

**TOWN OF VERNON**  
**CONSERVATION COMMISSION**  
Vernon, CT  
Meeting Notice  
**Monday, April 19, 2021, 7:00 PM**

Join Zoom Meeting

<https://us02web.zoom.us/j/82404363665?pwd=dktSVUFmTG1XWHVrZjVkdVdNUTFYdz09>

Meeting ID: 824 0436 3665

Passcode: QM0aGP

Or Dial In:

(646) 876 9923

Meeting ID: 824 0436 3665

Passcode: 520821

**AGENDA**

1. Call to Order and roll call
  2. Administrative Actions/Requests
    - 2.1 Amendment(s) to Agenda, if any
    - 2.2 Approval of the Minutes of the March 15, 2021 meeting
    - 2.3 Communications received not related to Agenda items, if any
    - 2.4 Letters sent by Conservation Commission last month, if any
    - 2.5 Organizational considerations
  3. Open Space Program Update
  4. New Business
    - 4.1 Review of Pending Planning & Zoning Applications or Inland Wetlands
      - Application **[IWC-2021-04]**, of Rashid Hamid, for a wetlands re-designation and a wetlands permit by Commission, for the development of a +-70 unit townhouse residential project, at 291 and 293 Talcottville Rd. (Assessor ID: Map 3 Block 4 Parcels 9A & 9E) and at 27, 32, 37, 38, and 46 Naek Rd. (Assessor ID: Map 3 Block 4 Parcels 008-8,7,4, 6, 5).
    - 4.2 Natural Resources
      - Vernal Pools
      - Bolton Lakes Issues
      - Non-Point Source Pollution
  5. Other Business/Goals/Discussion
    - 5.1 Future Activities
      - a) Annual Goals
      - b) Potential Activities
    - 5.2 POCD updates
      - Draft Future Land Use Narrative and Maps-Link Below
- <https://www.vernon-ct.gov/departments-services/departments/planning-and-development/pocd>
6. Adjournment

C. Ryan Goad, Chairman-Conservation Commission

# **DRAFT MINUTES**

**Town of Vernon, CT Conservation Commission  
Regular Meeting via Zoom Teleconference  
Monday, March 15, 2021 at 7:00 PM**

**Zoom Weblink Information**

<https://us02web.zoom.us/j/87961298391?pwd=N2NZeHpvM2JNdStTMWNza1ZsSINUdz09>

**Meeting ID: 879 6129 8391 Passcode: A2j1nF**

**Dial In Information:**

**Phone Number: (646) 876-9923 Meeting ID: 879 6129 8391 Passcode: 758750**

**DRAFT MEETING MINUTES**

- 1. Call to Order and Roll Call** Chairperson Ryan Goad called the meeting to order at 7:00PM.  
Regular members present: Ryan Goad, Richard Clark, James Simon  
Members absent: Jason Seacat  
Staff members present: George McGregor, Town Planner  
Recording Secretary: Kathleen Minor

- 2. Administrative Actions/Requests**
  - 2.1. Amendment(s) to Agenda** – none
  - 2.2. Approval of the Minutes of the January 25, 2020 2021 Meeting**

Ryan Goad, seconded by James Simon, made a motion to approve the minutes from the January 25, 2021 regular meeting as presented. Motion carried unanimously.

- 2.3. Communications received not related to Agenda items** – none
- 2.4. Letters sent by Conservation Commission last month**

Ryan Goad has had email correspondence with Marty Sitler, Director of Parks and Recreation, regarding commission recruitment posters

- 2.5. Organizational considerations** – no discussion

- 3. Open Space Program Update**

Discussion ensued regarding the future vision of the Conservation Commission's roll in Open Space now that it is maxed.

- 4. New Business**
  - 4.1. Review of Pending Planning & Zoning Applications**

Application **IWC-2101-01**, of Richard and Julie Clay for a wetlands permit by commission, for the construction of a +- 2,400 s.f. single-family home located at 58 Wildwood Rd., (Assessors ID: Map 52, Block 0139, Parcel 00050)

James Simon, seconded by Richard Clark, made a motion for Ryan Goad to send an email to the Town Planner with the commission's recommendation to leave existing vegetation along the lake side. Motion carried unanimously.

Application **IWC-2101-02**, of Pamela Gieras for a wetlands permit by Commission, for the construction of a +-2,200 s.f. single-family home located at 7 Beechwood Rd. (Assessors ID: Map 52, Block 140F, Parcel 00005)

No action taken by commission

Application **PZ-2021-02**, of Krause Realty Trust, requesting a zone change for two parcels, one located at 34 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00002) and the other located at 42 Acorn Rd. (Assessor's ID: Map 01, Block 159A, Parcel 00001). Both parcels are currently zoned R-27. The requested change is to rezone 1.1457 acres of the

parcels to Commercial, in order to merge that portion into adjacent Commercial land to provide additional inventory parking at an automobile dealership, and to rezone 1.2407 acres of the parcels to Open Space Zone.

Town Planner provided updates to project. No action taken.

**4.2. Natural Resources –**

4.2.1. Vernal Pools – No discussion

4.2.2. Bolton Lake Issues

Ryan Goad provided updates regarding the status of the Watershed Management Plan and the Small Town Economic Assistance Program (STEAP) Grant being used. An email will be sent to the commission.

Discussion ensued regarding the trails throughout town. Town Planner George McGregor will reach out to the Director of Parks and Recreation, Marty Sitler, and ask him to join a future meeting.

4.2.3. Non-Point Source Pollution – No discussion

**5. Other Business/Goals/Discussion**

**5.1. Future Activities – No discussion**

5.1.1. Annual Goals

5.1.2. Potential Activities

**5.2. POCD Updates**

Town Planner George McGregor updated the commission on the status and progress of the POCD.

**6. Adjournment** – Richard Clark, seconded by James Simon, made a motion to adjourn the meeting at 7:53 PM. Motion carried unanimously.

Respectfully submitted,



Kathleen Minor  
Recording Secretary



# **APPLICATION**

**1**

RECEIVED

MAR 18 2021



**TOWN OF VERNON**  
TOWN PLANNERS OFFICE  
**INLAND WETLANDS COMMISSION (IWC)**

**APPLICATION**

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

**I. APPLICANT (S)**

Name: Rashid Hamid  
Title: President  
Company: Naek Construction Co., Inc.  
Address: 27 Naek Road, Vernon, CT 06066  
Telephone: 860-875-1895 Fax: 860-872-3251  
E-mail: rashidnaek@aol.com

**II. PROPERTY OWNERS**

Name: The Rashid Hamid Family, LLP  
Title: N/A  
Company: c/o Naek Construction Company, Inc.  
Address: 27 Naek Road  
Vernon, CT 06066  
Telephone: 860-875-1895 Fax: 860-872-3251  
E-mail: rashidnaek@aol.com

### III. PROPERTY

Address: 291 and 293 Talcottville Road and 26, 32, 37, 38, and 46 Naek Road

Assessor ID Code:      Map # 03      Block # 0004      Lot/Parcel # See attachment

Land Record Reference to Deed Description:      Volume:                 Page See attachment

USGA Location:

Circle the Map Quadrangle Name:      Manchester # 38      ☒ Rockville #39

Circle the Sub regional Drainage Basin #:      3108      ☒ 4500      4502      4503

Zoning District: PDZ-Gerber Farm Area

### IV. PROJECT

Project Name: Village at Naek Road

Project Contact Person:

Name: Rashid Hamid

Title: President

Company: Naek Construction Co., Inc.

Address: 27 Naek Road

Vernon, CT 06066

Telephone: 860-875-1895      Fax: 860-872-3251

E-mail: rashidnaek@aol.com

### V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the **"The Town of Vernon Inland Wetlands and Watercourses Regulations"**.

Purpose: Development of the Village at Naek Road, a residential townhouse community

General Activities: Site preparation, grading, and installation of utilities for construction of 70 townhouse dwelling units in 17 buildings, with driveways, sidewalks, lighting, storm drainage, amenities, and other related improvements.

Regulated Activities:

Watercourse disturbance (linear feet): None.

Wetlands disturbance (acres or sq. ft.): None.

Upland Review Area (URA) disturbance: 4.0 acres for construction of stormwater basin, storm drainage, buildings, driveways, utilities, and parking areas.

Nonregulated activities & activities outside URA: 8.2 acres for construction of stormwater basin, storm drainage, buildings, driveways, utilities, sidewalks, and parking areas.

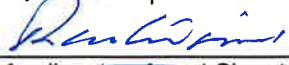

## VI. APPLICATION

- ☒ Redesignation of Wetlands
- ☐ Amendment of Inland Wetlands and Watercourses Regulations
- ☐ Modification of a Wetlands Redesignation
- ☒ Wetlands Permit
- ☐ Non-significant activity
- ☐ Significant activity with less than ½ acre site disturbance
- ☐ Significant activity with site disturbance from ½ acre to and including 2 acres
- ☒ Significant activity with site disturbance greater than 2 acres
- ☐ Commission modification of a wetland permit in effect
- ☐ Modification of a wetland permit by the Wetlands Agent
- ☐ Approval of a license by the Wetlands Agent for activities in an upland
- ☐ Appeal of a decision by the Wetlands Agent
- ☐ Subdivision review per CGS Section 8-26
- ☐ Jurisdictional ruling regarding permitted and nonregulated uses
- ☐ Waiver, reduction, or delayed payment of fees (attach statement of justification)
- ☐ Waiver
- ☐ Reduction to \$ \_\_\_\_\_
- ☐ Delay of payment to \_\_\_\_\_

## VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

	Rashid Hamid	
Applicant or Agent Signature	Printed Name	Date
	Rashid Hamid	
Owner's Signature, if different	Printed Name	Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED \_\_\_\_\_

DATE APPLICATION RECEIVED BY COMMISSION \_\_\_\_\_

IWC FILE: \_\_\_\_\_

**TOWN OF VERNON INLAND WETLANDS COMMISSION (IWC)**  
**SUPPLEMENT TO APPLICATION**

**PURPOSE AND DESCRIPTION OF PROPOSED ACTIVITY,  
PROPOSED EROSION AND SEDIMENTATION CONTROLS AND  
OTHER MANAGEMENT PRACTICES**

The Vernon Inland Wetlands and Watercourses Regulations require a statement of the purpose and a description of the proposed activity and proposed erosion and sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to (1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, (3) in the following order of priority: restore, enhance, and create productive wetland or watercourse resources; and (4) mitigate the impact of the proposed activity.

