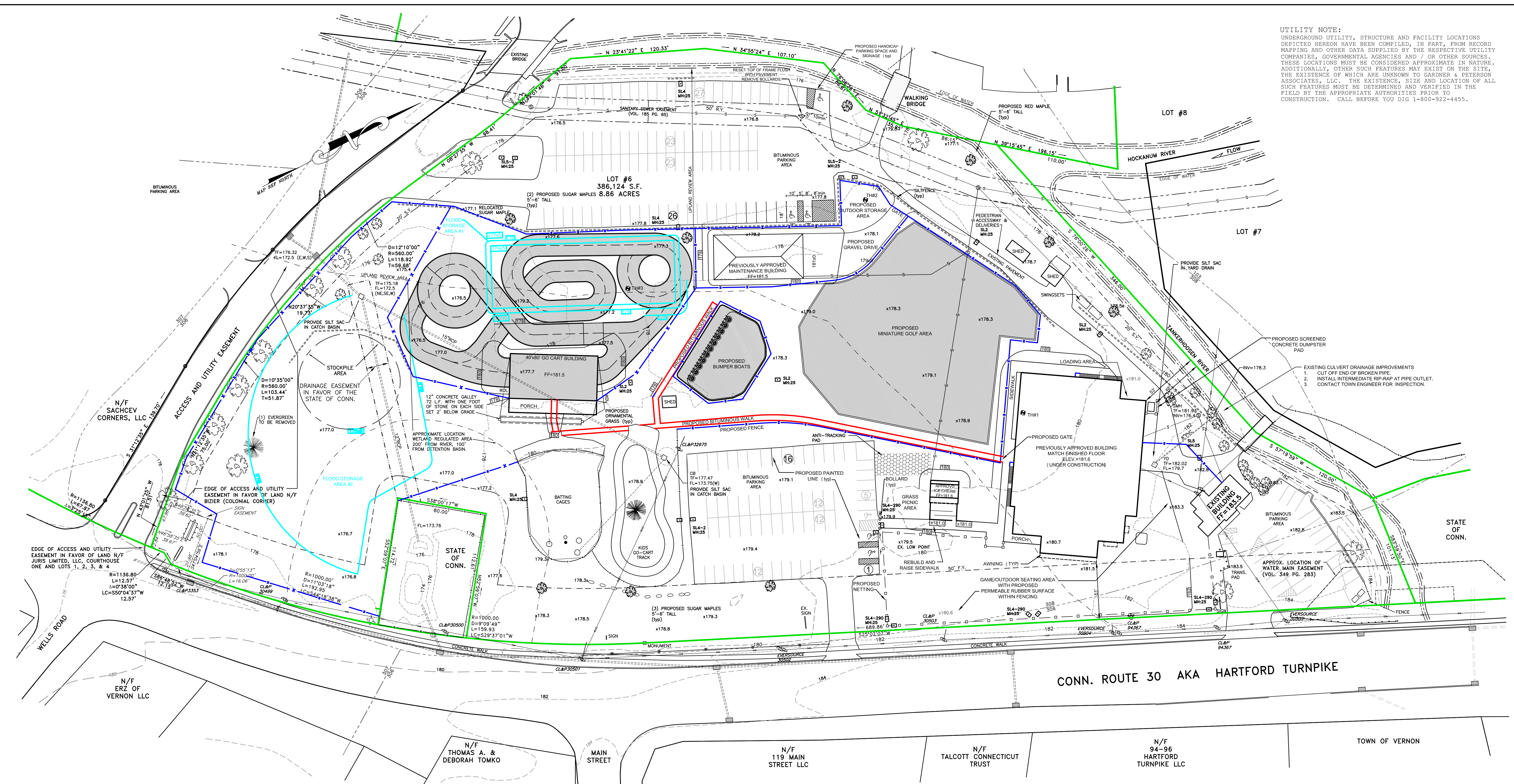
Traffic Impact Statement/Parking

There are two existing parking areas on site for the proposed gaming center. One is located off Hartford Turnpike and the other is located off the southerly access drive. The existing curbs cuts will not change and the parking lots will be restriped to provide adequate handicap parking. A parking expansion is not proposed.

Stormwater Management

Phase II depicts the construction of additional impervious surfaces though a significant portion of the go-cart track will be elevated and will have a grass surface below.

UTILITY NOTE:
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS
DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD
MAPS AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY
COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES.
THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE.
ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE,
THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON
ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL
SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE
FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO
CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



PHASE 1-APPROVAL

ZONING TABLE (CURRENT ZONE COMMERCIAL)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,000 SF	8.86 ACRES	-
MIN. LOT WIDTH	100'	104'±	-
MIN. FRONT YARD	50'	66'	51'
MIN. SIDE YARD	20'	44'	55'
MIN. REAR YARD	50'	201'	124'
LOT COVERAGE	>60% SPECIAL PERMIT	33.9%	31.3%

PROPOSED LOT COVERAGE BREAKDOWN:	
REMOVE EXISTING GO CART TRACK	- REDUCTION OF 18,125sf OF IMPERVIOUS SURFACE
REMOVE MINI-GOLF COURSE	- REDUCTION OF 6,000sf OF IMPERVIOUS SURFACE
REMOVE BUILDING	- REDUCTION OF 6,790sf OF IMPERVIOUS SURFACE
REMOVE WALKWAY SOUTH OF BLD.	- REDUCTION OF 980sf OF IMPERVIOUS SURFACE
REMOVE BUMPER BOAT, CONC. & PVM	- REDUCTION OF 5,600sf OF IMPERVIOUS SURFACE
PROPOSED BUILDING	ADDITIONAL 16,665sf OF IMPERVIOUS SURFACE
PROPOSED PORCH	ADDITIONAL 450sf OF IMPERVIOUS SURFACE
PROPOSED WALK ABUTTING BUILDING	ADDITIONAL 3,220sf OF IMPERVIOUS SURFACE
PROPOSED MAINTENANCE BUILDING	ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED ICE CREAM BUILDING	ADDITIONAL 900sf OF IMPERVIOUS SURFACE
PROPOSED DUMPSTER PAD	ADDITIONAL 100sf OF IMPERVIOUS SURFACE
(2) CONCRETE LANDINGS	ADDITIONAL 30sf OF IMPERVIOUS SURFACE
TOTAL	- 12,900sf REDUCTION IN IMPERVIOUS SURFACE

PHASE 1-PARKING TABLE	
COMMERCIAL RECREATION AREA	1 SPACE PER EMPLOYEE & 1 SPACE FOR EACH (4) PATRONS
REQUIRED:	18 EMPLOYEES AND UP TO 260 PATRONS
RESTAURANT	18 EMPLOYEE SPACES AND 65 PATRON SPACES TOTALING 83 SPACES
REQUIRED:	1 SPACE PER 50 SF OF PUBLIC FLOOR AREA - 4,000SF OR 80 SPACES
PROVIDED:	163 EXISTING (EXCLUDES SUBWAY), 163 PROPOSED (EXCLUDING SUBWAY)
PROVIDED:	6 HANDICAP PARKING SPACES
PROVIDED:	6 HANDICAP PARKING SPACES

PHASE 1-FLOOD STORAGE VOLUME	
PROPOSED FILL:	1,454 c.y.
PROPOSED CUT:	AREA WILL NOT BE USED FOR FLOOD STORAGE
PHASE 2-FLOOD STORAGE VOLUME	
PROPOSED FILL:	1,110 c.y.
PROPOSED CUT:	(1)1,300c.y. + (2)1,280c.y. 2,580c.y. EXCEEDS FILL OF 1,454 + 1,110 = 2,564c.y.

PHASE II PROPOSED LOT COVERAGE BREAKDOWN:	
REMOVE SIDEWALK	- REDUCTION 2,860sf OF IMPERVIOUS SURFACE
PROPOSED MINI-GOLF	- ADDITIONAL 6,000sf OF IMPERVIOUS SURFACE
PROPOSED PATIO AROUND BUMPER BOAT	- ADDITIONAL 910sf OF IMPERVIOUS SURFACE
PROPOSED GO CART TRACK	- ADDITIONAL 6,000sf OF IMPERVIOUS SURFACE - MOST OF TRACK IS ELEVATED
PROPOSED GO CART BUILDING	- ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED SIDEWALKS	- ADDITIONAL 2,650sf OF IMPERVIOUS SURFACE
PHASE II TOTAL	- 15,900sf INCREASE IN IMPERVIOUS SURFACE
TOTAL PROJECT	- 3,000sf NET INCREASE

PHASE I-SIGNAGE	
EXISTING FREE STANDING SIGN:	REPLACE SIGN, NOT TO EXCEED 80s.f.
PROPOSED BUILDING MOUNTED SIGNS:	
WESTERLY BUILDING FACE	NOT TO EXCEED 240s.f.
(3) EASTERLY BUILDING FACE SIGNS	NOT TO EXCEED 200s.f.
EASTERLY FACE ICE CREAM STAND	NOT TO EXCEED 50s.f.

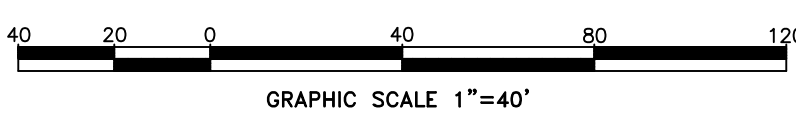
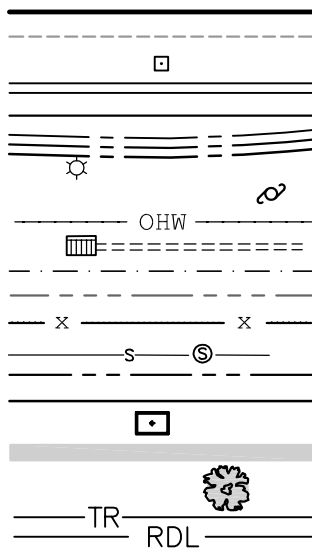
PHASE II-PROPOSED DRAINAGE	
IN ORDER TO OFFSET THE INCREASE IN IMPERVIOUS SURFACE, THE GO CART BUILDING ROOF RUNOFF SHALL BE DISCHARGED TO A STORMWATER INFILTRATION SYSTEM.	
AREA TO INFILTRATE:	40'x80'
STORM INTENSITY:	1" RAINFALL
VOLUME REQUIRED:	40'x80'x(1"/12") = 267c.f.
VOLUME PROVIDED:	72'LONG x 1'TALL x 4'WIDE = 288c.f. (GALLEY) 72'LONGx1'TALLx6'WIDEx2Sidesx40%void=288c.f.(STONE) 316c.f.
TOTAL VOLUME PROVIDED:	
PHASE II-GO CART BUILDING SIGNAGE	
THE EASTERLY FACE OF THE BUILDING IS 80' LONG, THEREFORE THE SIGN SHALL NOT EXCEED 160S.F.	

IMPROVEMENT LOCATION SURVEY
SITE PLAN AND

EROSION & SEDIMENT CONTROL PLAN
CONNECTICUT GOLF LAND-PHASE II
CT GOLF LAND, LLC
#95 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=40'	12-01-2021	2 OF 3	8926-MGC2

LEGEND:
PROPERTY LINE
EXISTING CONTOUR
EXISTING MONUMENT
EXISTING CURB
EXISTING PAVEMENT
EDGE OF RIVER
EXISTING LIGHTPOLE
EXISTING UTILITY POLE
OVERHEAD WIRES
CATCH BASIN AND PIPE
REGULATED AREA
SOIL LINE
EXISTING FENCE
SEWER MANHOLE AND PIPE
SEWER EASEMENT
PROPOSED PAVEMENT
PROPOSED LIGHT-PRIOR APPROVAL
PROPOSED BUILDING
PROPOSED TREES-PRIOR APPROVAL
PROPOSED GUIDE RAIL
PROPOSED 6" ROOF DRAIN



SEE SHEET NUMBER 1 FOR
NOTES & CERTIFICATION



STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2022-02, CT Golf Land Phase II, 95 Hartford Tpke.

DATE: February 17, 2022

Request & Background

CT Golf Land LLC, has requested approval of a modification to an existing Site Plan of Development and special permits from Section 5 of the Zoning Regulations for site grading, new construction, and other activities on property located at 95 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00095). The application represents a **PHASE II** of the Golf Land project with the addition of go-carts, mini-golf, and bumper boats. The property is 8.86 acres in size, is zoned Commercial, and is located in a Special Flood Hazard Area as well as a Wetlands Upland Review Area.

The Application was scheduled for review at the Inland Wetland Commission on February 15, 2022.



Site Plan

The application adds new recreation activities to the project. A miniature golf area, a go cart-track with maintenance building, and bumper boats are shown on the site plan, along with other site elements including new fencing, increased flood storage areas, internal landscaping, and sidewalks.

Historically, this area is prone to flooding. The severe storms of 2021 illustrated this phenomenon on several occasions. Therefore, careful attention should be paid to any development activity which could exacerbate flooding in this area (although we note that flooding near the confluence of the Hockanum

The proposed redevelopment of the Golf Land Site appears generally sensitive to the environmental features present (the site had previously been significantly disturbed during iterations of development on this site). The applicant has considered additional flood storage on site in an effort to improve those conditions. Although the total impervious surface was reduced by 12,900 sq. ft. according to the Phase I plans, Phase II adds back 16,000 sq. ft. for a net project impervious increase of approximately 3,000 sq.ft.

UTILITY NOTE:
 ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE NOT GUARANTEED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS FROM THE APPROPRIATE OWNERS PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM THE APPROPRIATE OWNERS PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM THE APPROPRIATE OWNERS PRIOR TO CONSTRUCTION.

The Applicant previously (October 2020, PZ 2020-11) secured following Special Permits. The bolded sections below require a new approval under our flood provisions:

1. 4.9.4.6-Commercial recreation activities
2. 4.9.4.1.15.4-Aggregate square footage over 25,000 s.f.
3. **5.7.1-Commercial Structures in areas subject to flooding**
4. **5.7.2-Private open-type recreational uses in areas subject to flooding**
5. **15 and 5.7.5-Fill or excavation of land, generally, and within a special flood area.**

In order to approve each special permit, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

17.3.1.1 It shall not create a hazardous condition relative to public health and safety;

17.3.1.2 It shall be compatible with neighboring uses;

17.3.1.3 It shall not create a nuisance;

17.3.1.4 It shall not hinder the future sound development of the community;

17.3.1.5 It shall conform to all applicable sections of this ordinance;

Staff finds that these thresholds have been met by the Application.

Staff Comments

The Town Engineer is supportive of the added flood storage areas; the Zoning Official finds that the application and special permits requested are consistent with Town Regulations. The Town Planner is working with the applicant on a few final site details. No other substantive comments were received.

Inland Wetlands Commission

The Inlands Wetlands Commission will review the Application on February 15, 2022.

Conservation Commission

The Conservation Commission was scheduled to review the application at their January 24, 2022 meeting but failed to achieve a quorum.

Design Review Commission

The DRC reviewed the application at their February 2, 2022 meeting and endorsed the elements presented along with a request for additional landscaping details and final sign design to return to the DRC for review.

Analysis

The revival of Golf Land is a welcome addition to the Hartford Tpke. corridor. Staff finds the Phase II application meets the special permit standards set forth in the Zoning regulations. The Site Plan of Development, along with the recommended conditions, meets or exceeds the Site Plan expectations for development. The additional flood storage areas should act to mitigate the impacts of the Golf land project.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2022-02, Golf land Phase II, a Site Plan of Development with Special Permits located at 95 Hartford Tpke. This approval is based upon a finding the application meets the site plan requirements of Section 14 and that the special permits requested meet and exceed the review criteria set forth in Section 5 and Section 17.3.1, and is subject to the conditions of approval dated February 17, 2022.**

OR

- B. I move [an alternate motion]**

GKM



North Central District Health Department

☐ Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188

☐ Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531

☐ Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034

☐ Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

February 9, 2022

Mr. George McGregor
Vernon Town Planner
55 West Main Street
Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application 2022-02 – CT Golf Land 2
95 Hartford Turnpike
Vernon, Connecticut

Dear Mr. George McGregor:

I am writing regarding the Planning & Zoning Commission Application – CT Golf Land 2 at the above referenced address.

North Central District Health Department (NCDHD) has the following comments regarding the CT Golf Land 2 Plan of Development:

- Any Dumpsters shall reside on a concrete surface or a similar surface.
- For any proposed kitchens with food service in the Previously Approved Building are required to go through a food service plan review with this department.
- The Game/Outdoor Seating Area with Proposed permeable rubber surface shall be properly pitched and drained so that water will not accumulate. This department recommends an outdoor water spigot in close proximity to the seating area for cleaning purposes.
- Public Water and Public Sewer are available for this property. Any building(s) with plumbing shall connect to these utilities.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,

Brian Bielawiec
Registered Sanitarian



AVON • BLOOMFIELD • BOLTON • BRISTOL • BURLINGTON • CANTON • COVENTRY • EAST GRANBY • EAST WINDSOR • EAST HARTFORD • ELLINGTON
ENFIELD • FARMINGTON • GLASTONBURY • GRANBY • HARTFORD • MANCHESTER • PLAINVILLE • SIMSBURY • SOMERS • SOUTH WINDSOR
STAFFORD • SUFFIELD • WEST HARTFORD • WETHERSFIELD • TOLLAND • VERNON • WILLINGTON • WINDSOR • WINDSOR LOCKS

Date: February 7, 2022

To: George K. McGregor, AICP, Town Planner
Town of Vernon Planning & Zoning Commission

From: Barbara Kelly, Program Coordinator, Registered Soil Scientist, SSSSNE
Certified Erosion Control Professional CPESC #2180

Re: Site Plan of Development, Connecticut Golf Land – Phase II, #95 Hartford Turnpike, Vernon,
Connecticut – PZ-2022-2

This review is conducted pursuant to Section 18 of the Town of Vernon Zoning Regulations. The review is limited to certification of the erosion control plan, based on compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines).

In conjunction with the current application, District staff inspected the site on January 20, 2022. The site had been previously inspected on September 16, 2020. Plans prepared by Gardner & Peterson Associates, LLC, titled "Site Plan of Development, Connecticut Golf Land – Phase II, 95 Hartford Turnpike, Vernon, Connecticut" (Plan) with a revision date of December 28, 2021 were reviewed. Plans with a change to flood storage, revised January 20, 2022, were also reviewed.

The plans propose the construction of a go cart track with a 3,200 square foot building, a bumper boat facility, a miniature golf area, associated walkways, and revisions to flood storage. Stormwater is directed into existing structures, ultimately reaching the Hocknaum River and/or the Tankerhoosen River. Silt fence is proposed along the eastern edge of parking lot #6 and down slope of the planned construction and stockpile.

Background

Based on the Natural Resources Conservation Service Web Soil Survey, soils throughout the majority of the proposed construction area are mapped as moderately well-drained Udorthents, smoothed, on 0 to 35 percent slopes. Even on this relatively flat site, the erosion hazard of this historically altered soil can range from moderate to severe.

Comment

The purpose of soil erosion & sediment control measures, plans, and regulations is to keep soil in place and to keep any unavoidably dislodged soil particles (sediment) from moving off site or into a sensitive resource. To achieve that end, all planned E&S measures must be installed, maintained, and adapted as needed in response to the dynamic conditions on a construction site.

Observations & Recommendations

The following conditions relating to Connecticut Golf Land - Phase I were observed.

- A line of stockpiles was not protected from erosion.
- Adjacent to Lot #6, the “previously approved maintenance building” had been constructed. Associated E&S measures had not been implemented.
- Soil had been tracked onto Lot #6 and was being carried by snow melt directly into the Hockanum River near the southwest corner of the lot.
- Disturbed soil with deep ruts was found at the top of the bank near the pedestrian bridge over the Hockanum River.
- Between the larger “previously approved building” (steel structure was up) and the Tankerhoosen River, silt fence had been installed, but not maintained.
- The yard drain had not been repaired or stabilized at its outlet to the Tankerhoosen River.

District staff confirmed that the Town was aware of these site conditions and was addressing them.

- Consider requiring that site conditions noted above be addressed before work begins on Phase II.
- Also, for Phase II, consider requiring that E&S inspection reports be submitted to the Town periodically and following significant rainfall.

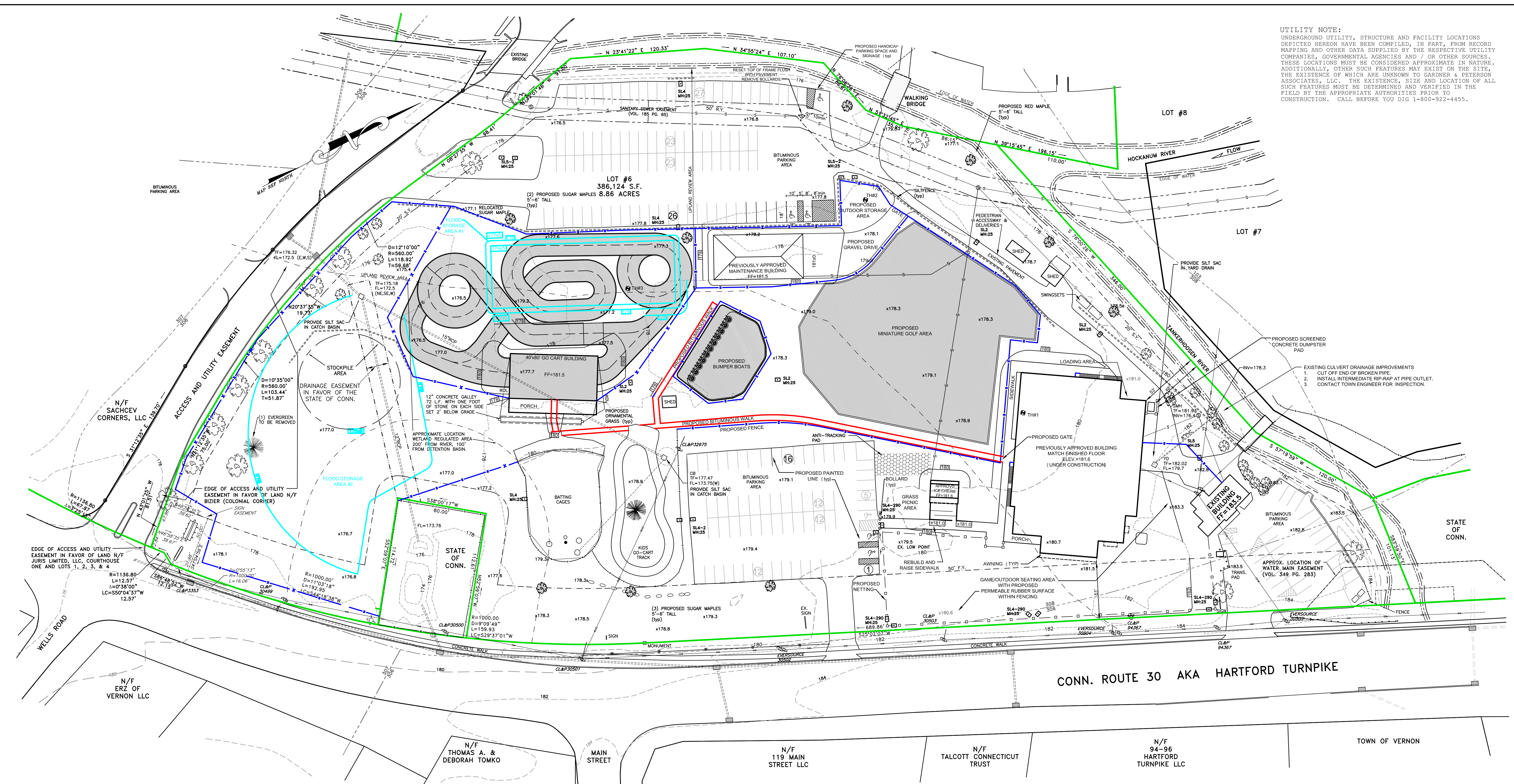
The plans show a continuous line of silt fence between the work proposed in Phase II and Lot #6. If Lot #6 is to be used for construction access, as it was for construction of the maintenance building, the following measures should be taken.

- Construction access points should be designated and appropriate anti-tracking pads should be installed.
- Lot #6 should be regularly swept.
- Weighted wattles, compost logs, or comparable measures should be installed along the southwest edge of Lot #6 to prevent sediment from washing into the Hockanum River.

Based on the observed site conditions, with incorporation of the recommendations above, the soil erosion and sediment control measures shown in the Plan are adequate and appropriate. With appropriate implementation, the District certifies that the plan complies with the **2002 Connecticut Guidelines for Soil Erosion and Sediment Control**.

Thank you for the opportunity to comment.

UTILITY NOTE:
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS
DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD
MAPS AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY
COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES.
THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE.
ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE,
THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON
ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL
SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE
FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO
CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



PHASE 1-APPROVAL

ZONING TABLE (CURRENT ZONE COMMERCIAL)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,000 SF	8.86 ACRES	-
MIN. LOT WIDTH	100'	104'±	-
MIN. FRONT YARD	50'	66'	51'
MIN. SIDE YARD	20'	44'	55'
MIN. REAR YARD	50'	201'	124'
LOT COVERAGE	>60% SPECIAL PERMIT	33.9%	31.3%

PROPOSED LOT COVERAGE BREAKDOWN:	
REMOVE EXISTING GO CART TRACK	- REDUCTION OF 18,125sf OF IMPERVIOUS SURFACE
REMOVE MINI-GOLF COURSE	- REDUCTION OF 6,000sf OF IMPERVIOUS SURFACE
REMOVE BUILDING	- REDUCTION OF 6,790sf OF IMPERVIOUS SURFACE
REMOVE WALKWAY SOUTH OF BLD.	- REDUCTION OF 980sf OF IMPERVIOUS SURFACE
REMOVE BUMPER BOAT, CONC. & PVM	- REDUCTION OF 5,600sf OF IMPERVIOUS SURFACE
PROPOSED BUILDING	ADDITIONAL 16,665sf OF IMPERVIOUS SURFACE
PROPOSED PORCH	ADDITIONAL 450sf OF IMPERVIOUS SURFACE
PROPOSED WALK ABUTTING BUILDING	ADDITIONAL 3,220sf OF IMPERVIOUS SURFACE
PROPOSED MAINTENANCE BUILDING	ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED ICE CREAM BUILDING	ADDITIONAL 900sf OF IMPERVIOUS SURFACE
PROPOSED DUMPSTER PAD	ADDITIONAL 100sf OF IMPERVIOUS SURFACE
(2) CONCRETE LANDINGS	ADDITIONAL 30sf OF IMPERVIOUS SURFACE
TOTAL	- 12,900sf REDUCTION IN IMPERVIOUS SURFACE

PHASE 1-PARKING TABLE	
COMMERCIAL RECREATION AREA	1 SPACE PER EMPLOYEE & 1 SPACE FOR EACH (4) PATRONS
REQUIRED:	18 EMPLOYEES AND UP TO 260 PATRONS
RESTAURANT	18 EMPLOYEE SPACES AND 65 PATRON SPACES TOTALING 83 SPACES
REQUIRED:	1 SPACE PER 50 SF OF PUBLIC FLOOR AREA - 4,000SF OR 80 SPACES
PROVIDED:	163 EXISTING (EXCLUDES SUBWAY), 163 PROPOSED (EXCLUDING SUBWAY)
PROVIDED:	6 HANDICAP PARKING SPACES

PHASE 1-FLOOD STORAGE VOLUME	
PROPOSED FILL:	1,454 c.y.
PROPOSED CUT:	AREA WILL NOT BE USED FOR FLOOD STORAGE
PHASE 2-FLOOD STORAGE VOLUME	
PROPOSED FILL:	1,110 c.y.
PROPOSED CUT:	(1)1,300c.y. + (2)1,280c.y. 2,580c.y. EXCEEDS FILL OF 1,454 + 1,110 = 2,564c.y.

PHASE II PROPOSED LOT COVERAGE BREAKDOWN:	
REMOVE SIDEWALK	- REDUCTION 2,860sf OF IMPERVIOUS SURFACE
PROPOSED MINI-GOLF	- ADDITIONAL 6,000sf OF IMPERVIOUS SURFACE
PROPOSED PATIO AROUND BUMPER BOAT	- ADDITIONAL 910sf OF IMPERVIOUS SURFACE
PROPOSED GO CART TRACK	- ADDITIONAL 6,000sf OF IMPERVIOUS SURFACE - MOST OF TRACK IS ELEVATED
PROPOSED GO CART BUILDING	- ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED SIDEWALKS	- ADDITIONAL 2,650sf OF IMPERVIOUS SURFACE
PHASE II TOTAL	- 15,900sf INCREASE IN IMPERVIOUS SURFACE
TOTAL PROJECT	- 3,000sf NET INCREASE

PHASE I-SIGNAGE	
EXISTING FREE STANDING SIGN:	REPLACE SIGN, NOT TO EXCEED 80sf.
PROPOSED BUILDING MOUNTED SIGNS:	
WESTERLY BUILDING FACE	NOT TO EXCEED 240sf.
(3) EASTERLY BUILDING FACE SIGNS	NOT TO EXCEED 200sf.
EASTERLY FACE ICE CREAM STAND	NOT TO EXCEED 50sf.

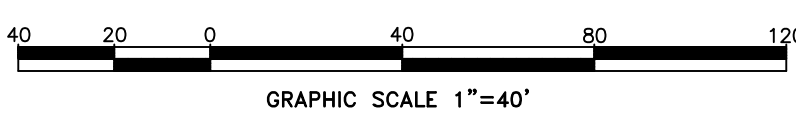
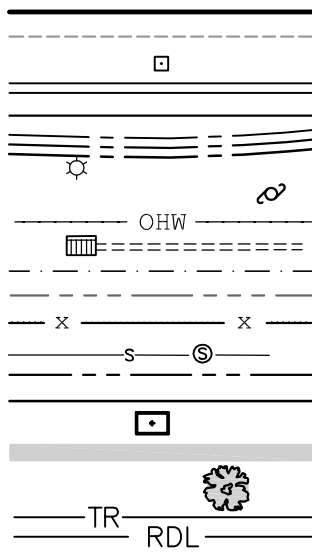
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STORM INTENSITY:	1" RAINFALL
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SITE PLAN AND

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CONNECTICUT GOLF LAND-PHASE II
CT GOLF LAND, LLC
#95 HARTFORD TURNPIKE
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PROPOSED BUILDING
PROPOSED TREES-PRIOR APPROVAL
PROPOSED GUIDE RAIL
PROPOSED 6" ROOF DRAIN



SEE SHEET NUMBER 1 FOR
NOTES & CERTIFICATION



VERNON-CT.GOV

ON THE MOVE

Design Review Commission

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

February 3, 2022

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 2-2-22 the Design Review Commission was presented Application **PZ-2022-02, 95 Hartford Tpke**, of CT Golf Land LLC. They have requested modifications to an approved Site Plan of Development and special permits for site grading, new construction, additions, and other activities on property located at 95 Hartford Tpke. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and endorsed them as they were presented, with a request that signage and landscaping be brought back to DRC.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,

Shaun Gately
Economic Development Coordinator

APPLICATION

2

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Jerry Fornarelli

Title: _____

Company: Rocking Horse Smoke House

Address: 57 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-951-4657 Fax: _____

E-mail: _____

II. PROPERTY OWNER (S):

Name: Peter Krause

Title: President

Company: Sub Peak of Connecticut, Inc.

Address: 14 Hartford Turnpike
Vernon, CT 06066

Telephone: 860-205-1440 Fax: _____

E-mail: pkrause7681@gmail.com

III. PROPERTY

Address: 57 Hartford Turnpike

Assessor's ID Code: Map # 1 Block # 158 Lot/Parcel # 57

Land Record Reference to Deed Description: Volume: 2584 Page 229

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☐ No ☒ Yes

☐ No work will be done in regulated area
☒ Work will be done in the regulated area

☒ IWC application has been submitted
☐ IWC application has not been submitted

Zoning District: Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

☐ No
☒ Yes:

☐ Bolton
☐ Coventry
☐ Ellington
☒ Manchester
☒ South Windsor
☐ Tolland

Check if Historic Status Applies: N/A

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: Rocking Horse Smoke House

Project Contact Person:

Name: Mark Peterson

Title: _____

Company: Gardner & Peterson Associates, LLC

Address: 178 Hartford Turnpike

Tolland, CT 06084

Telephone: 860-871-0808 **Fax:** _____

E-mail: mpeterson@gardnerpeterson.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Proposed Rocking Horse Smoke House

General Activities: Construction of a deck and two small
building additions for a freezer and access.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- X Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103; 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

____ Other Special Permit(s). Cite ZR Section and describe activity:

5.7.1, 5.7.5

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

____ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.


APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

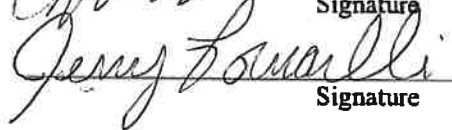
Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).