The report from George Logan, Professional Wetland Scientist, Associate Wildlife Biologist, Soil Scientist, and Ecologist, at REMA Ecological Services, LLC provides this information.

**ALTERNATIVE THAT WOULD CAUSE LESS OR NO  
ENVIRONMENTAL IMPACT TO  
WETLANDS OR WATERCOURSES**

The Regulations require the Applicant to state an alternative which would cause less or no environmental impact to wetlands or watercourses and why the alternative as set forth in the application was chosen, with all such alternatives diagramed on a site plan or drawing. Because the proposed activities will not have any environmental impact to wetlands or watercourses, no statement of alternatives is necessary.

**ECOLOGICAL COMMUNITIES AND  
FUNCTIONS OF WETLANDS OR WATERCOURSES**

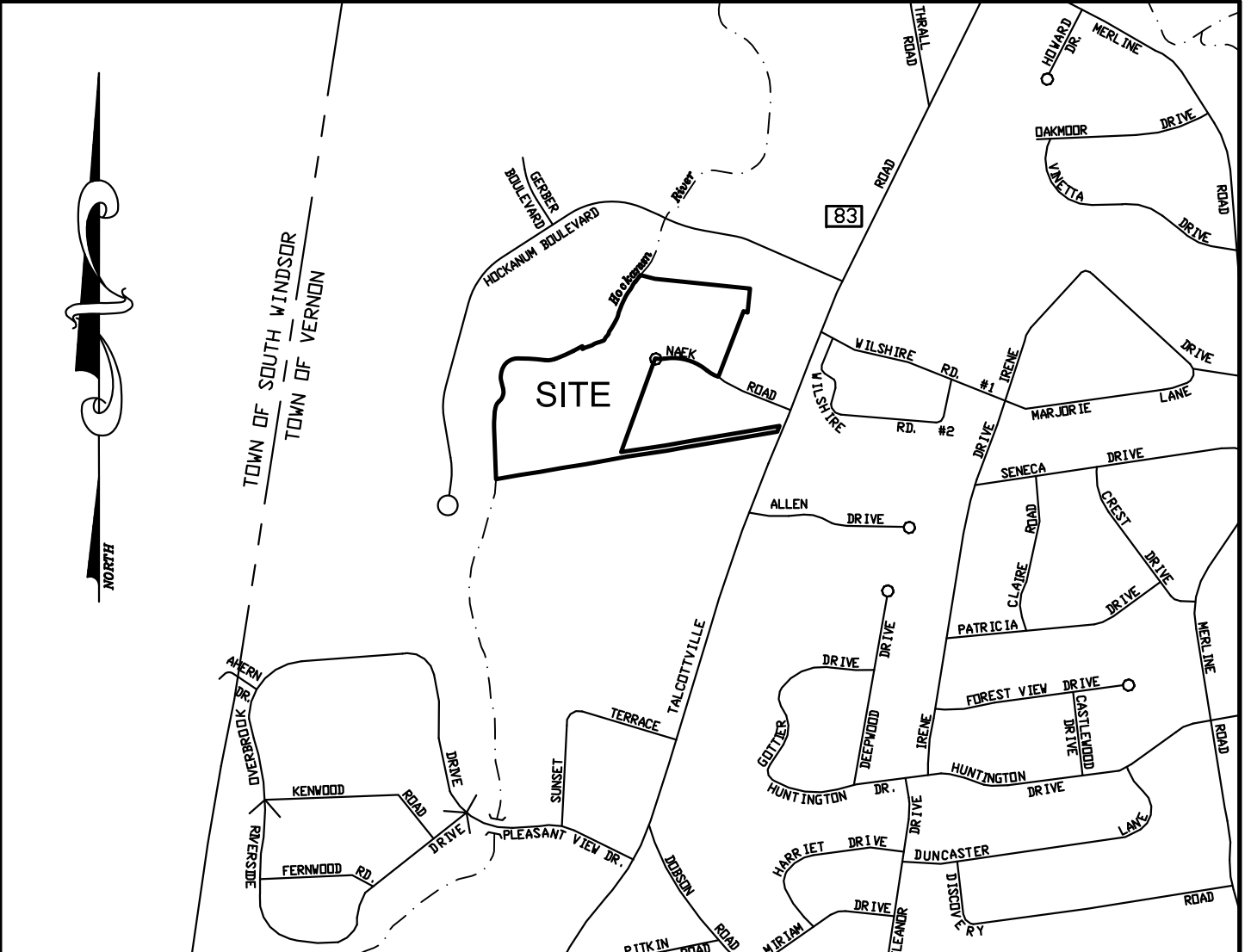
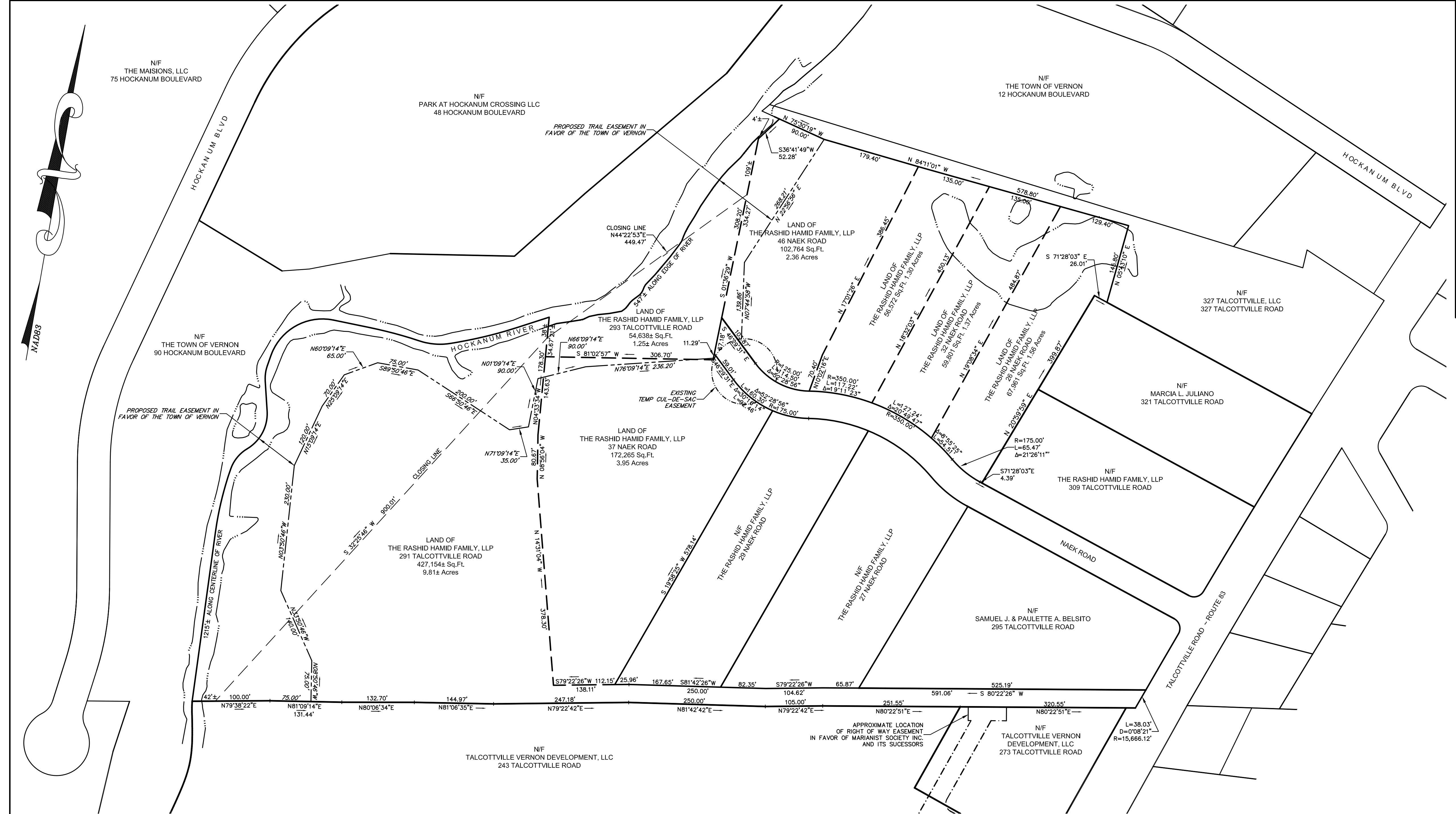
The Regulations require descriptions of the following: (1) the ecological communities and functions of the wetlands or watercourses involved with the Application and the effects of the proposed activity on these communities and wetland functions; and (2) how the Applicant will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application and each alternative which would cause less or no environmental impact to wetlands or watercourses, and a description of why each alternative considered was deemed neither feasible nor prudent.

The report from George Logan, Professional Wetland Scientist, Associate Wildlife Biologist, Soil Scientist, and Ecologist, at REMA Ecological Services, LLC provides this information.

## **STATEMENTS AND CERTIFICATIONS BY APPLICANT**

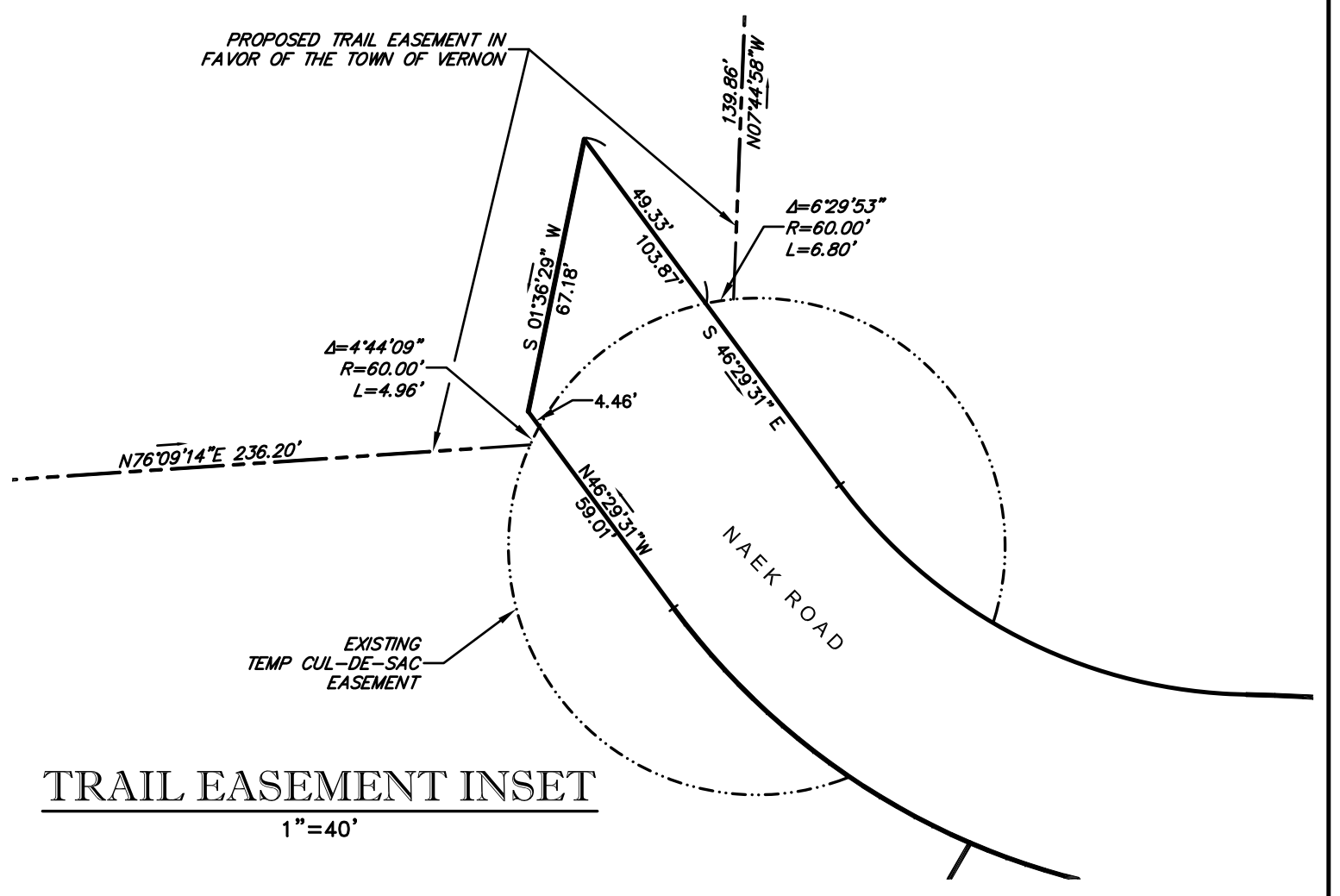
1. The Applicant is familiar with all the information provided in the Application.
2. The Applicant certifies the accuracy of the Application and all supporting information.
3. The Applicant is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.
4. The Applicant authorizes the members and agents of the Commission to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit.
5. The Applicant certifies the following:
  - a. No portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality;
  - b. No traffic attributable to the completed project on the site will use streets within an adjoining municipality to enter or exit the site;
  - c. No sewer or water drainage from the project site will flow through and impact the sewage or drainage system within an adjoining municipality; and
  - d. No water run-off from the improved site will impact streets or other municipal or private property within an adjoining municipality.





LOCATION MAP SCALE: 1"=1000'

- NOTES:
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-3.
  2. BEARINGS DEPICTED ON THIS PLAN ARE BASED THE CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 PER THE MAP REFERENCED IN NOTE 3.B. ELEVATIONS DEPICTED ON THIS PLAN REFER TO THE NAVD 88 DATUM PER THE MAP REFERENCED IN NOTE 3.C.
  3. MAP REFERENCES:  
A. "PROPERTY MAPPED FOR BERTHA BRAY ROUTE 83 VERNON, CT" BY FUSS & O'NEILL INC. DATE: JULY 1985.  
B. "PLAN OF FIRST CUT TAX ID 03-0004-0009 243 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: MAY 15, 2015.  
C. "TOPOGRAPHIC SURVEY TAX ID 03-0004-0009 TAX ID 03-0004-0009B 243 & 253 TALCOTTVILLE ROAD VERNON, CONNECTICUT" PREPARED BY VHB. DATE: OCTOBER 26, 2017, REVISED 1/8/2018.  
D. "RESUBDIVISION OF LOT 3 TO BE KNOWN AS SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 12-27-85, REVISED 1-27-86.  
E. "RESUBDIVISION - LOT #3 SONA INDUSTRIAL PARK LAND OF NAEK CONSTRUCTION CO. INC. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-21-90, REVISED 5/9/91.  
F. "AS-BUILT PLAN & SEWAGE PUMPING STATION NAEK ROAD SONA INDUSTRIAL PARK VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 9-28-87, REVISED 12-6-88.
  4. THESE PARCELS ARE LOCATED IN THE PLANNED DEVELOPMENT ZONE (PDZ): GERBER FARM AREA.
  5. 291 TALCOTTVILLE ROAD IS IN FAVOR OF AN EASEMENT OVER A PORTION OF 243 & 253 TALCOTTVILLE ROAD FOR THE RIGHT TO PASS AND REPASS BY FOOT OR BY VEHICLE AS DESCRIBED IN VOL. 2540, PAGE 129 IN THE VERNON LAND RECORDS.
  6. TOPOGRAPHY DEPICTED ON THESE PLANS WAS PROVIDED BY GOLDEN AERIAL SURVEYS.
  7. WETLANDS DEPICTED ON THESE PARCELS WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC.
  8. THESE PARCELS ARE NOT LOCATED WITHIN THE LEVEL A AQUIFER PROTECTION AREA AS DEPICTED ON THE ZONING MAP VERNON, CT DATED 7/31/2020.
  9. 291 & 293 TALCOTTVILLE ROAD, AND 27, 32, 37, 38 & 46 NAEK ROAD SHALL BE COMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY. THE TOTAL AREA OF THE COMBINED PARCELS IS 941,200± sq. ft. 21.6± acres.
  10. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

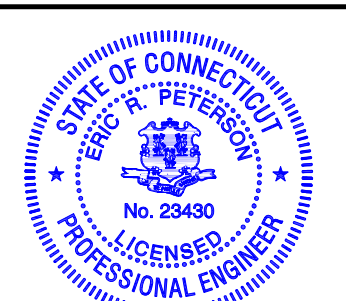


TRAIL EASEMENT INSET 1"=40'

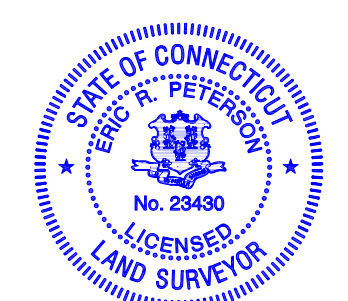
IMPROVEMENT LOCATION SURVEY

SITE PLAN OF DEVELOPMENT  
THE VILLAGE AT NAEK ROAD  
291 & 293 TALCOTTVILLE ROAD  
27, 32, 37, 38 & 46 NAEK ROAD  
VERNON, CONNECTICUT

**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT



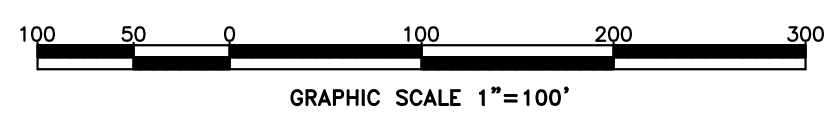
REVISIONS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=100'	03-17-2021	1 OF 10	57688



I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Eric R. Peterson*  
ERIC R. PETERSON

L.S. 23430  
REGISTRATION NO.






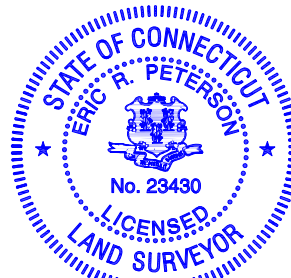


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ERIC R. PETERSON  
I.S. 23430  
REGISTRATION NO.