The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

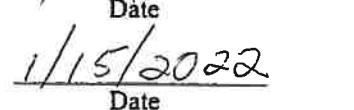
Property Owner, Applicant, or Applicant's Agent:



Signature


Signature



Date


Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

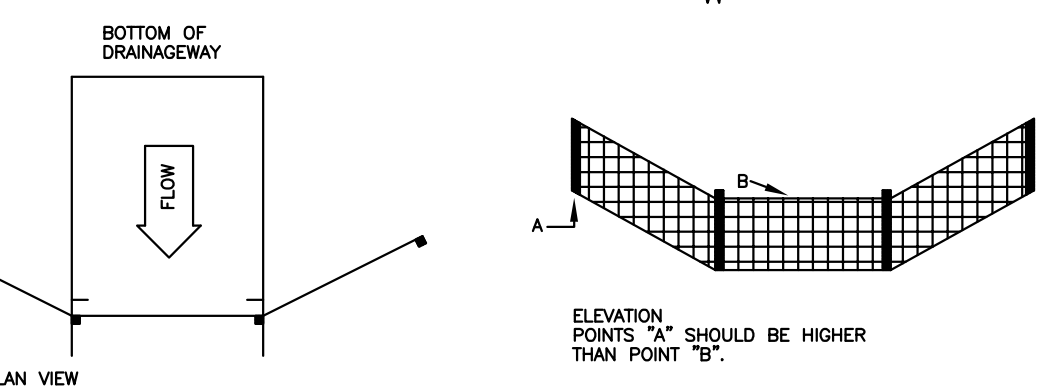
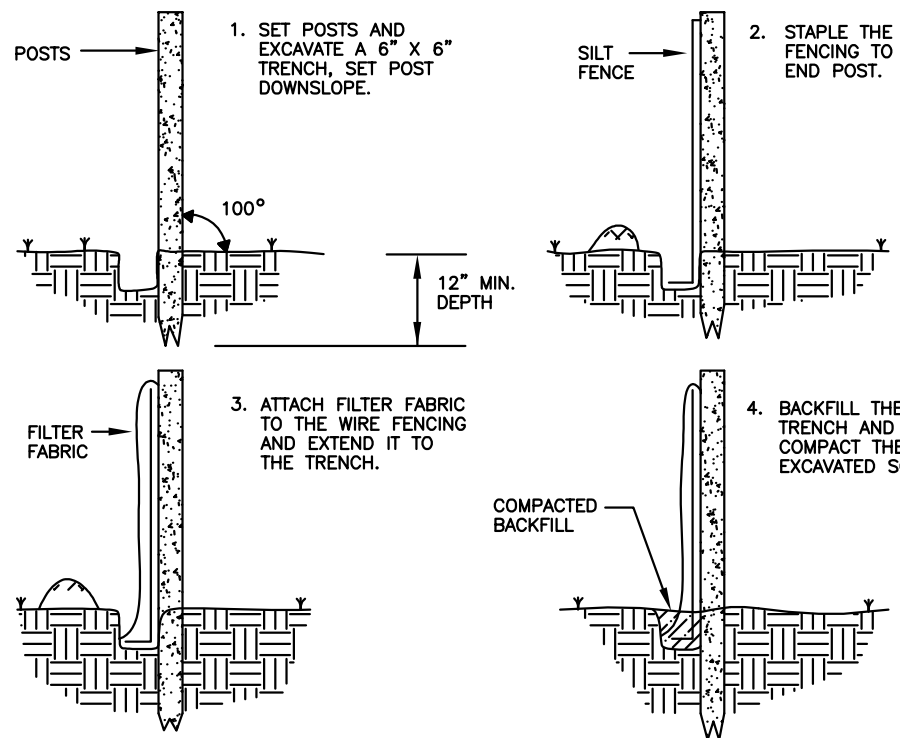
Date Application Received by Commission _____

PZC File: _____

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SUPPANE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE COVERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



PARKING TABLE:
PER SECTION 12.1.16 OF THE VERNON ZONING REGULATIONS,
THE BUILDING HAS 6,000sf OF INTERIOR CUSTOMER USER SPACE (EXCLUDES KITCHEN, BATHROOMS, ETC)

REQUIRED PARKING
6,000sf / 50 = 120 SPACES

EXISTING PARKING
195 SPACES

REQUIRED HANDICAP PARKING: 6 SPACES FOR 151-200 SPACES

EXISTING HANDICAP PARKING: 5 SPACES
PROPOSED HANDICAP PARKING: 1 SPACE

LOT COVERAGE:
THE PROPOSED LOT COVERAGE IS 59.5%.

SIGNAGE:
PROPOSED BUILDING SIGNAGE SHALL COMPLY WITH THE ZONING REGULATIONS. (SEE ARCHITECTURAL PLANS).

SCREENING:
THE EXISTING HVAC UNITS SHALL BE SCREENED WITH PICKET FENCING. (SEE ARCHITECTURAL PLANS).

FENCING:
THE PROPOSED FENCING WILL HAVE GATES FOR ACCESS. (SEE ARCHITECTURAL PLANS).

NOTES:
1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-B.

2. REFERENCE IS MADE TO THE FOLLOWING PLAN:
A. "RESUBDIVISION PLAN - LOT #7 TALCOTTVILLE DEVELOPMENT COMPANY, LLC #57 & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: B.D.C., DATE: 6-8-2015, REVISED 12-08-2021, SHEETS 4 OF 5, MAP NO. 8926-RESUB-7"
B. "WETLAND REDESIGNATION PLAN DATA ACCUMULATION PLAN SUB PEAK OF CONNECTICUT, INC. LOT #8 #57 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: MAP DATE: 12-09-2021, SHEET 1 OF 1, MAP NO. 8926-8W"

3. DUE TO THE SNOWY WEATHER CONDITIONS THE STRIPING WAS NOT VISIBLE IN ALL THE PARKING AREAS AND SOME PARKING LOCATIONS WERE TAKEN FROM REFERENCED PLANS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: LOT 8-SUB PEAK OF CONNECTICUT, INC.

LOCATION: 57 HARTFORD TURNPIKE

PROJECT DESCRIPTION: PROPOSED DECK AND DETACHED GARAGE

PARCEL AREA: 5.42± ACRES

RESPONSIBLE PERSONNEL: JERRY FORNARELLI

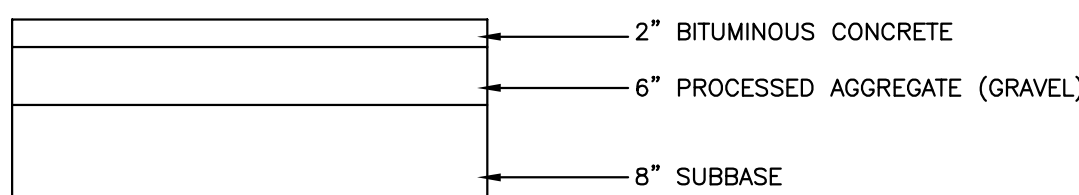
WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CALL CBYD			
DECK CONSTRUCTION			
INSTALL SILTFENCE AS SHOWN			
REMOVE EXISTING SIDEWALK			
INSTALL FLOOD STORAGE AREA (SPOILS TO BE PLACED OUTSIDE FLOOD ZONE)			
REMOVE BRUSH/SAPLINGS ALONG WEST SIDE OF RIVER NEAR DECK (STUMPS TO REMAIN)			
INSTALL HELICAL PILES FOR DECK CONSTRUCTION (PIERS TO BE DRILLED-NO SITE EXCAVATION)			
CONSTRUCT DECK			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTFENCE WHEN SITE IS STABILIZED			
GARAGE CONSTRUCTION			
INSTALL SILTFENCE			
STRIP TOPSOIL AND EXCAVATE FOR FOOTING			
CONSTRUCT GARAGE			
FINAL GRADE			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTFENCE ONCE SITE IS STABILIZED			
PAINT HATCH OVER TWO PARKING SPACES			
FRONT/SOUTHERLY ADDITIONS			
INSTALL SILT SAC IN CATCH BASIN			
INSTALL SILTFENCE AS SHOWN			

PROJECT DATES:
DATE OF CONSTRUCTION START: FEBRUARY 15, 2022
DATE OF CONSTRUCTION COMPLETION: OCTOBER 15, 2022

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

FLOOD STORAGE CALCULATIONS

(40) PROPOSED PILINGS
EACH PILING IS 10" DIAMETER AND AVERAGES 24" FROM THE EXISTING GROUND TO THE FLOOD ELEVATION.
(3.14x0.42^2) x 2.0' x 40 = 44cf. OF FLOOD STORAGE AREA USED
FLOOD STORAGE CREATED: 50cf.

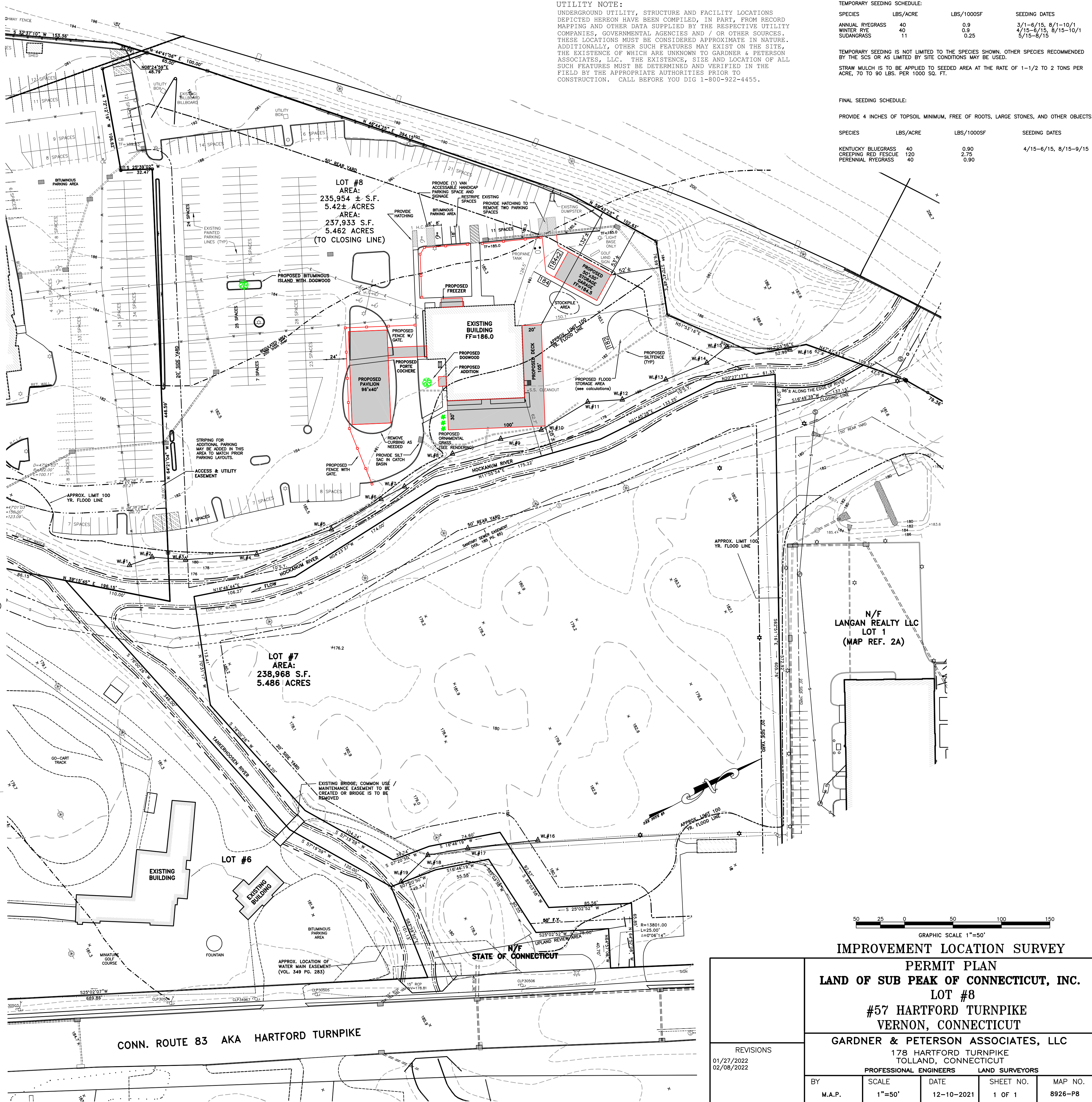


PAVEMENT CROSS SECTION

N.T.S.

LEGEND:

EXISTING PIN/PIPE	
EXISTING MONUMENT	
IRON PIN TO BE SET	
MONUMENT TO BE SET	
EXISTING CONTOUR (FROM TOWN AERIAL)	
EXISTING BITUMINOUS CONCRETE CURBING	
EXISTING EDGE OF PARKING/DRIVE	
EXISTING LIGHT POLE	
EXISTING LIGHT/UTILITY POLE (FROM TOWN AERIAL)	
EXISTING GAS GATE/VALVE	
EXISTING WATER GATE/VALVE	
EXISTING FIRE HYDRANT	
EXISTING BOLLARD	
EXISTING ELECTRIC TRANSFORMER	
EXISTING FENCE	
EXISTING GUARD RAIL	
EXISTING FENCE (FROM TOWN AERIAL)	
APPROX. LOCATION OF WATER LINE	
APPROX. LOCATION OF GAS LINE	
APPROX. LOCATION OF SAN. SEWER	
APPROX. LOCATION OF ELEC./UTILITY LINES	
EXISTING STORM DRAIN	
EXISTING STORM DRAIN (FROM TOWN AERIAL)	
EXISTING SAN. MANHOLE	
EXISTING ELECTRIC MANHOLE	





PAVILION CONCEPT

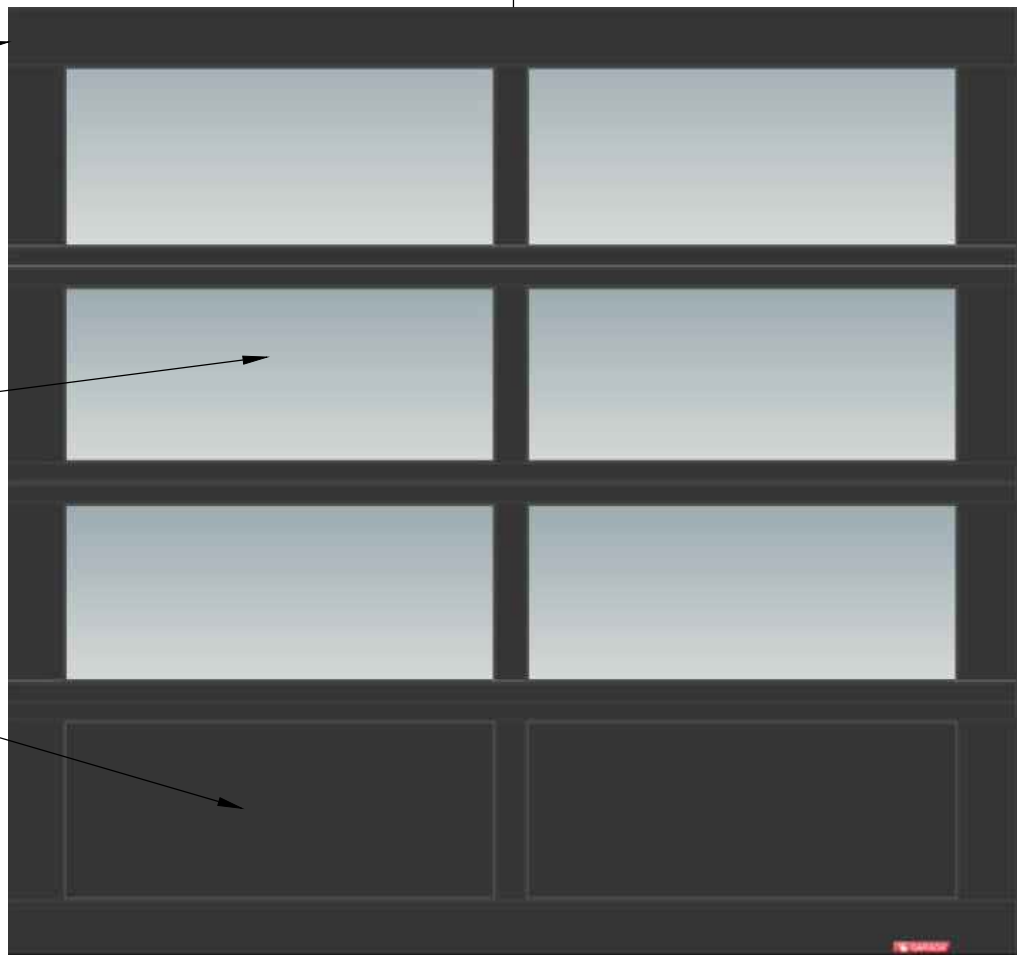


12" LIVE EDGE OAK SIDING WITH
CLEAR POLYURETHANE WOOD FINISH

BLACK
ALUMINUM
FRAME

6 CLEAR
TEMPERED
GLASS PANELS

2 SOLID KICK
PROOF BOTTOM
BLACK PANELS



DECK GARAGE DOORS

ROCKING HORSE

57 HARTFORD TURNPIKE
VERNON, CT 06066

EXTERIOR
3D RENDERING
& EXTERIOR
FINISHES

REVISIONS:

SCALE: AS NOTED
DATE: 02-01-2022

AF201

ROCKING HORSE

57 HARTFORD TURNPIKE
VERNON, CT 06066

EXTERIOR
FINISH
ELEVATIONS

REVISIONS:

SCALE: AS NOTED

DATE: 02-01-2022

AF202

FINISH SCHEDULE:

EXTERIOR WOOD WALLS:

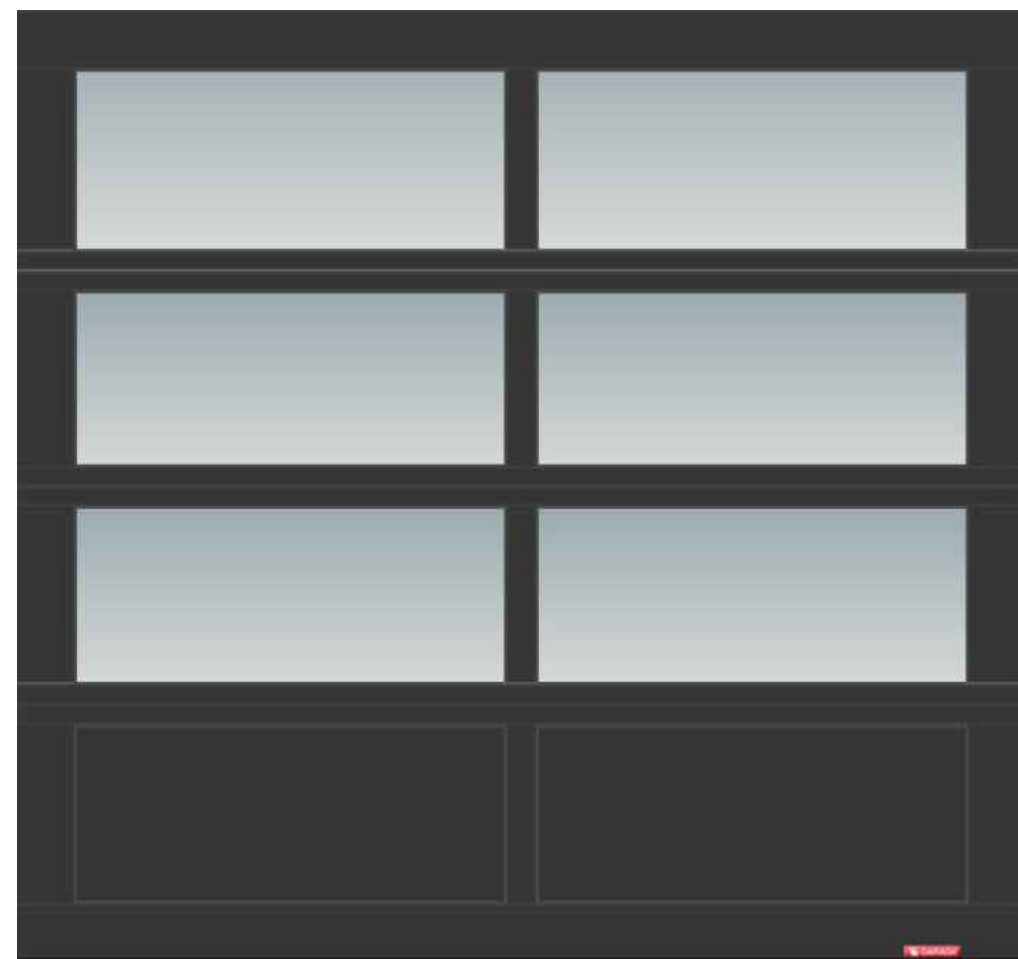
WD-1 MANUFACTURER: CUSTOM BOARDS, VARYING STAIN
STYLE: PROVIDE 12" LIVE EDGE OAK WOOD SIDING
COLOR: SATIN POLYURETHANE CLEAR COAT
LOCATION: REFER TO PLAN

PAINT:

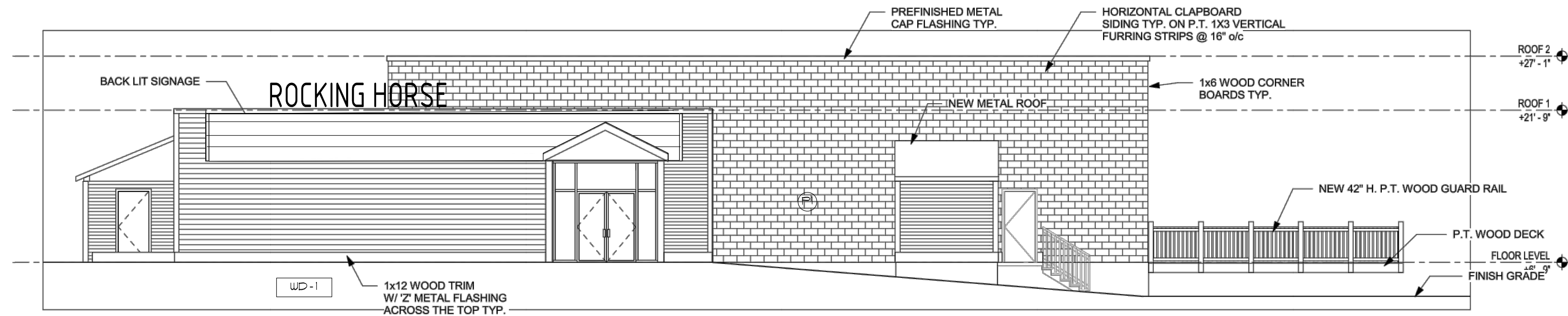
Ⓟ MANUFACTURER: BENJAMIN MOORE ULTRA SPEC MASONRY
STYLE: ULTRA SPEC MASONRY ELASTOMERIC
WATERPROOF COATING FLAT
SHEEN / COLOR: FLAT / BLACK
LOCATION: EXTERIOR CMU WALL



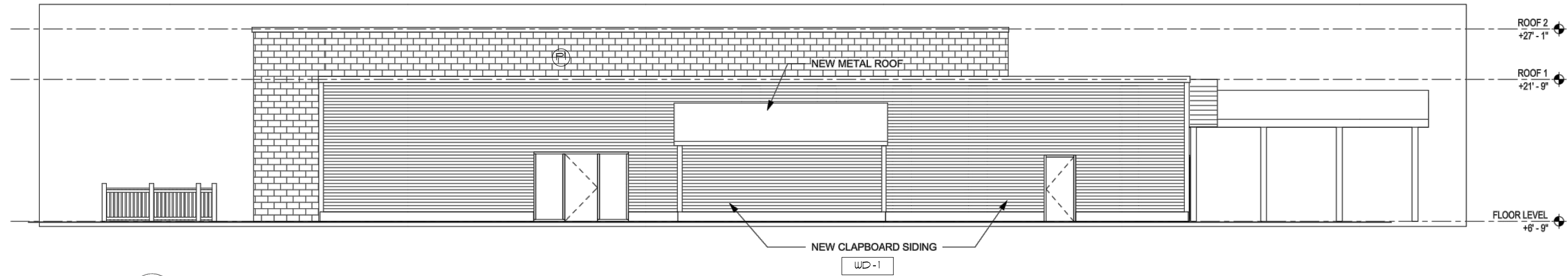
12" LIVE EDGE OAK
SIDING WITH
CLEAR POLYURETHANE
WOOD FINISH



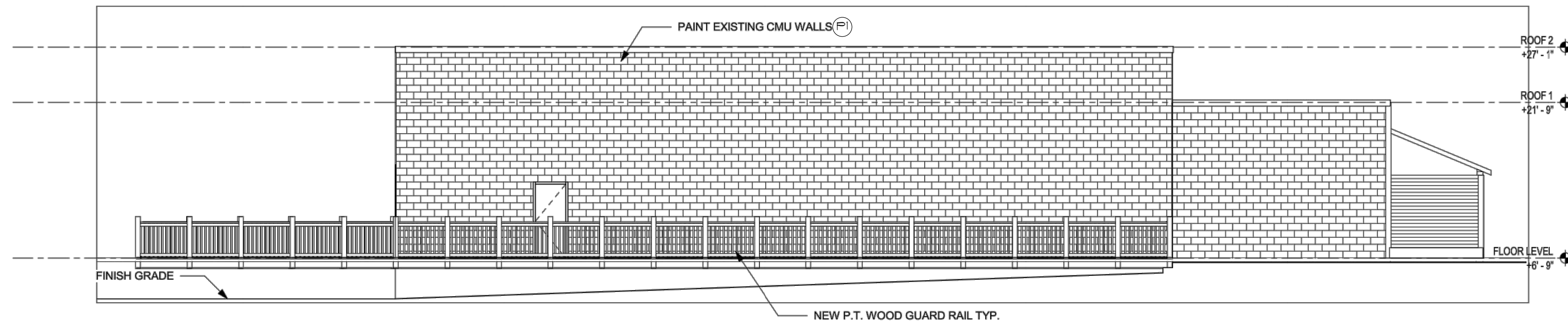
DECK GARAGE DOORS



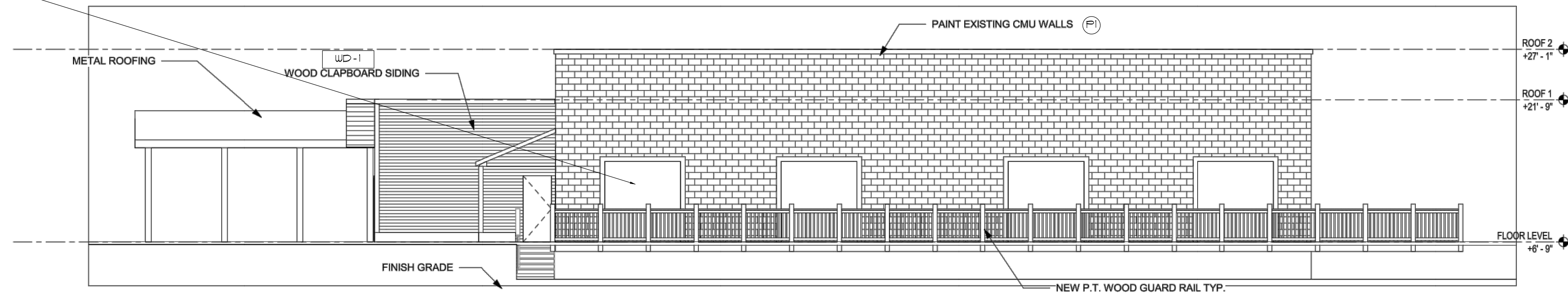
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



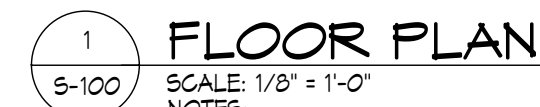
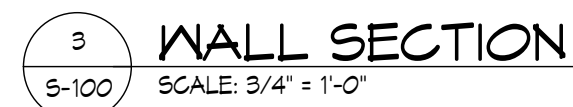
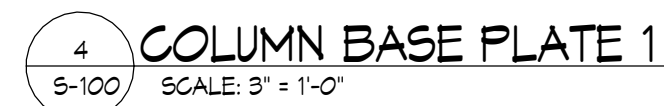
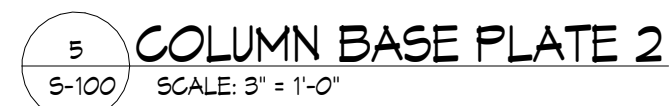
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

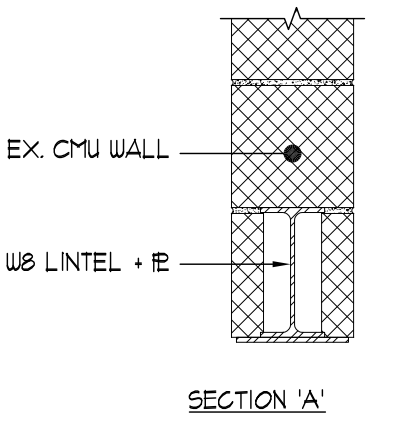
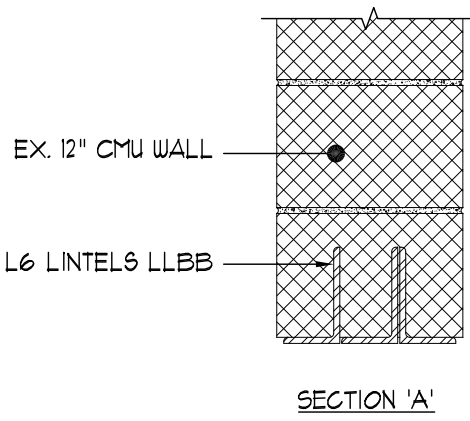


S-100

SHEET NO.