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

  
GEORGE T. LOGAN; MS, PWS  
Registered Soil Scientist



EXISTING	LEGEND	PROPOSED
	PROPERTY BOUNDARY	
	ZONING SETBACK	
	EASEMENT	
	IRON PIN/PIPE FOUND	
	MONUMENT FOUND	
	ELEVATION CONTOUR	
	SPOT ELEVATION	
	TREE LINE	
	SANITARY SEWER	
	CATCH BASIN/CULVERT	
	STORM MANHOLE	
	FOOTING DRAIN	
	WATER MAIN	
	HYDRANT	
	GAS MAIN	
	LIGHT	
	UTILITY POLE	
	OVERHEAD WIRES	
	SIGN	
	TEST PIT	
	SOIL CLASSIFICATION	
	SILT FENCE	
	COIR LOG	

40 20 0 40 80 120  
GRAPHIC SCALE 1"= 40'

IMPROVEMENT LOCATION SURVEY

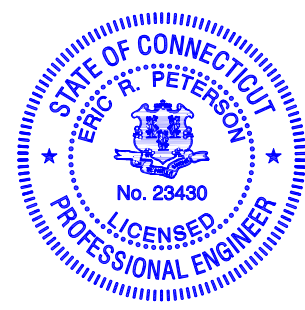
EROSION & SEDIMENT CONTROL PLAN  
THE VILLAGE AT NAEK ROAD  
291 & 293 TALCOTTVILLE ROAD  
27, 32, 37, 38 & 46 NAEK ROAD  
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

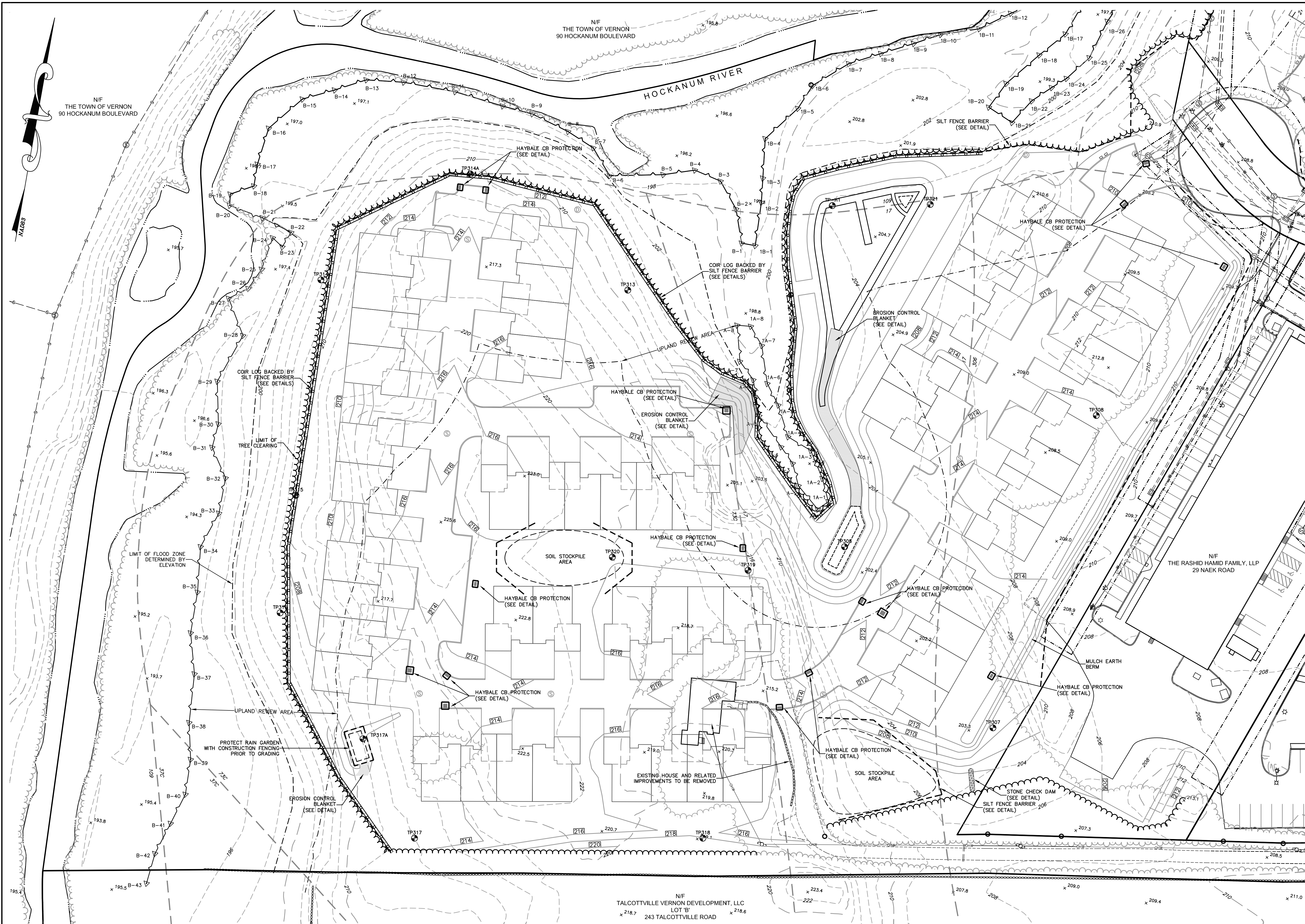
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

REVISIONS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	2 OF 10	5768B







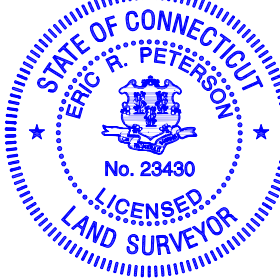
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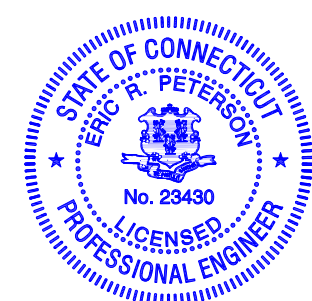
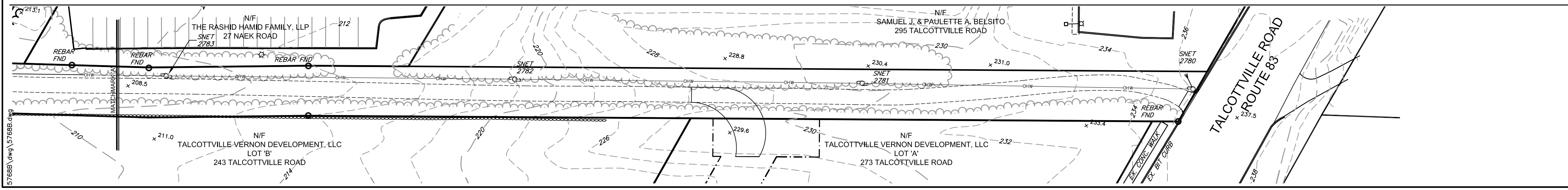
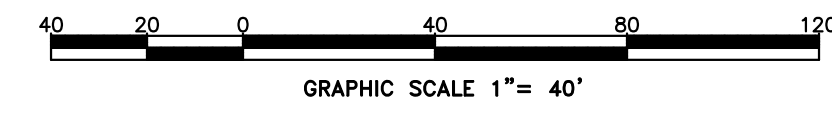
*Eric R. Peterson*  
ERIC R. PETERSON  
L.S. 23430  
REGISTRATION NO.

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*George T. Logan*  
GEORGE T. LOGAN, MS, PWS  
Registered Soil Scientist



EXISTING	LEGEND	PROPOSED
	PROPERTY BOUNDARY	
	ZONING SETBACK	
	EASEMENT	
	IRON PIN/PIPE FOUND	
	MONUMENT FOUND	
	ELEVATION CONTOUR	
	SPOT ELEVATION	
	TREE LINE	
	SANITARY SEWER	
	CATCH BASIN/CULVERT	
	STORM MANHOLE	
	FOOTING DRAIN	
	WATER MAIN	
	HYDRANT	
	GAS MAIN	
	LIGHT	
	UTILITY POLE	
	OVERHEAD WIRES	
	SIGN	
	TEST PIT	
	SOIL CLASSIFICATION	
	SILT FENCE	
	COIR LOG	



IMPROVEMENT LOCATION SURVEY				
EROSION & SEDIMENT CONTROL PLAN				
THE VILLAGE AT NAEK ROAD				
291 & 293 TALCOTTVILLE ROAD				
27, 32, 37, 38 & 46 NAEK ROAD				
VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
REVISIONS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	3 OF 10	5768B



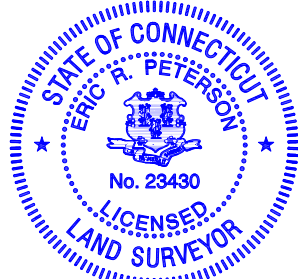


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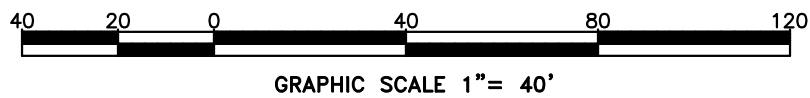
*Eric R. Peterson*  
ERIC R. PETERSON  
L.S. 23430  
REGISTRATION NO.

*George T. Logan*  
GEORGE T. LOGAN, MS, PWS  
Registered Soil Scientist

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EXISTING	LEGEND	PROPOSED
	PROPERTY BOUNDARY	
	ZONING SETBACK	
	EASEMENT	
	IRON PIN/PIPE FOUND	
	MONUMENT FOUND	
	ELEVATION CONTOUR	
	SPOT ELEVATION	
	TREE LINE	
	SANITARY SEWER	
	CATCH BASIN/CULVERT	
	STORM MANHOLE	
	FOOTING DRAIN	
	WATER MAIN	
	HYDRANT	
	GAS MAIN	
	LIGHT	
	UTILITY POLE	
	OVERHEAD WIRES	
	SIGN	
	TEST PIT	
	SOIL CLASSIFICATION	



IMPROVEMENT LOCATION SURVEY

SITE GRADING PLAN  
THE VILLAGE AT NAEK ROAD  
291 & 293 TALCOTTVILLE ROAD  
27, 32, 37, 38 & 46 NAEK ROAD  
VERNON, CONNECTICUT