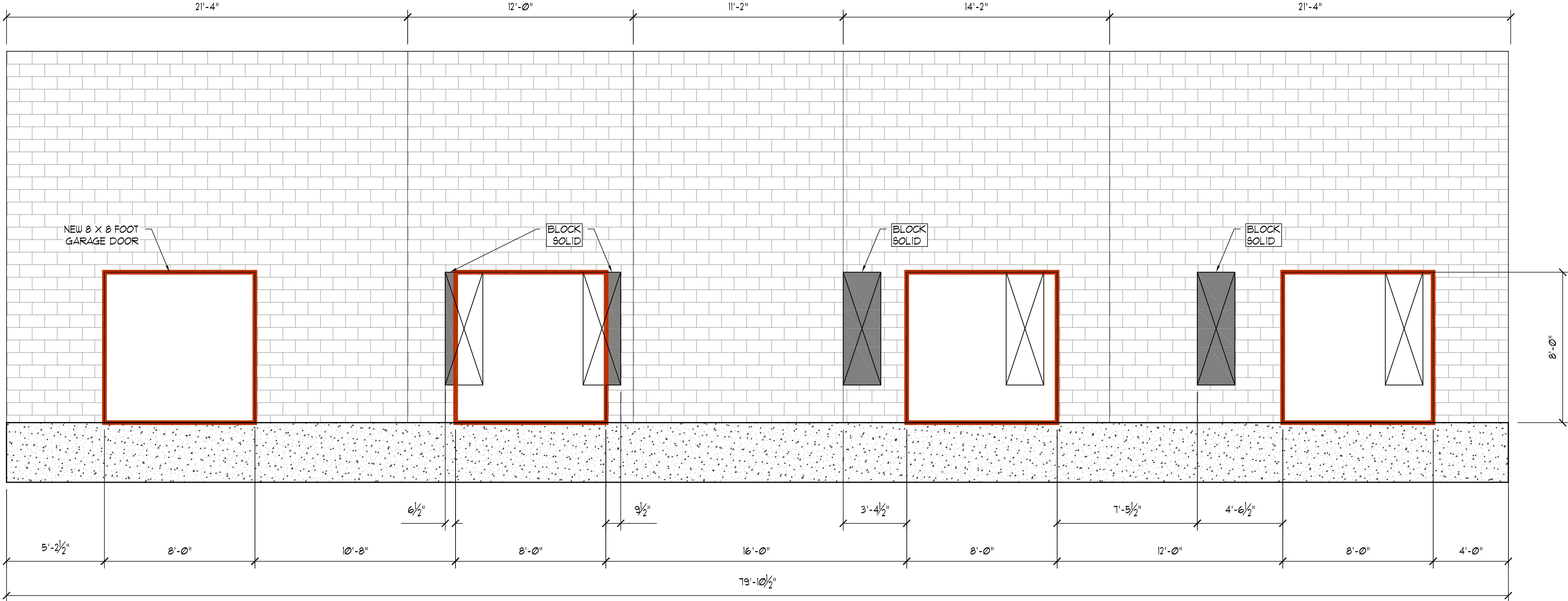
S-101

LOOSE STEEL LINTELS FOR MASONRY (RUNNING BOND CMU WALLS - U.O.N.)		
SPAN	LINTEL SIZE	REMARKS
UP TO 4'-0"	L 4 x 3½ x ⅝ (LLV)	4" VENEER
OVER 4'-0" TO 8'-0"	L 6 x 3½ x ⅝ (LLV)	4" VENEER
UP TO 4'-0"	L 4 x 3½ x ⅝ (LLBB)	8" ± 12" INTERIOR CMU WALLS
OVER 4'-0" TO 8'-0"	L 6 x 3½ x ⅝ (LLBB)	8" ± 12" INTERIOR CMU WALLS
UP TO 4'-0"	W8x15 ± ⅝ PLATE	8" EXTERIOR MASONRY WALLS



- LOOSE LINTEL NOTES:**
- PROVIDE (I) ANGLE FOR EVERY 4' OF MASONRY WALL THICKNESS WHERE ANGLES ARE NOTED.
 - AT 8" AND 12" CMU WALLS, PROVIDE 8" MIN. BEARING EACH END. (M.O. +1'-4") U.O.N. ENDS OF LINTELS SHALL BEAR ON CMU JAMBS GROUTED 3 COURSES MIN.
 - SHOP WELD GRIP STAY CHANNELS (OR SIMILAR ADJUSTABLE ANCHORS) TO BOTH SIDES OF LINTEL WEB AT 24" o.c. FOR ANCHORING MASONRY TO LINTEL.
 - ALL EXTERIOR LINTELS SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION.
 - LINTEL PLATE WIDTH SHALL BE 1 INCH LESS THAN OVERALL NOMINAL WIDTH OF MASONRY WALL (INCLUDING CAVITY) UNLESS OTHERWISE DETAILED.

LOOSE LINTEL SCHEDULE



REVISIONS:
1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
EAST ELEVATION

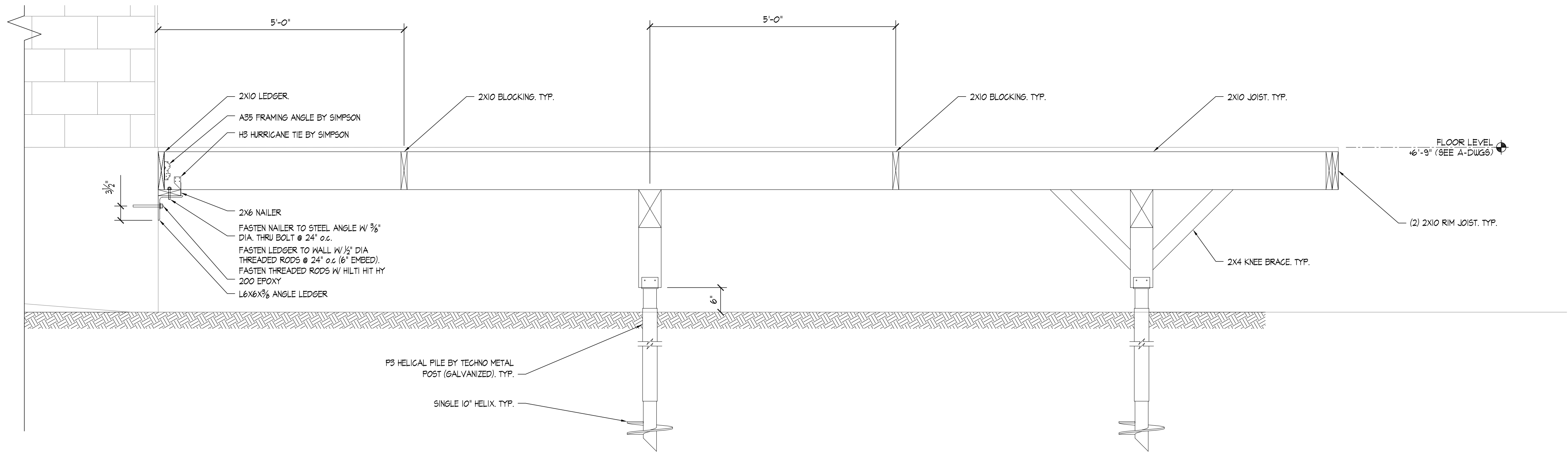
PROJECT:
ADDITION / RENOVATION
95 HARTFORD TURNPIKE VERNON, CT

CONSULTANT:

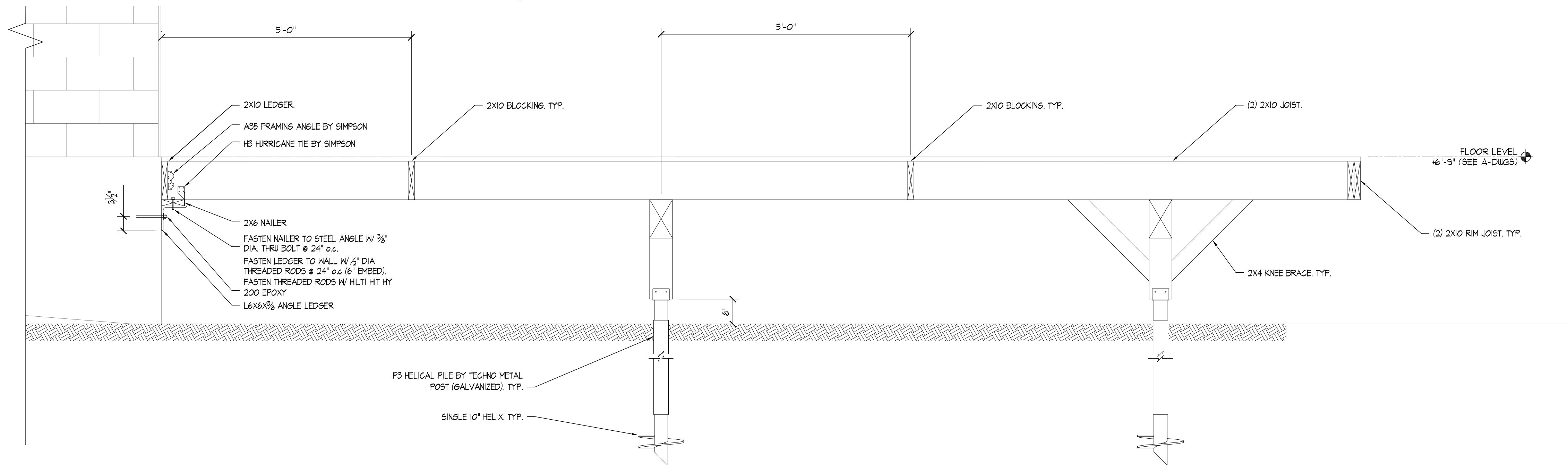
PVE Engineering, P.C.
Bushnell on the Park
100 Wells Street - Suite 2K
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

DESIGNED BY:	AJP
DRAWN BY:	AJP
SCALE:	AS NOTED
APPROVED BY:	AJP
PROJECT NO.:	20020
DATE:	NOVEMBER 10, 2021

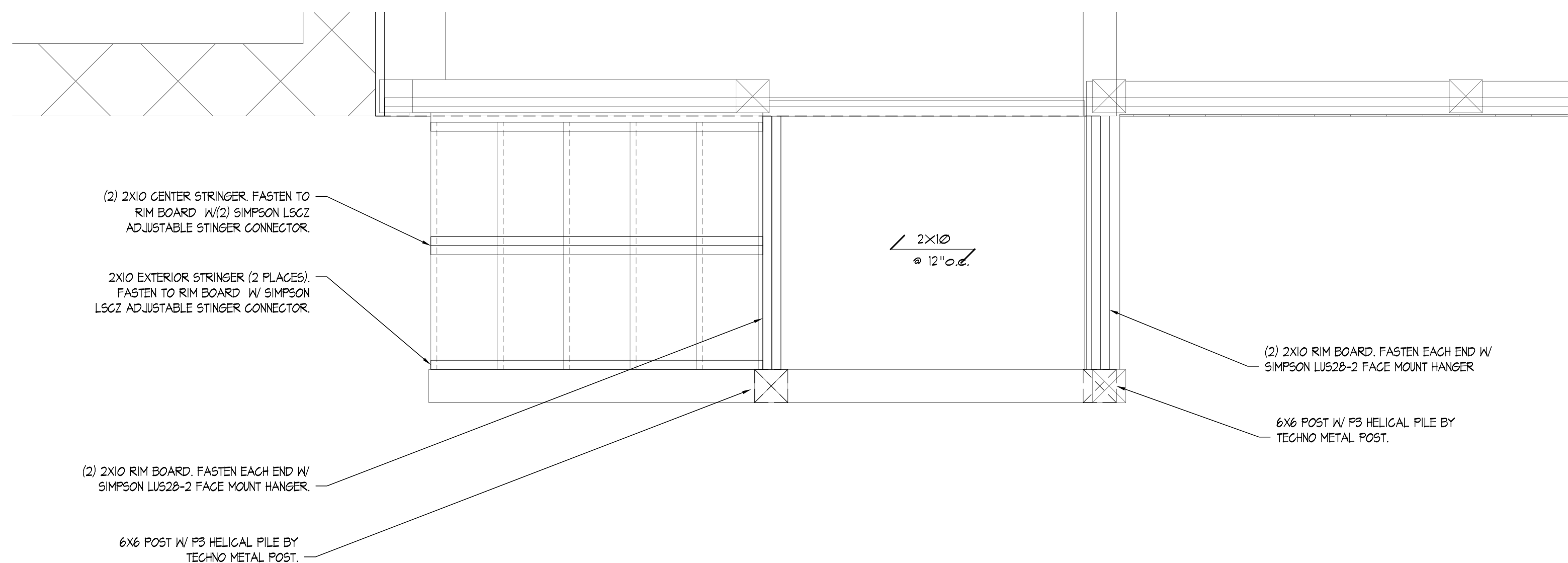
- HELICAL PILE NOTES:
1. TEST PILES SHALL BE PERFORMED TO VERIFY SITE CONDITIONS AND ALLOWABLE BEARING.
 2. MINIMUM ALLOWABLE WORKING LOAD FOR EACH PIER IS 15,000 LBS.
 3. PILE DRIVING LOGS ARE TO BE PROVIDED TO ENGINEER OF RECORD TO VERIFY PILE DEPTH AND INSTALLATION TORQUE.



3 DECK ELEVATION 2
SCALE: 3/4" = 1'-0"



2 DECK ELEVATION 1
SCALE: 3/4" = 1'-0"



1 DECK STAIR FRAMING PLAN
SCALE: 3/4" = 1'-0"

REVISIONS:

1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
DECK ELEVATIONS &
STAIR PLAN

PROJECT:
ADDITION / RENOVATION

95 HARTFORD TURNPIKE
VERNON, CT



CONSULTANT:
PVE Engineering, P.C.
Bushnell on the Park
100 Wells Street - Suite 2K
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

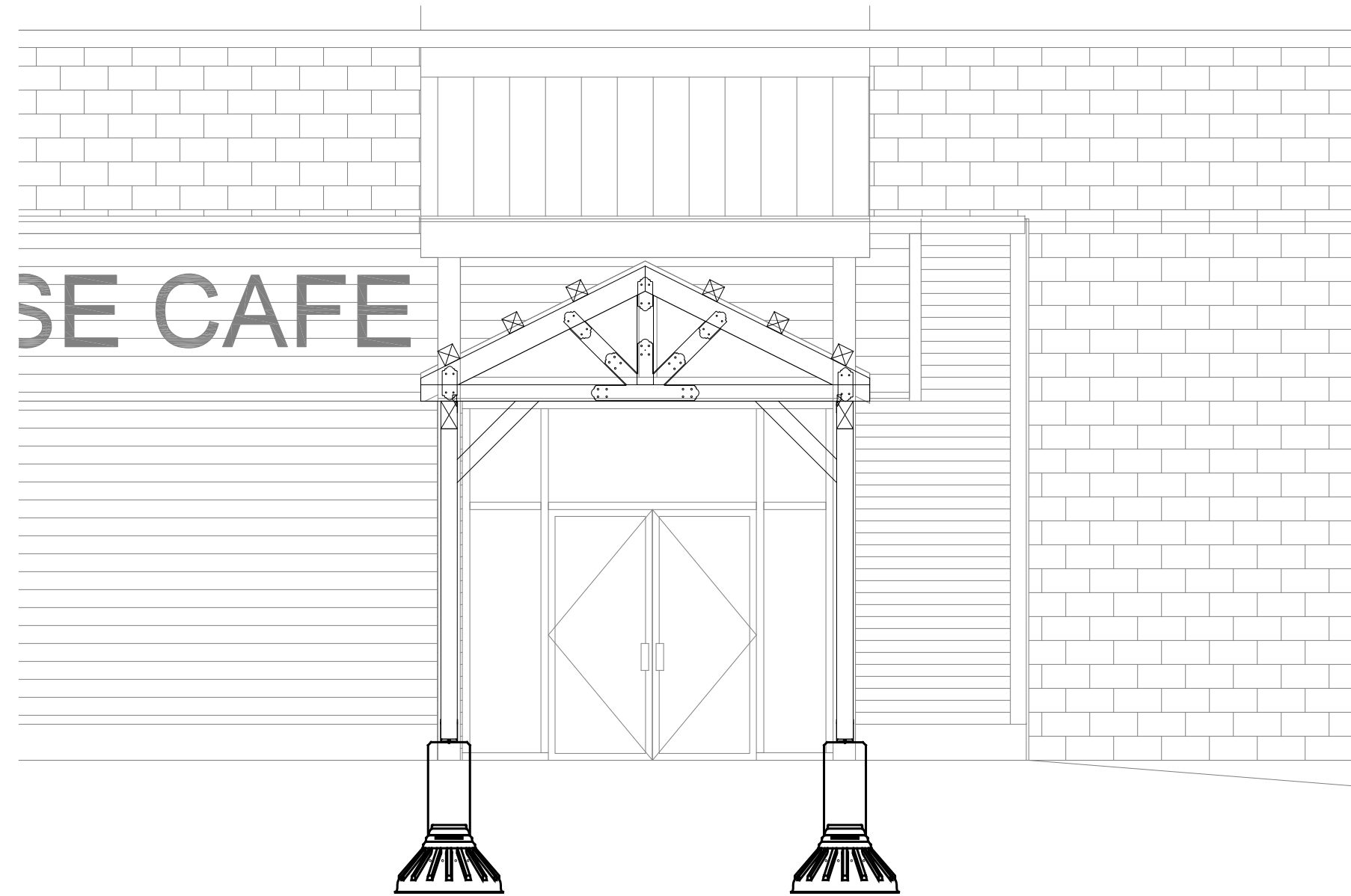
SEAL:



DESIGNED BY: HT
DRAWN BY: HT
SCALE: AS NOTED
APPROVED BY: AJP
PROJECT NO.: 20020
DATE: NOVEMBER 10, 2021

SHEET NO.

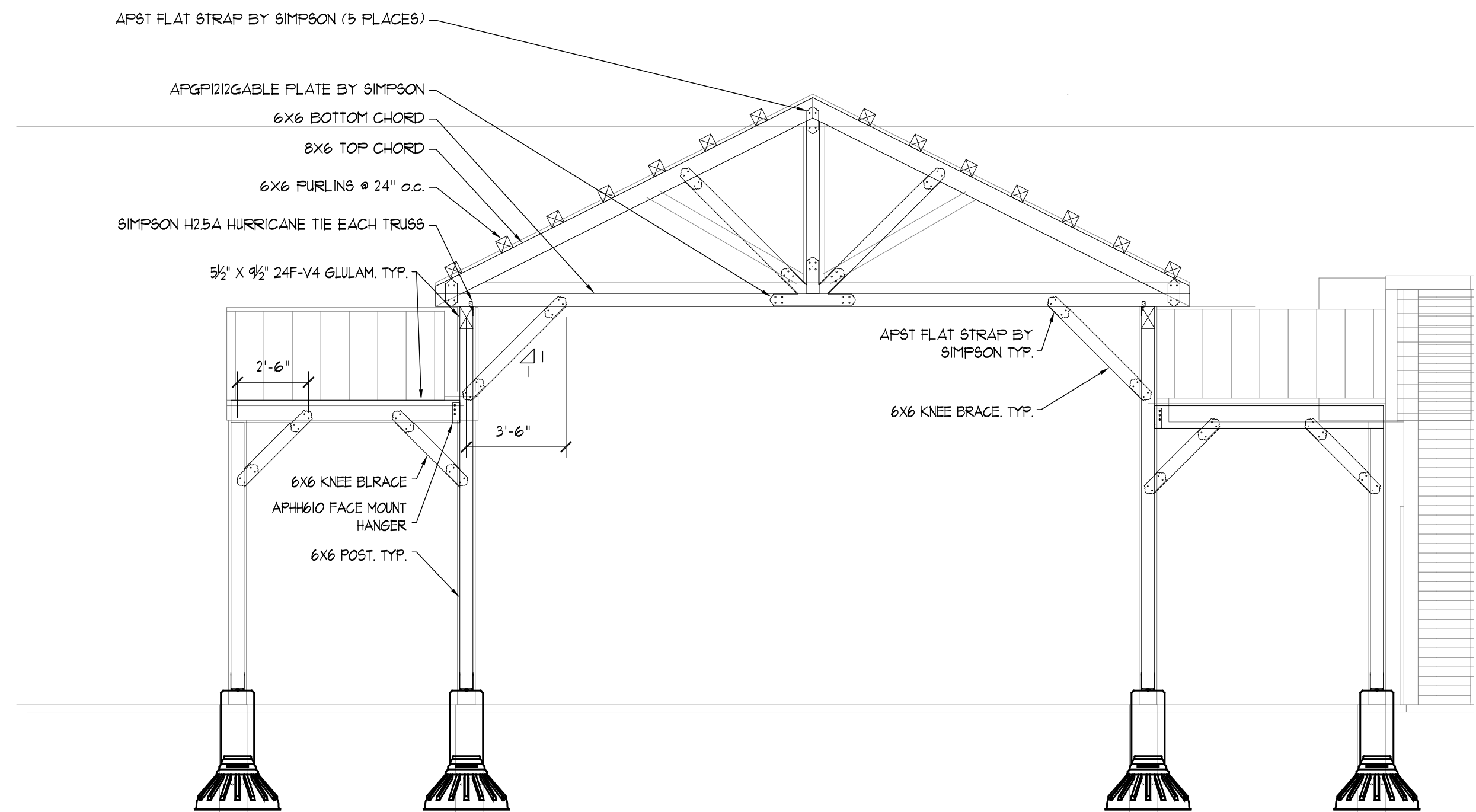
S-500



3
S-501

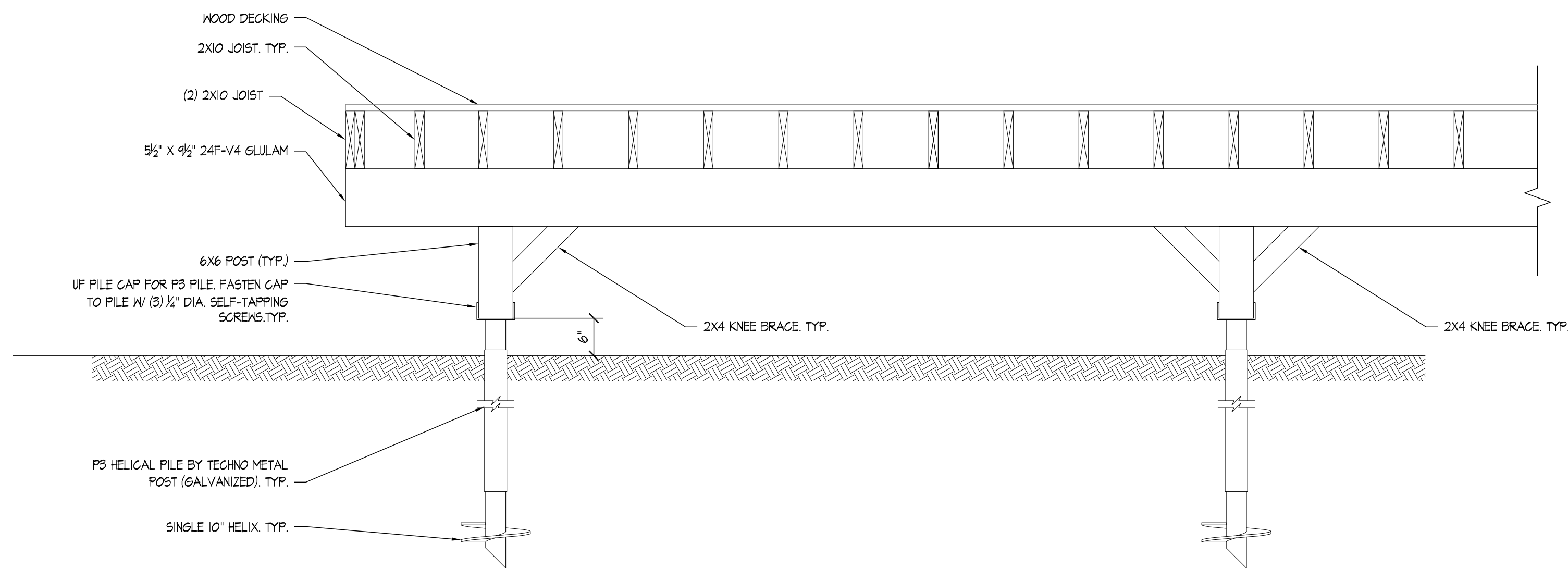
PORTE COCHERE ELEVATION 2
SCALE: 1/4" = 1'-0"

NOTES:
1. SEE SECTION 2 THIS SHEET FOR TIMBER SIZES AND CONNECTION DETAILS.



2
S-501

PORTE COCHERE ELEVATION 1
SCALE: 1/4" = 1'-0"



1
S-501

DECK ELEVATION 3
SCALE: 3/4" = 1'-0"

HELICAL PILE NOTES:
1. TEST PILES SHALL BE PERFORMED TO VERIFY SITE CONDITIONS AND ALLOWABLE BEARING.
2. MINIMUM ALLOWABLE WORKING LOAD FOR EACH PIER IS 15,000 LBS.
3. PILE DRIVING LOGS ARE TO BE PROVIDED TO ENGINEER OF RECORD TO VERIFY PILE DEPTH AND INSTALLATION TORQUE.

REVISIONS:
1: 11/24/2021 - GENERAL REVISION

DRAWING TITLE:
DECK ELEVATION &
PORTE COCHERE ELEVATIONS

PROJECT:
ADDITION / RENOVATION

95 HARTFORD TURNPIKE
VERNON, CT

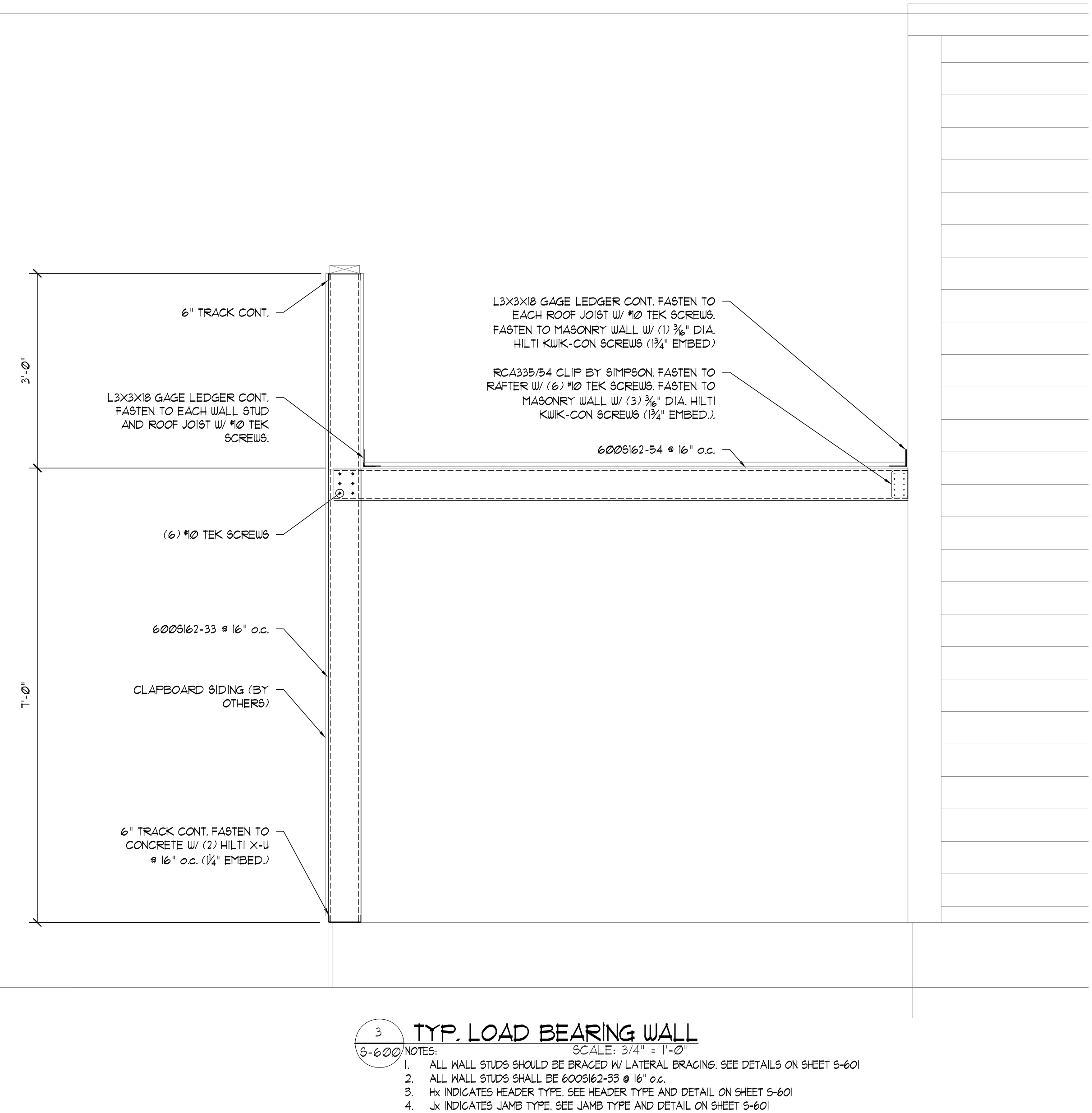
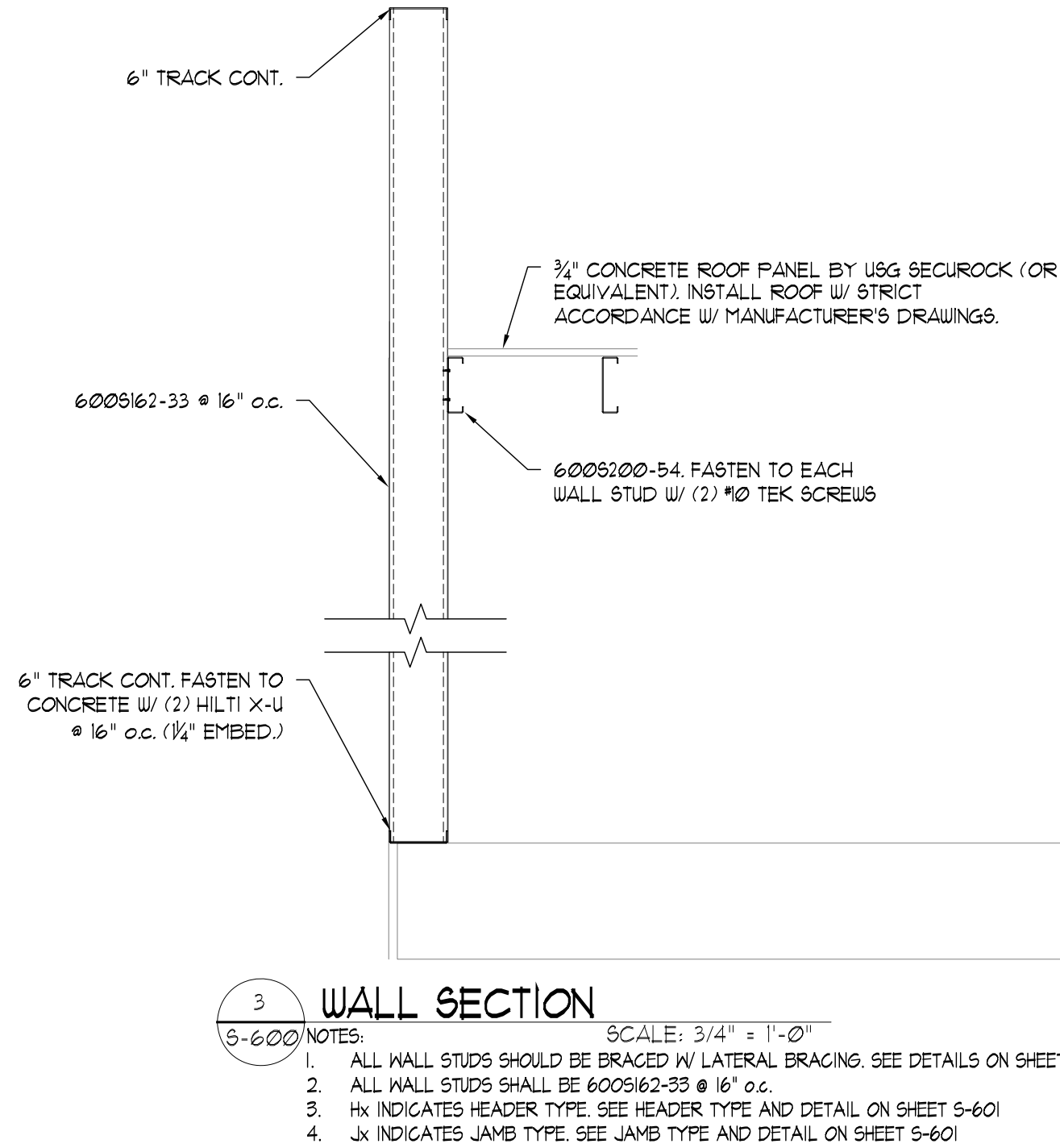


CONSULTANT:
PVE Engineering, P.C.
Bushnell on the Park
100 Wells Street - Suite 2K
Hartford, CT 06103
860.522.3970
860.522.3971 - fax



DESIGNED BY: HT
DRAWN BY: HT
SCALE: AS NOTED
APPROVED BY: AJP
PROJECT NO.: 20020
DATE: NOVEMBER 10, 2021

SHEET NO.
S-501



REVISIONS:	
1: 11/24/2021	GENERAL REVISION
DRAWING TITLE: LIGHT GAUGE ELEVATIONS & WALL SECTIONS	
PROJECT: ADDITION / RENOVATION	
CONSULTANT: PVE Engineering, P.C. Bushnell on the Park 100 Wells Street - Suite 2K Hartford, CT 06103 860.522.3970 860.522.3971 - fax	
DESIGNED BY: HT	
DRAWN BY: HT	
SCALE: AS NOTED	
APPROVED BY: AJP	
PROJECT NO.: 20020	
DATE: NOVEMBER 10, 2021	
SHEET NO. S-600	

FINISH FLOOR PLAN NOTES:

1. REMOVE ALL EXISTING FINISHES AND PREPARE FOR RE-SURFACING.
2. REPAIR ANY FLOOR CRACKS, OR DEPRESSIONS USING LEVELING COMPOUND ON FLOOR SLAB. SAND/GRIND RIDGES AND HIGH SPOTS LEVEL. SURFACE LEVELING MUST MEET OR EXCEED IMAGING EQUIPMENT MANUFACTURERS REQUIREMENTS. COORDINATE SPECIFIC EXTENT OF WORK NEEDED. CLEAN SLAB SURFACES AND VACUUM IMMEDIATELY BEFORE NEW INSTALLATION.
3. USE MANUFACTURER'S OWN LOW VOC ADHESIVES AND ACCESSORIES
4. PROVIDE PAINT PRIMERS AND OTHER UNDERCOAT PAINT PRODUCED BY THE SAME MANUFACTURER AS FINISH COAT. APPLY PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PAINT SURFACES IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS. PROPERLY PREPARE AND CLEAN ALL SURFACES IN ACCORDANCE WITH FINISH MANUFACTURER'S REQUIREMENTS PRIOR TO COMMENCING PAINTING.