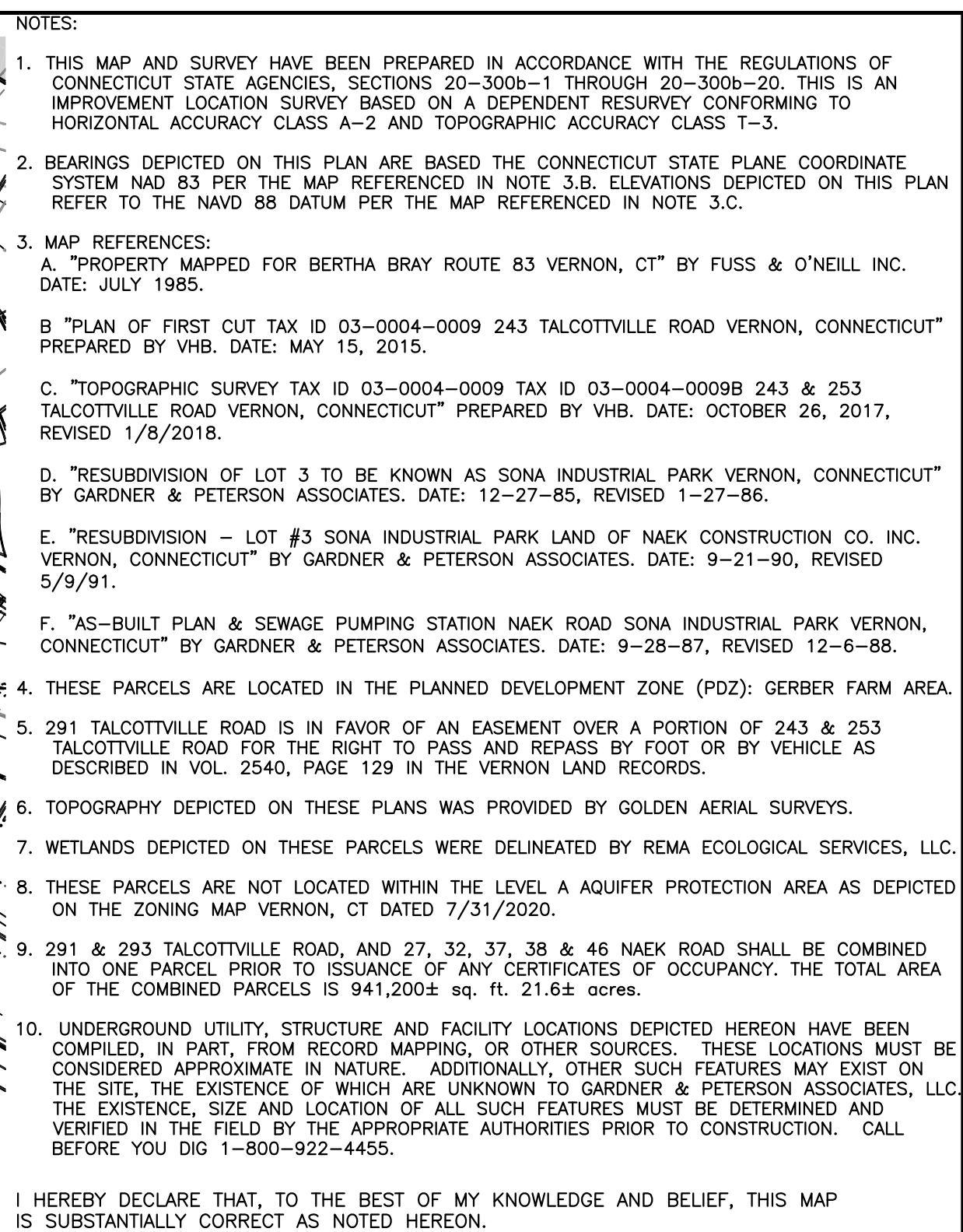
**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT




REVISIONS

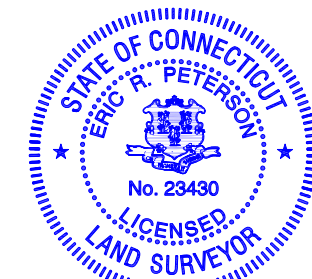
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	4 OF 10	57688



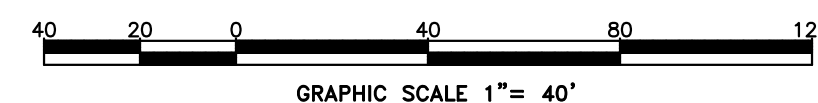


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GEORGE T. LOGAN, MS, PWS  
Registered Soil Scientist



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SITE GRADING PLAN  
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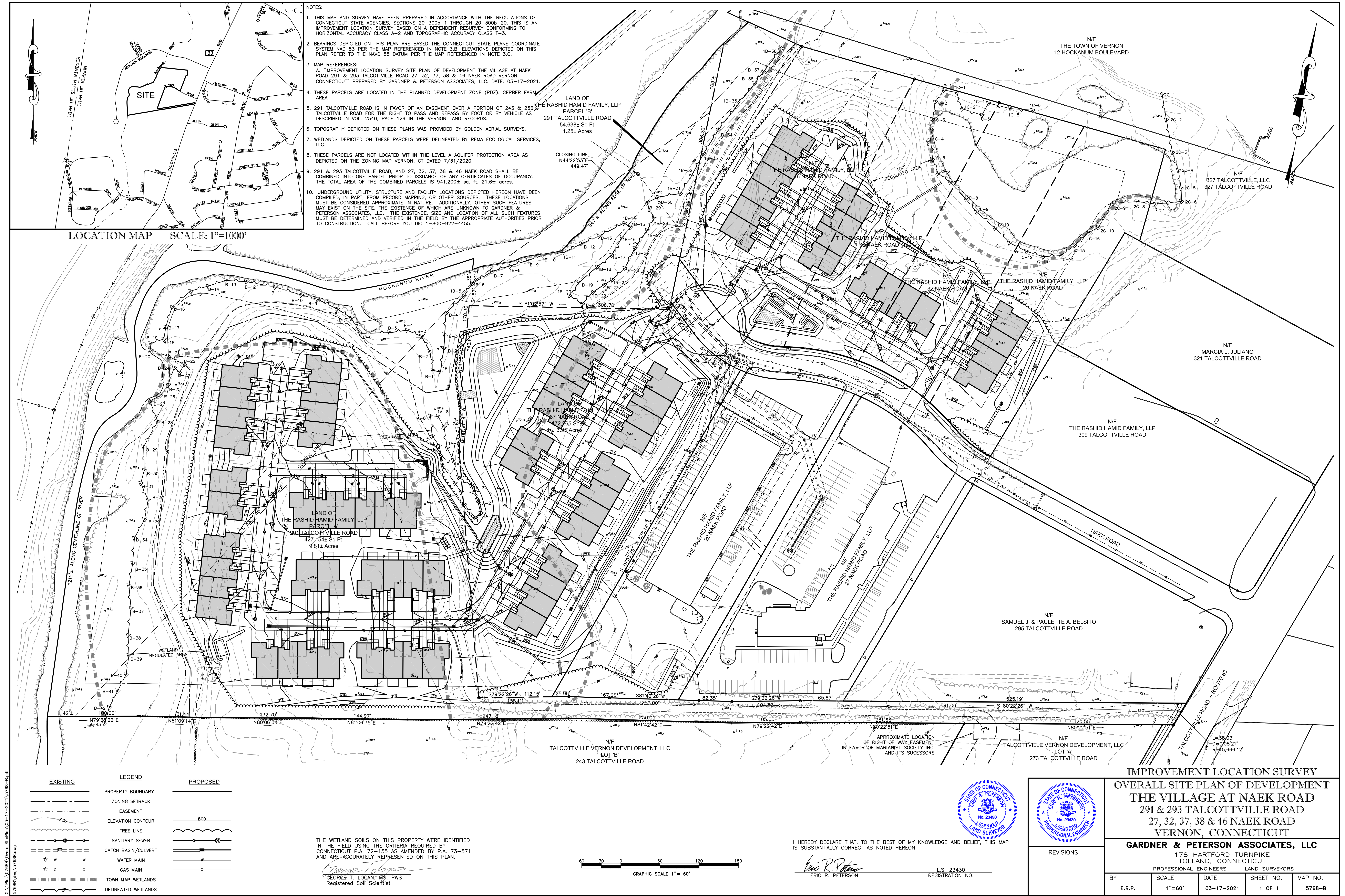
**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS			LAND SURVEYORS	
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REVISIONS









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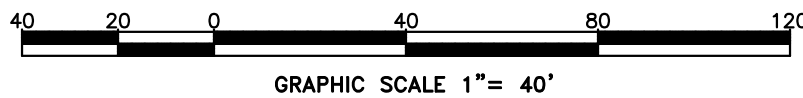
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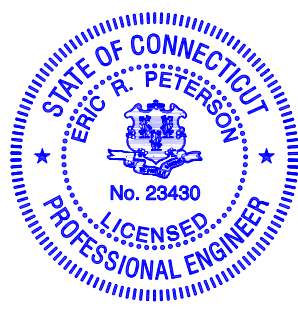
EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
---	EASEMENT	---
○	IRON PIN/PIPE FOUND	○
□	MONUMENT FOUND	□
---	SANITARY SEWER	---
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---	HYDRANT	---
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---	LIGHT	---
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---	OVERHEAD WIRES	---
---	SIGN	---



IMPROVEMENT LOCATION SURVEY

UTILITY PLAN  
THE VILLAGE AT NAEK ROAD  
291 & 293 TALCOTTVILLE ROAD  
27, 32, 37, 38 & 46 NAEK ROAD  
VERNON, CONNECTICUT

**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT



REVISIONS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	6 OF 10	57688





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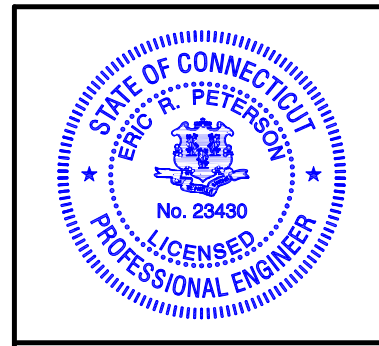
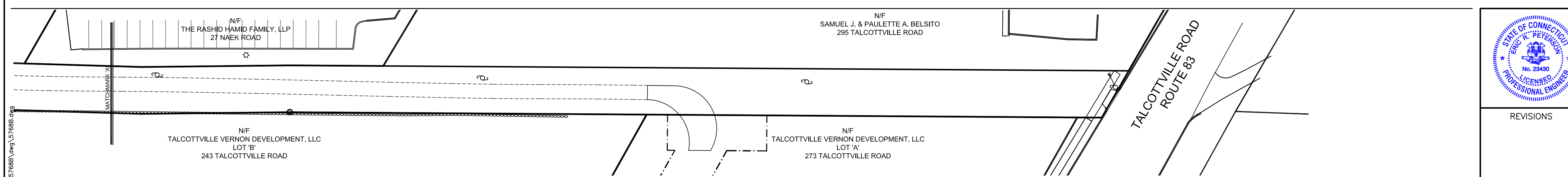
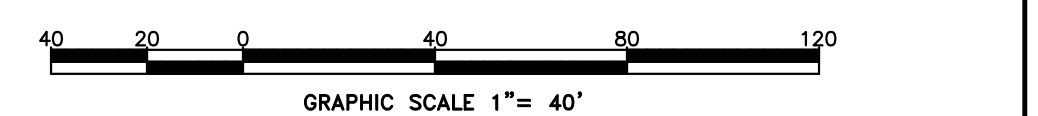
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Registered Soil Scientist