GYPSUM WALLBOARD: PRIMER: LATEX WALL PRIMER
FINISH: EGG SHELL - (2) TWO COATS
METALS: PRIMER: ALKYD METAL PRIMER FILLER
FINISH: ALKYD SEMI-GLOSS ENAMEL - (2) TWO COATS
WOOD (PAINTED): PRIMER: OIL BASE, FRESH START #024
FINISH: SEMI-GLOSS ACRYLIC LATEX, REGAL N333

FINISH SCHEDULE:

EXTERIOR WOOD WALLS:

WD-1 MANUFACTURER: CUSTOM BOARDS, VARYING STAIN
STYLE: PROVIDE 12" LIVE EDGE OAK WOOD SIDING
COLOR: SATIN POLYURETHANE CLEAR COAT
LOCATION: REFER TO PLAN

PAINT:

P1 MANUFACTURER: BENJAMIN MOORE ULTRA SPEC MASONRY
STYLE: ULTRA SPEC MASONRY ELASTOMERIC
SHEEN / COLOR: WATERPROOF COATING FLAT / BLACK
LOCATION: EXTERIOR CMU WALL

P2 MANUFACTURER: BENJAMIN MOORE
STYLE: FLAT / BLACK
SHEEN / COLOR: CEILING PAINT AND TOP 4 COURSES OF ALL
LOCATION: WALLS, CONFIRM WITH OWNER FOR HEIGHT.

P3 MANUFACTURER: BENJAMIN MOORE
STYLE: SEMI-GLOSS / BLACK
SHEEN / COLOR: TRIM / DOOR FRAMES
LOCATION:

P4 MANUFACTURER: BENJAMIN MOORE
STYLE: EGG SHELL / TBD
SHEEN / COLOR:

FRP WALLS:

FRP MANUFACTURER: TBD
PATTERN: STIPPLE
COLOR: WHITE
LOCATION: KITCHEN AND INSIDE OF BAR

INTERIOR WOOD WALLS:

WD-3 MANUFACTURER: CUSTOM BOARDS, VARYING STAIN
LOCATION: WALLS AND COLUMNS TO EXTEND TO 32" BELOW DECK, (4 COURSES BELOW DECK) - CONFIRM WITH OWNER ONSITE, PAINT ABOVE WITH P2
NOTE: PROVIDE WITH FIRE RETARDANT SPRAY

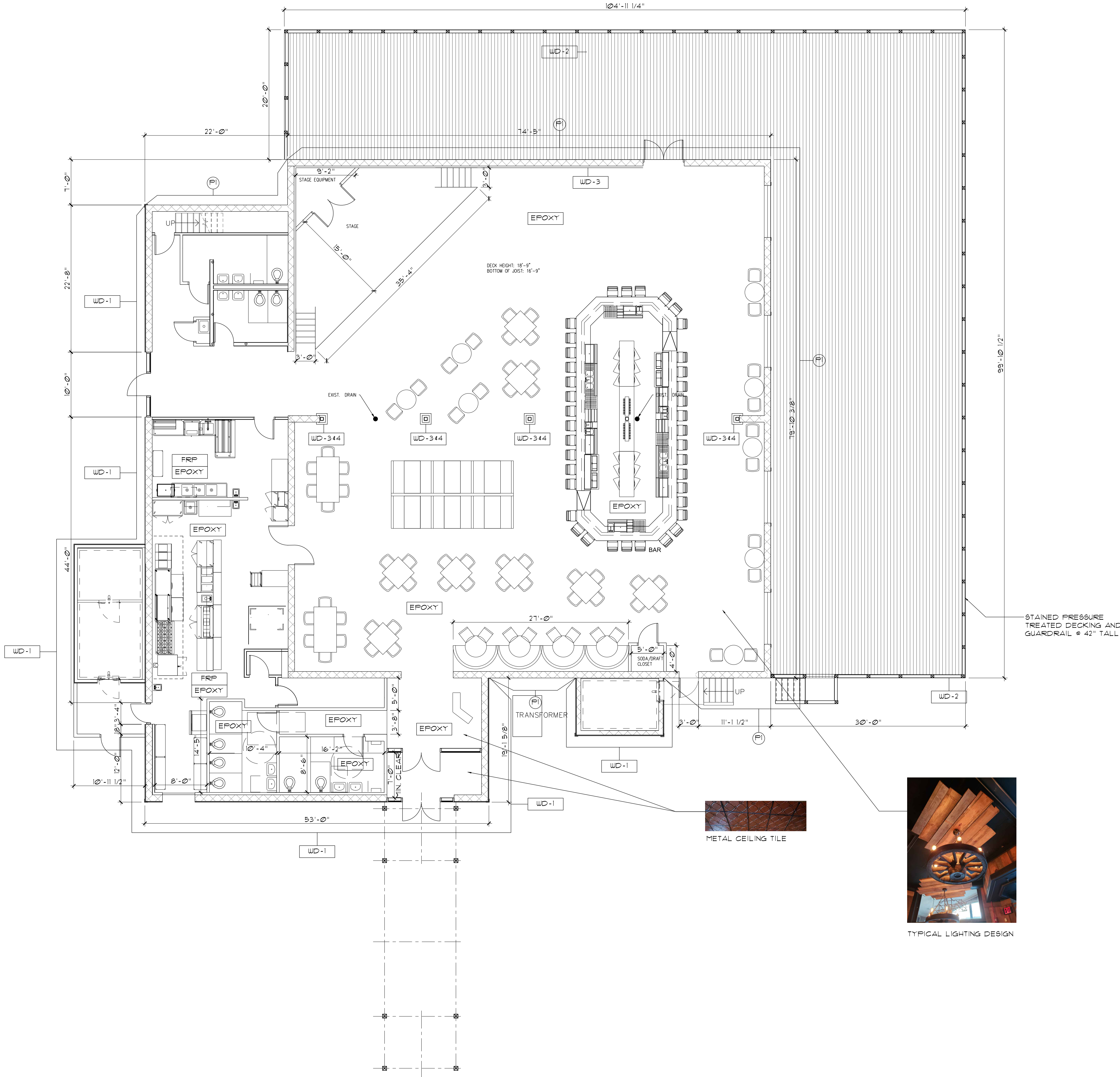
WD-4 MANUFACTURER: CUSTOM SHELF, VARYING STAIN
LOCATION: 42" AFF. 5" THICK WIDE BY 3" TALL SHELF
NOTE: PROVIDE WITH FIRE RETARDANT SPRAY

FLOORING:

EPOXY MANUFACTURER: TBD
BASE: PROVIDE INTEGRAL EPOXY BASE

TILE WAINSCOT:

T-1 MANUFACTURER: DALTILE
STYLE/COLOR: TBD
PROVIDE COVE BASE
LOCATION: RESTROOM WET WALLS



METAL CEILING TILE



TYPICAL LIGHTING DESIGN



M.E.P. ENGINEER:
HP Engineering, PC
North Haven, Connecticut 06473
(203) 239-9425

ROCKING HORSE

57 HARTFORD TURNPIKE
VERNON, CT 06066

FINISHES
& FLOOR
PLAN

REVISIONS:

SCALE: AS NOTED

DATE: 02-01-2022

AF101



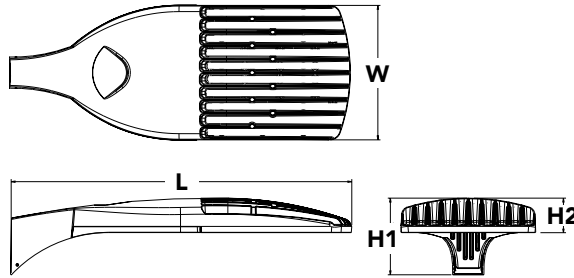
D-Series Size 1 LED Area Luminaire



d#series

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED						
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics	30K 3000 K	T1S Type I short	TSVS Type V very short ³	MVOLT ⁵	Shipped included
	P1 P4 ¹ P7 ¹	40K 4000 K	(Automotive)	T5S Type V short ³	120 ⁶	SPA Square pole mounting
	P2 P5 ¹ P8	50K 5000 K	T2S Type II short	T5M Type V medium ³	208 ⁶	RPA Round pole mounting ⁷
	P3 P6 ¹ P9 ¹		T2M Type II medium	TSW Type V wide ³	240 ⁶	WBA Wall bracket ³
	Rotated optics		T3S Type III short	BLC Backlight control ⁴	277 ⁶	SPUMBA Square pole universal mounting adaptor ⁸
	P10 ² P12 ²		T3M Type III medium	LCCO Left corner cutoff ⁴	347 ⁶	RPUMBA Round pole universal mounting adaptor ⁸
	P11 ² P13 ^{1,2}		T4M Type IV medium	RCCO Right corner cutoff ⁴	480 ⁶	Shipped separately
			TFTM Forward throw medium			KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹

Control options			Other options	Finish <i>(required)</i>
Shipped installed			Shipped installed	
NLTAIR2	nLight AIR generation 2 enabled ¹⁰	PIR	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 5fc ^{17,18}	DDBXD Dark bronze
PIRHN	Network, high/low motion/ambient sensor ¹¹	PIRH	High/low, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 5fc ^{17,18}	DBLXD Black
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹²	PIR1FC3V	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 1fc ^{17,18}	DNAXD Natural aluminum
PER5	Five-pin receptacle only (controls ordered separate) ^{12,13}			DWHXD White
PER7	Seven-pin receptacle only (controls ordered separate) ^{12,13}	PIRH1FC3V	Bi-level, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 1fc ^{17,18}	DDBTXD Textured dark bronze
DMG	0–10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁴	FAO	Field adjustable output ^{17,19}	DBLBXD Textured black
DS	Dual switching ^{15,16,17}			DNATXD Textured natural aluminum
			Shipped separately	DWHGXD Textured white
			BS Bird spikes ²¹	
			EGS External glare shield	



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX1-LED
Rev. 07/30/20
Page 1 of 8

Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK U	Shorting cap ²²
DSX1HS 30C U	House-side shield for P1, P2, P3, P4 and P5 ²⁰
DSX1HS 40C U	House-side shield for P6 and P7 ²⁰
DSX1HS 60C U	House-side shield for P8, P9, P10, P11 and P12 ²⁰
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁹
DSX1EGS (FINISH) U	External glare shield

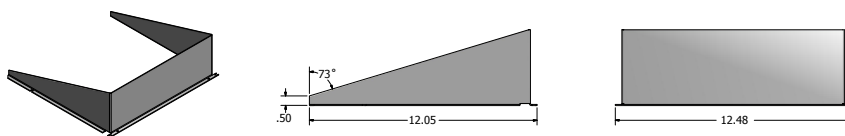
For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- HA not available with P4, P5, P6, P7, P9 and P13.
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NILTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- Requires (2) separately switched circuits with isolated neutral.
- Reference Controls Option Default settings table on page 4.
- Reference Motion Sensor table on page 4 to see functionality.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Control Option Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

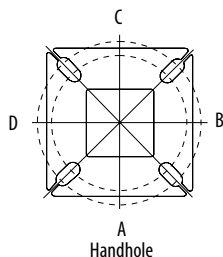
Options

EGS - External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

DSX1 Area Luminaire - EPA

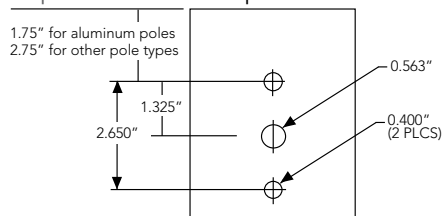
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8

Top of Pole



STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcmgregor@vernon-ct.gov

MEMORANDUM

TO: Planning & Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ-2022-03, 57 Hartford Turnpike

DATE: February 17, 2022

Request

PZ-2022-03, 57 Hartford Tpke. An Application by Jerry Fornarelli for a modification to an approved site plan and special permits from Section 5 of the Zoning Regulations, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike (Tax Map 01, Block 0158, Parcel 00057). The site is the former movie theatre (and medical office), to the rear and across the Hockanum River from the Golf Land Site. The Applicant proposes to add a 3,000 sq.ft deck, a 3,800 sq. ft. outdoor pavilion, and a 1,500 sq. ft. storage garage as part of a new restaurant facility.



Illustrative Drawings:



PAVILION CONCEPT

12" LIVE EDGE OAK SIDING WITH CLEAR POLYURETHANE WOOD FINISH

BLACK ALUMINUM FRAME
6 CLEAR TEMPERED GLASS PANELS
2 SOLID KICK-PROOF BOTTOM BLACK PANELS

DECK GARAGE DOORS

FAIRLIE
Architectural Firm
1000 Main Street, Suite 200
Vernon, CT 06066
TEL: 860-865-1234
WWW.FAIRLIE-CT.COM

ROCKING HORSE
57 HARTFORD TURNPIKE
VERNON, CT 06066

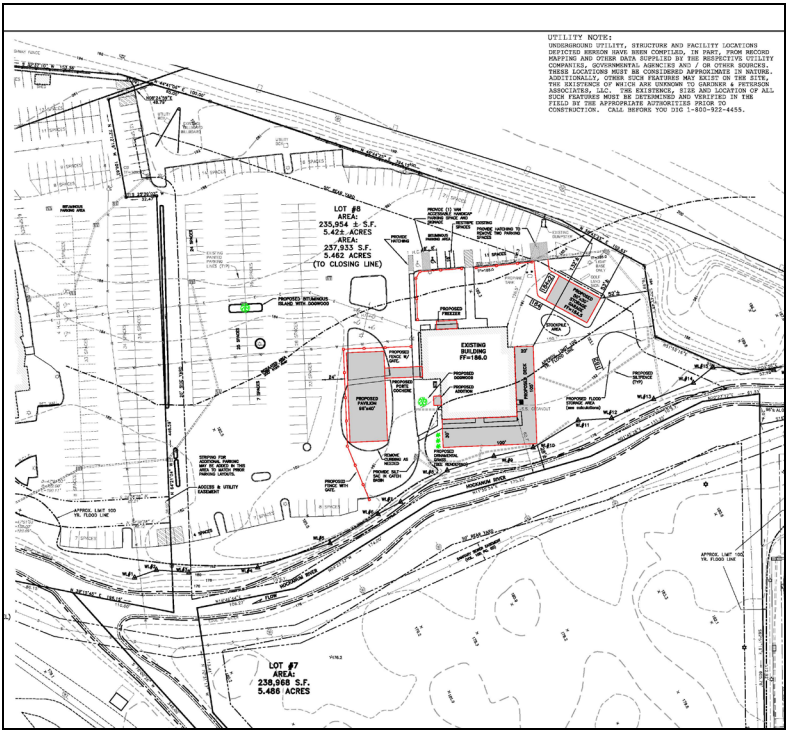
**EXTERIOR
3D RENDERING
& EXTERIOR
FINISHES**

REVISIONS

SCALE: AS NOTED
DATE: 02-01-2022

AF201

Site Plan:



Special Permits

The following Special Permits are requested:

- 1. 5.7.1-Commercial Structures in areas subject to flooding**
- 2. 5.7.5-Fill or excavation of land, generally, and within a special flood area.**

In order to approve each special permit, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

17.3.1.1 It shall not create a hazardous condition relative to public health and safety;

17.3.1.2 It shall be compatible with neighboring uses;

17.3.1.3 It shall not create a nuisance;

17.3.1.4 It shall not hinder the future sound development of the community;

17.3.1.5 It shall conform to all applicable sections of this ordinance;

Staff finds that these thresholds have been met by the Application.