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	PROPERTY BOUNDARY	
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	EASEMENT	
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	WATER MAIN	
	HYDRANT	
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	LIGHT	
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	OVERHEAD WIRES	
	SIGN	



IMPROVEMENT LOCATION SURVEY

SITE GRADING PLAN

THE VILLAGE AT NAEK ROAD

291 & 293 TALCOTTVILLE ROAD

27, 32, 37, 38 & 46 NAEK ROAD

VERNON, CONNECTICUT

**GARDNER & PETERSON ASSOCIATES, LLC**

178 HARTFORD TURNPIKE

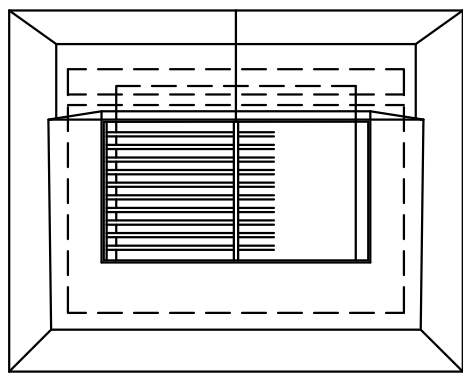
TOLLAND, CONNECTICUT

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	03-17-2021	7 OF 10	5768B

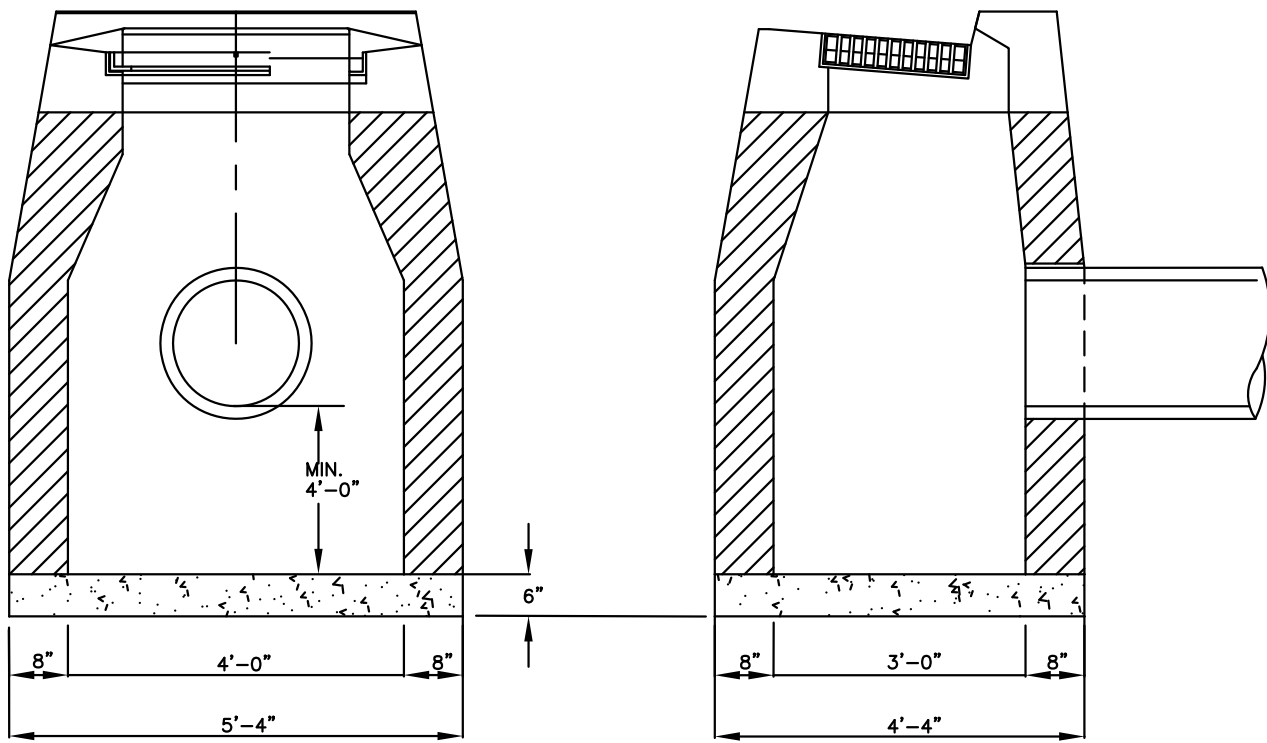




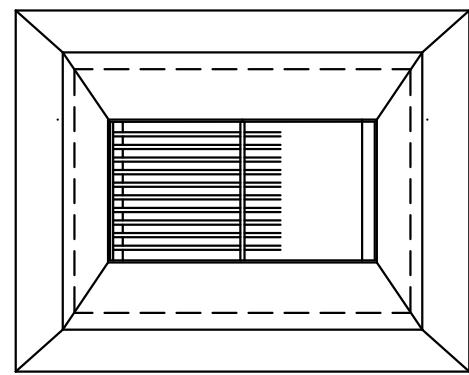




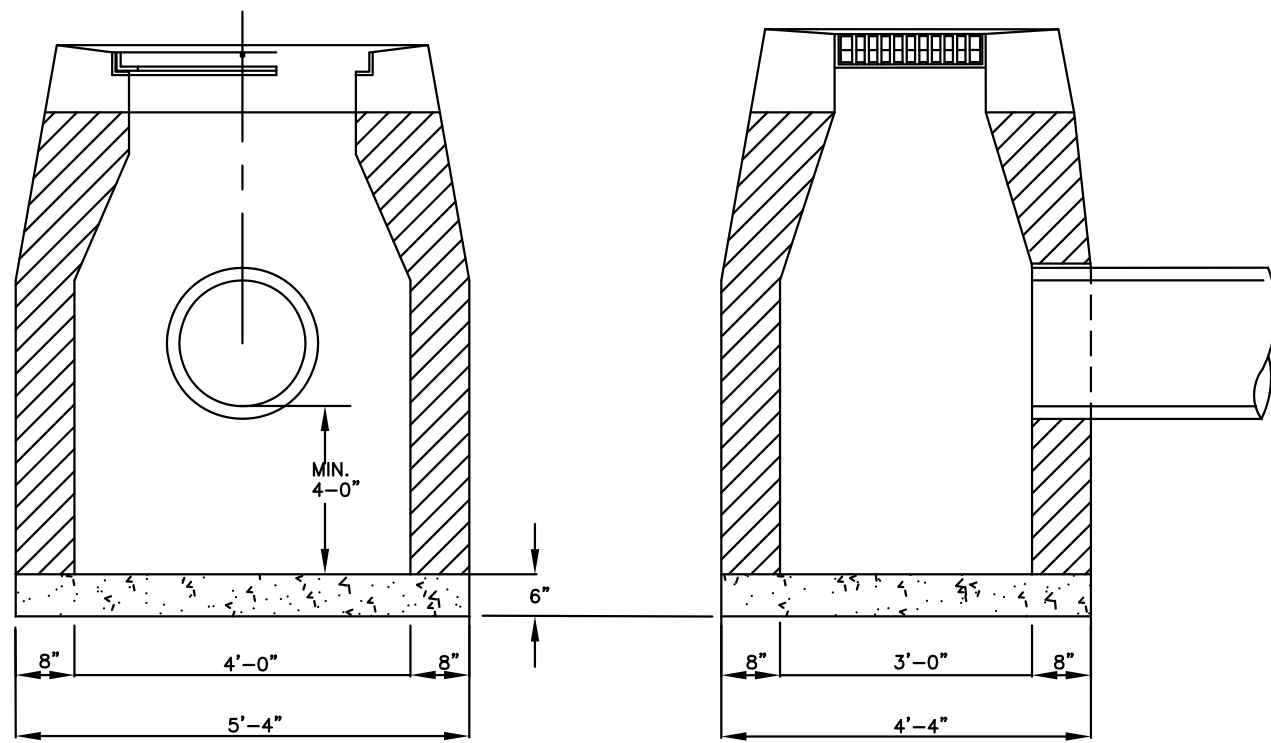
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
  2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
  3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
  4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



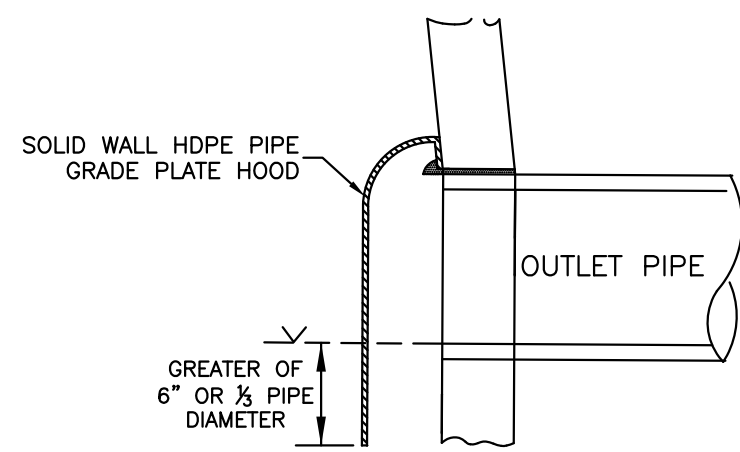
TYPE "C" CATCH BASIN



- NOTES:
1. TYPE 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
  2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
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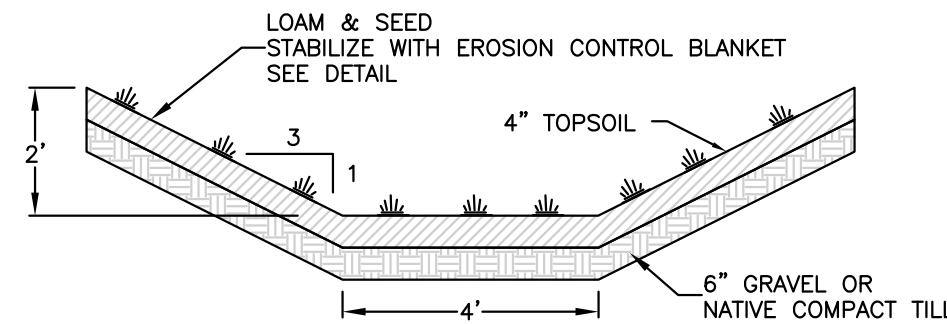


TYPE "C-L" CATCH BASIN

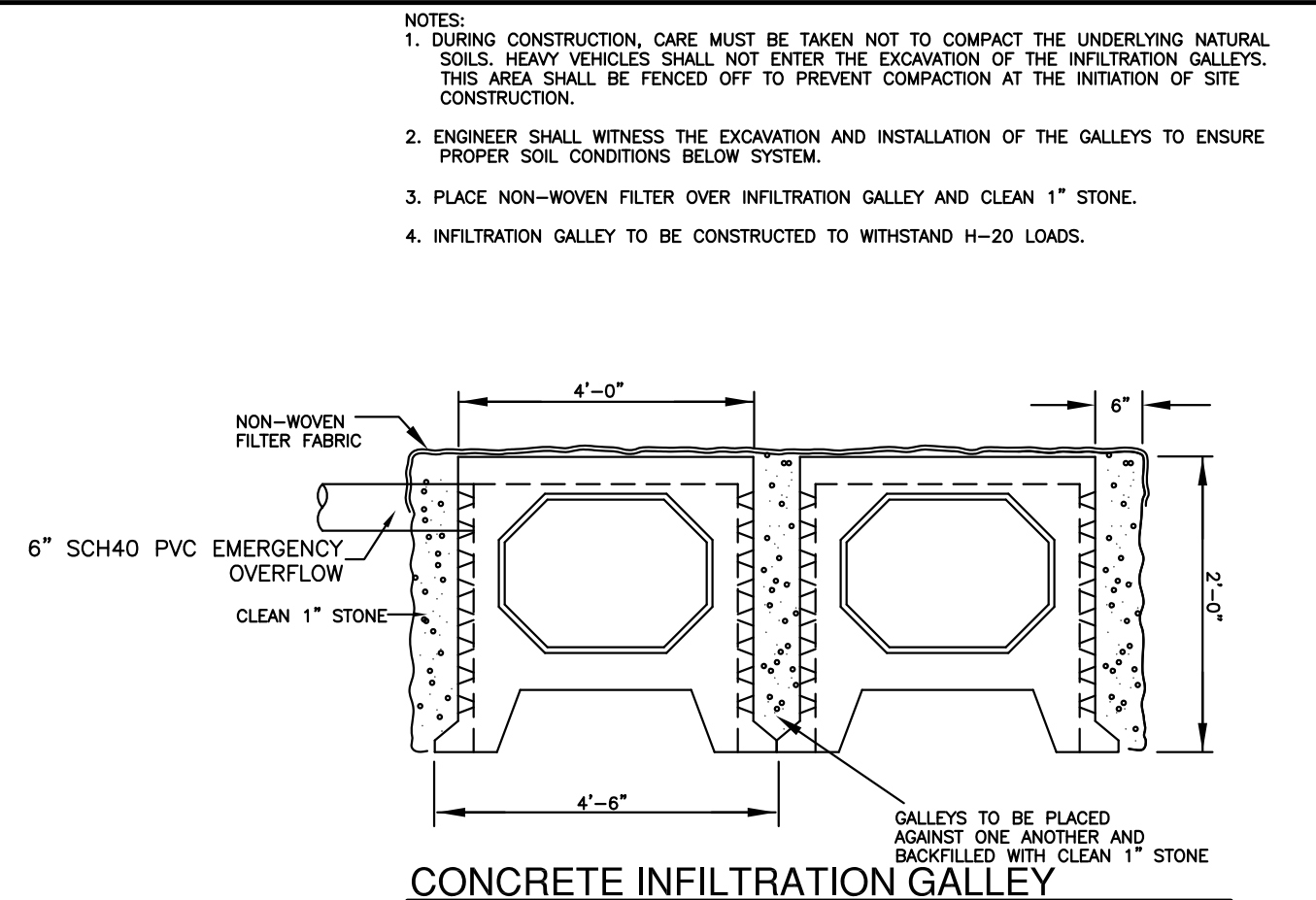


- NOTES:
1. HOOD SHALL BE E.J. PRESCOTT, INC. HOPE CATCH BASIN HOOD OR EQUAL.
  2. HOOD SHALL BE FABRICATED TO FIT SHAPE OF THE STRUCTURE.
  3. HOOD SHALL BE SEALED TO THE STRUCTURE WITH AN OIL RESISTANT FOAM GASKET.
  4. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO PROVIDE AIR FLOW INTO PIPE.
  5. HOOD SHALL BE INSTALLED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS AN AS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

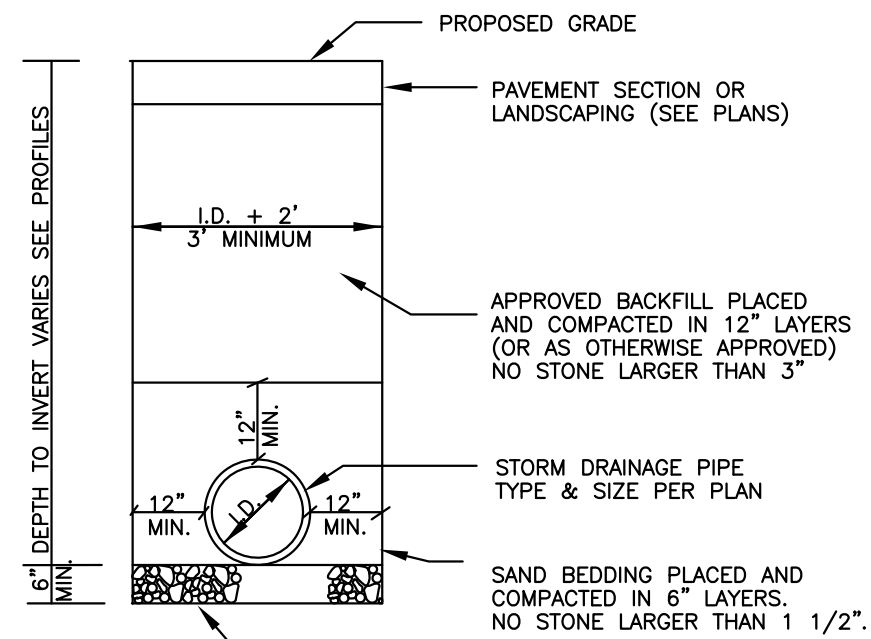
CATCH BASIN HOOD DETAIL(CB 5, 16, 21 & 30)