Staff Comments

The Town Planner is working with the applicant on a few final site details. No other substantive comments were received.

Inland Wetlands Commission

The Inlands Wetlands will review the Application on February 15, 2022.

Conservation Commission

The Conservation Commission was scheduled to review the application at their January 24, 2022 meeting but failed to achieve a quorum.

Design Review Commission

The DRC reviewed the application at their February 2, 2022 meeting and endorsed the elements presented along with a request for additional landscaping details, fencing, roof screening, and final sign design to return to the DRC for review.

Analysis

Improvements to this commercial property are encouraged and the proposed improvements are consistent with the Zoning Regulations. The additions are fairly minor enhancements as the building will remain intact and the site will not be exceptionally modified. The enhancements are intended to modernize the structure and pave the way for restaurant patrons, providing options for outside eating and activities. Staff will report on the Inland Wetland Commission review at the time of the public hearing.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2022-03, a Site Plan of Development with Special Permits located at 57 Hartford Tpke. This approval is based upon a finding the application meets the site plan requirements of Section 14 and that the special permits requested meet and exceed the review criteria set forth in Section 5 and Section 17.3.1, and is subject to the conditions of approval dated February 17, 2022.**

OR

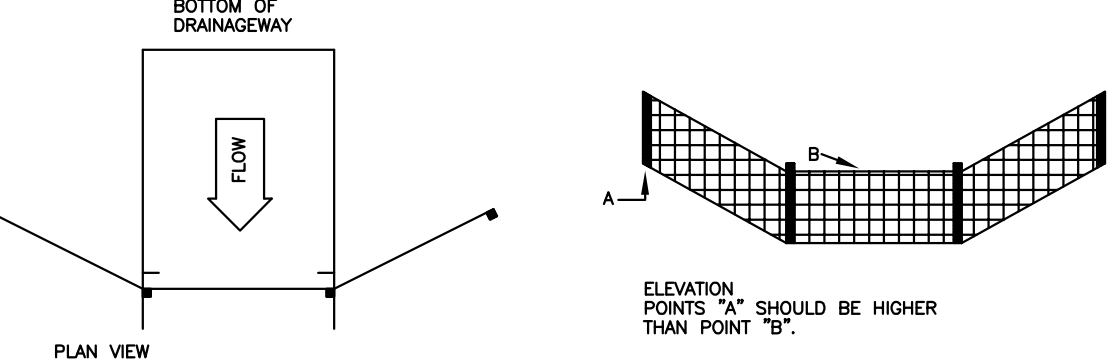
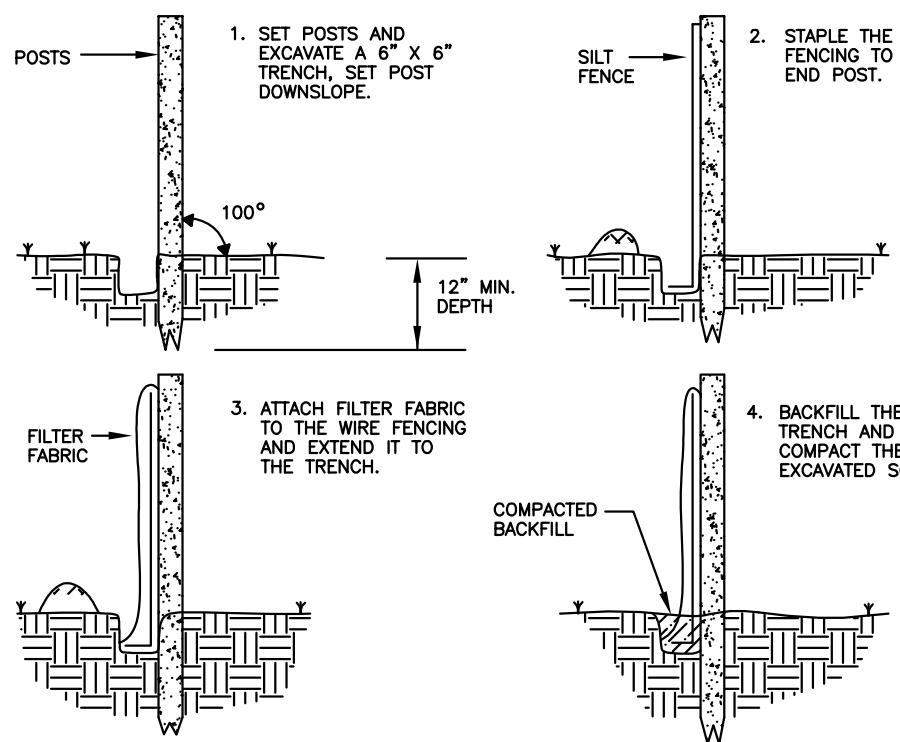
- B. I move [an alternate motion]**

GKM

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE COVERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



PARKING TABLE:
PER SECTION 12.1.16 OF THE VERNON ZONING REGULATIONS,
THE BUILDING HAS 6,000sf OF INTERIOR CUSTOMER USER SPACE (EXCLUDES KITCHEN, BATHROOMS, ETC)

REQUIRED PARKING
6,000sf / 50 = 120 SPACES

EXISTING PARKING
195 SPACES

REQUIRED HANDICAP PARKING: 6 SPACES FOR 151-200 SPACES

EXISTING HANDICAP PARKING: 5 SPACES

PROPOSED HANDICAP PARKING: 1 SPACE

LOT COVERAGE:
THE PROPOSED LOT COVERAGE IS 59.5%.

SIGNAGE:
PROPOSED BUILDING SIGNAGE SHALL COMPLY WITH THE ZONING REGULATIONS. (SEE ARCHITECTURAL PLANS).

SCREENING:
THE EXISTING HVAC UNITS SHALL BE SCREENED WITH PICKET FENCING. (SEE ARCHITECTURAL PLANS).

FENCING:
THE PROPOSED FENCING WILL HAVE GATES FOR ACCESS. (SEE ARCHITECTURAL PLANS).

NOTES:
1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-B.

2. REFERENCE IS MADE TO THE FOLLOWING PLAN:
A. "RESUBDIVISION PLAN - LOT #7 TALCOTTVILLE DEVELOPMENT COMPANY, LLC #57 & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: B.D.C., DATE: 6-8-2015, REVISED 12-08-2021, SHEETS 4 OF 5, MAP NO. 8926-RESUB-7"
B. "WETLAND REDESIGNATION PLAN DATA ACCUMULATION PLAN SUB PEAK OF CONNECTICUT, INC. LOT #8 #57 HARTFORD TURNPIKE VERNON, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC BY: MAP DATE: 12-09-2021, SHEET 1 OF 1, MAP NO. 8926-8W"

3. DUE TO THE SNOWY WEATHER CONDITIONS THE STRIPING WAS NOT VISIBLE IN ALL THE PARKING AREAS AND SOME PARKING LOCATIONS WERE TAKEN FROM REFERENCED PLANS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: LOT 8-SUB PEAK OF CONNECTICUT, INC.

LOCATION: 57 HARTFORD TURNPIKE

PROJECT DESCRIPTION: PROPOSED DECK AND DETACHED GARAGE

PARCEL AREA: 5.42± ACRES

RESPONSIBLE PERSONNEL: JERRY FORNARELLI

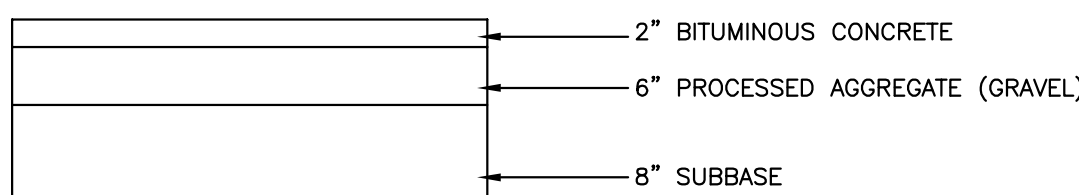
WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CALL CBYD			
DECK CONSTRUCTION			
INSTALL SILTFENCE AS SHOWN			
REMOVE EXISTING SIDEWALK			
INSTALL FLOOD STORAGE AREA (SPOILS TO BE PLACED OUTSIDE FLOOD ZONE)			
REMOVE BRUSH/SAPLINGS ALONG WEST SIDE OF RIVER NEAR DECK (STUMPS TO REMAIN)			
INSTALL HELICAL PILES FOR DECK CONSTRUCTION (PIERS TO BE DRILLED-NO SITE EXCAVATION)			
CONSTRUCT DECK			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTFENCE WHEN SITE IS STABILIZED			
GARAGE CONSTRUCTION			
INSTALL SILTFENCE			
STRIP TOPSOIL AND EXCAVATE FOR FOOTING			
CONSTRUCT GARAGE			
FINAL GRADE			
LOAM AND SEED ALL DISTURBED AREAS			
REMOVE SILTFENCE ONCE SITE IS STABILIZED			
PAINT HATCH OVER TWO PARKING SPACES			
FRONT/SOUTHERLY ADDITIONS			
INSTALL SILT SAC IN CATCH BASIN			
INSTALL SILTFENCE AS SHOWN			

PROJECT DATES:
DATE OF CONSTRUCTION START: FEBRUARY 15, 2022
DATE OF CONSTRUCTION COMPLETION: OCTOBER 15, 2022

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

FLOOD STORAGE CALCULATIONS

(40) PROPOSED PILINGS
EACH PILING IS 10" DIAMETER AND AVERAGES 24" FROM THE EXISTING GROUND TO THE FLOOD ELEVATION.
(3.14x0.42^2) x 2.0' x 40 = 44cf. OF FLOOD STORAGE AREA USED
FLOOD STORAGE CREATED: 50cf.

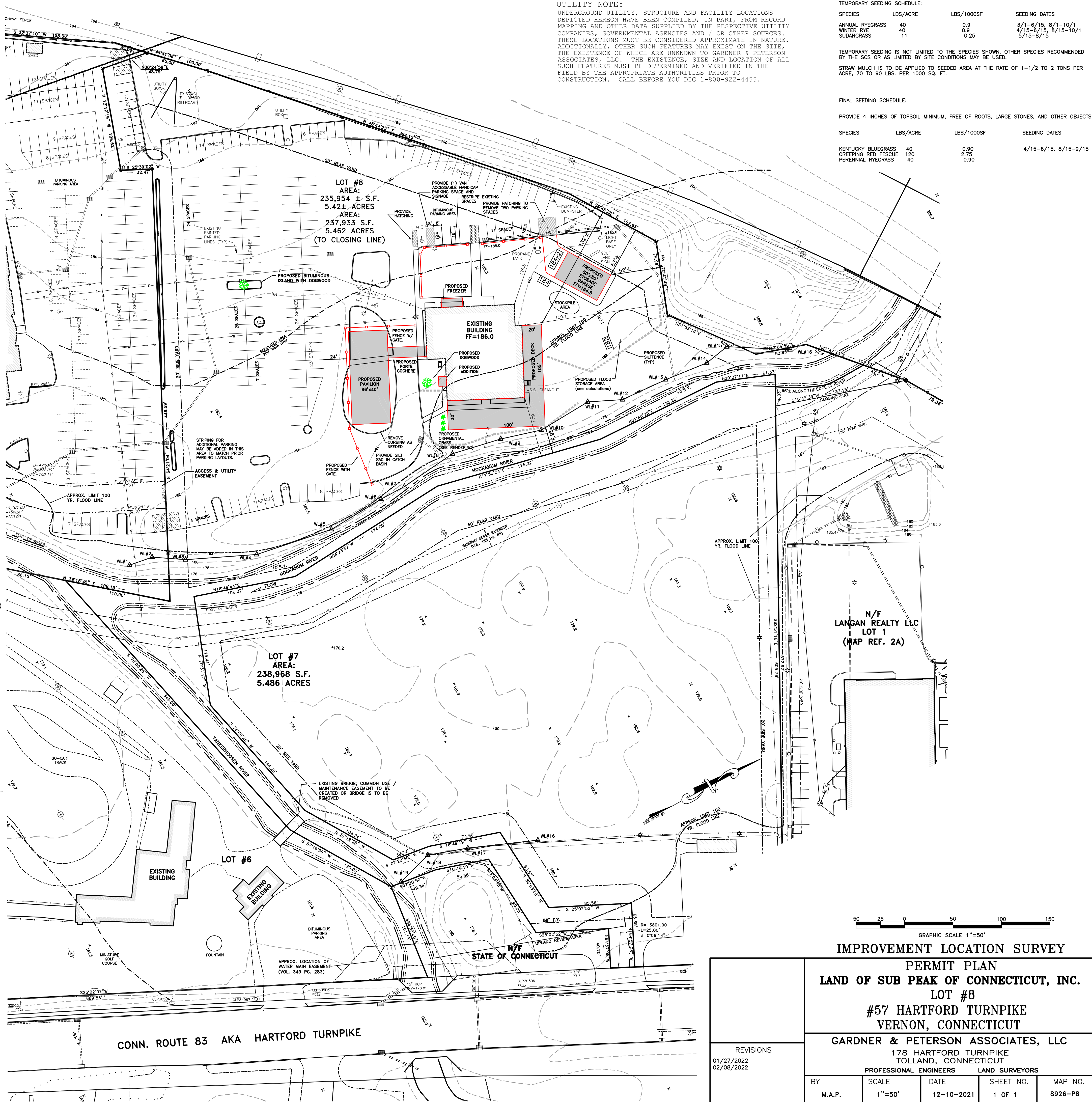


PAVEMENT CROSS SECTION

N.T.S.

LEGEND:

EXISTING PIN/PIPE	
EXISTING MONUMENT	
IRON PIN TO BE SET	
MONUMENT TO BE SET	
EXISTING CONTOUR (FROM TOWN AERIAL)	
EXISTING BITUMINOUS CONCRETE CURBING	
EXISTING EDGE OF PARKING/DRIVE	
EXISTING LIGHT POLE	
EXISTING LIGHT/UTILITY POLE (FROM TOWN AERIAL)	
EXISTING GAS GATE/VALVE	
EXISTING WATER GATE/VALVE	
EXISTING FIRE HYDRANT	
EXISTING BOLLARD	
EXISTING ELECTRIC TRANSFORMER	
EXISTING FENCE	
EXISTING GUARD RAIL	
EXISTING FENCE (FROM TOWN AERIAL)	
APPROX. LOCATION OF WATER LINE	
APPROX. LOCATION OF GAS LINE	
APPROX. LOCATION OF SAN. SEWER	
APPROX. LOCATION OF ELEC./UTILITY LINES	
EXISTING STORM DRAIN	
EXISTING STORM DRAIN (FROM TOWN AERIAL)	
EXISTING SAN. MANHOLE	
EXISTING ELECTRIC MANHOLE	



UTILITY NOTE:

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

N/F
LANGAN REALTY LLC
LOT 1
(MAP REF. 2A)

50 25 0 50 100 150
GRAPHIC SCALE 1"=50'

IMPROVEMENT LOCATION SURVEY

PERMIT PLAN
LAND OF SUB PEAK OF CONNECTICUT, INC.

LOT #8

#57 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=50'	12-10-2021	1 OF 1	8926-P8

REVISIONS
01/27/2022
02/08/2022



North Central District Health Department

□ Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188

□ Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531

□ Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034

□ Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

February 8, 2022

Mr. George McGregor
Vernon Town Planner
55 West Main Street
Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application 2022-03 – Rocking Horse Smokehouse
57 Hartford Turnpike
Vernon, Connecticut

Dear Mr. George McGregor:

I am writing regarding the Planning & Zoning Commission Application – Rocking Horse Smokehouse at the above referenced address.

North Central District Health Department (NCDHD) has the following comments regarding the Rocking Horse Smokehouse additions:

- The service stations on the proposed deck shall be fully enclosed.
- Overhead protection is required from the building to the outside walk-in freezer.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,

Brian Bielawiec
Registered Sanitarian



Design Review Commission

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

February 3, 2022

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 2-2-22 the Design Review Commission was presented Application **PZ-2022-03, 57 Hartford Tpke** by Jerry Fornarelli for a modification to an approved site plan and special permits from Section 5 of the Zoning Regulations, in order to construct a deck addition, pavilion structure, and storage building at 57 Hartford Turnpike. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and endorsed them as they were presented, with a request that signage, landscaping, fencing, roof screening and additional lighting be brought back to DRC.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,



Shaun Gately
Economic Development Coordinator