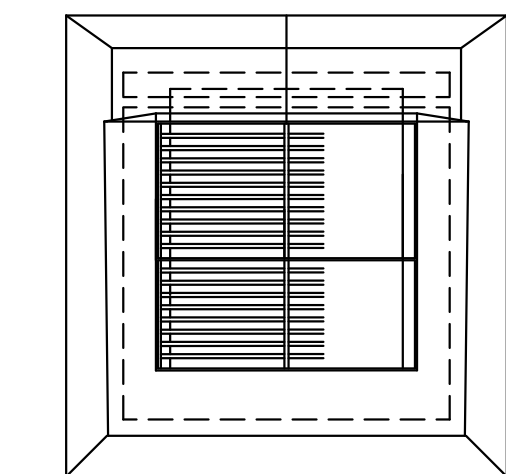
GRASS-LINED SWALE



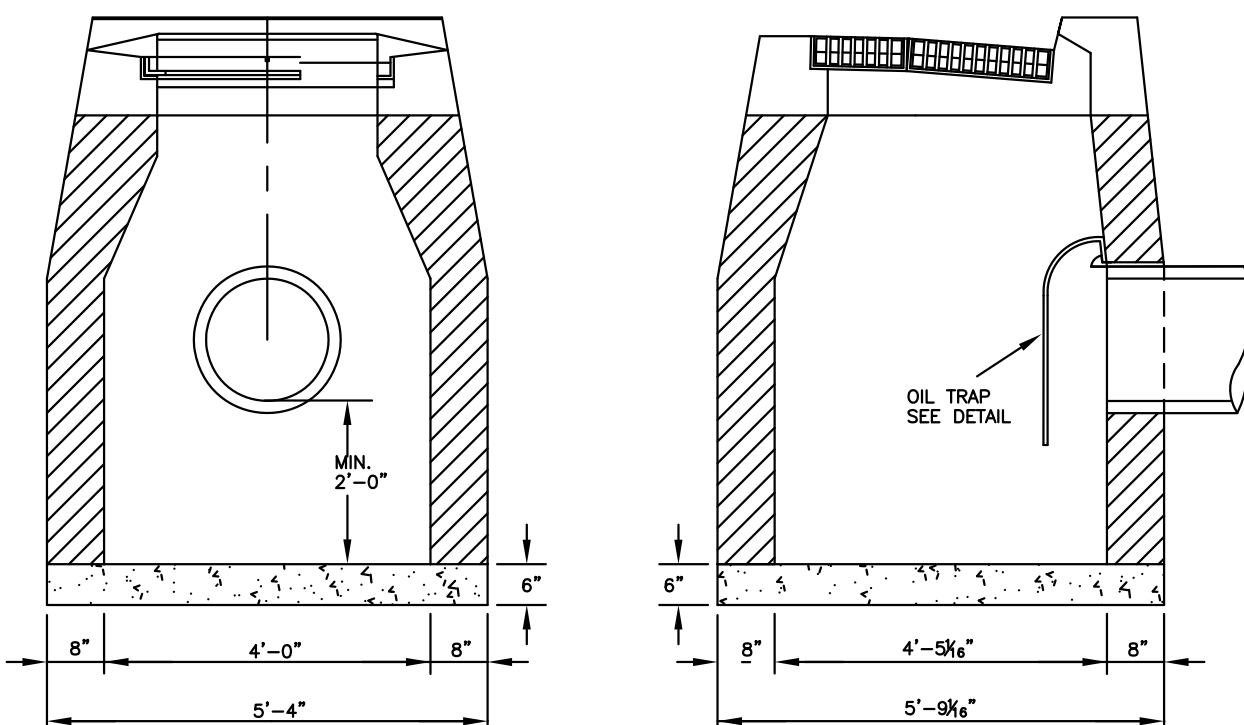
CONCRETE INFILTRATION GALLERY



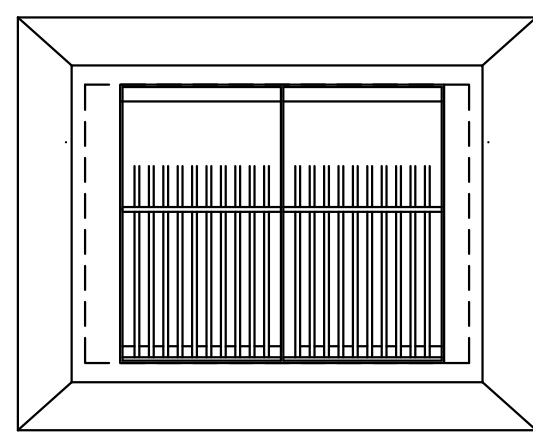
STORM DRAIN TRENCH DETAIL



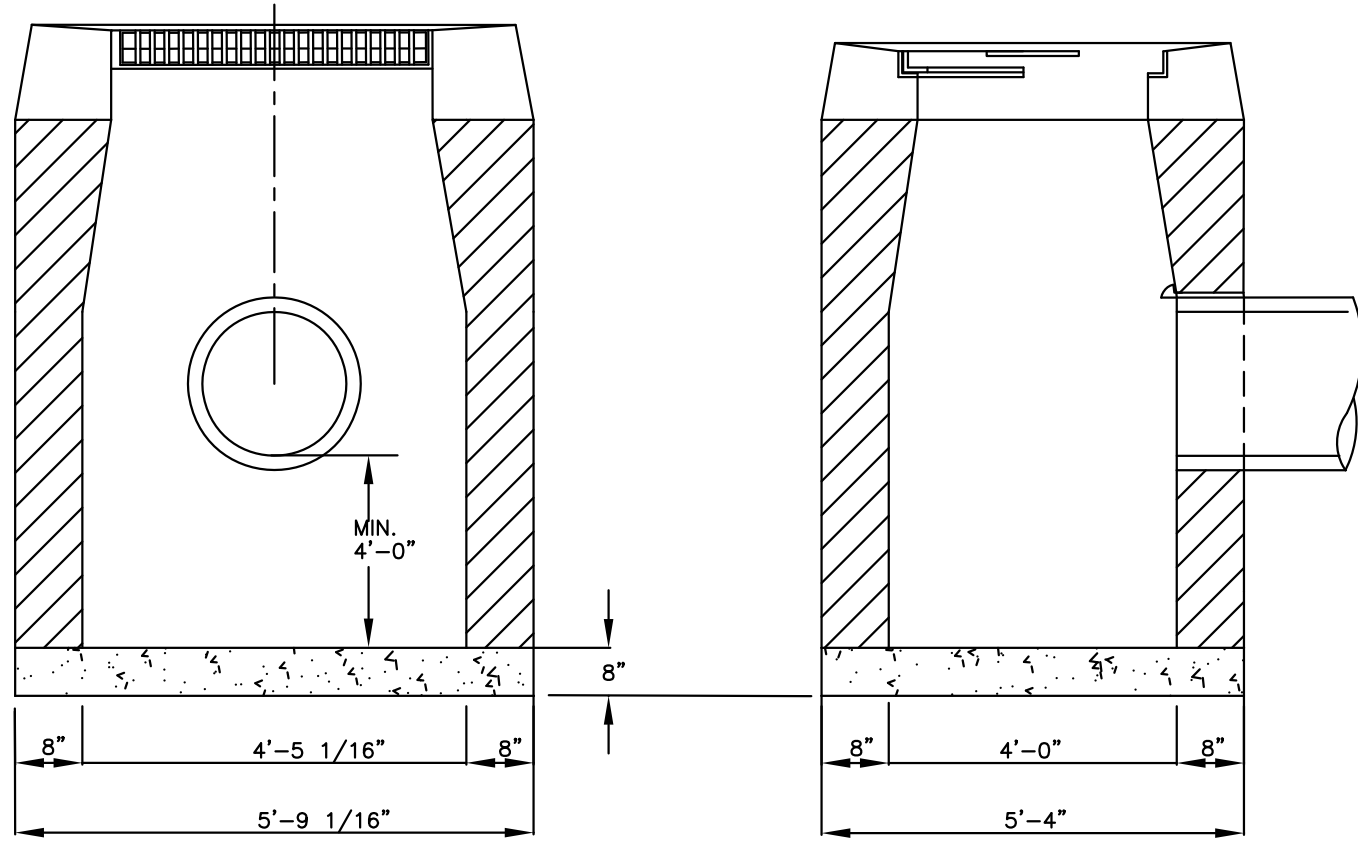
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
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  4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



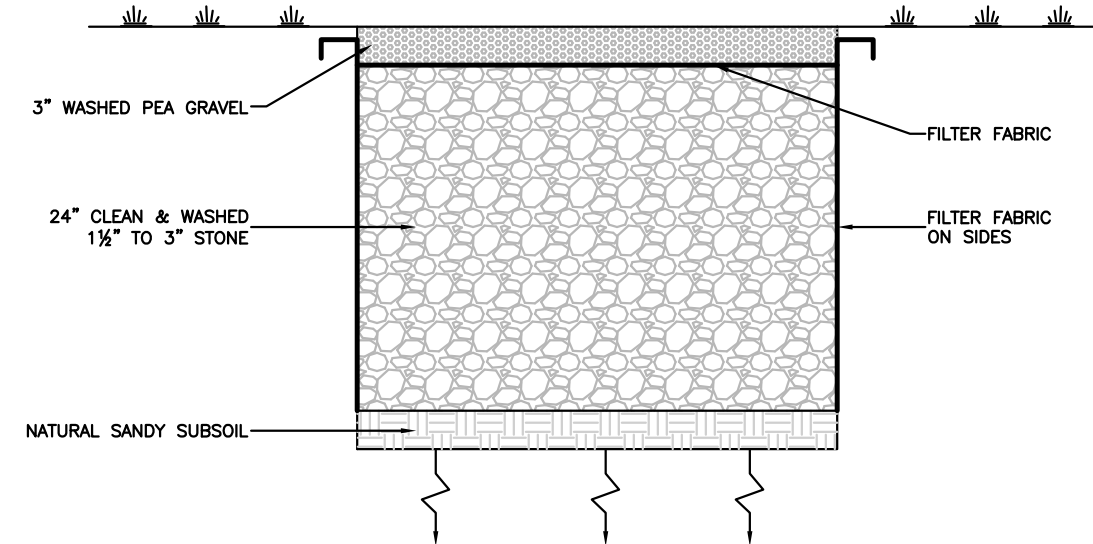
DOUBLE CATCH BASIN "C" TYPE I (CB 5, 25 & 27)



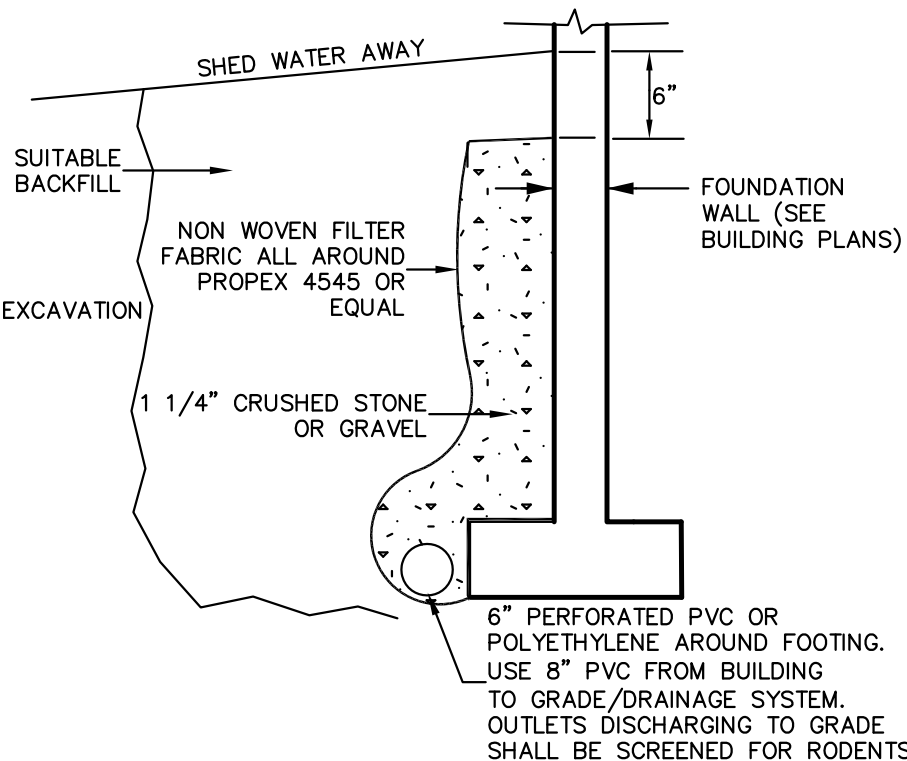
- NOTES:
1. TYPE 1 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
  2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
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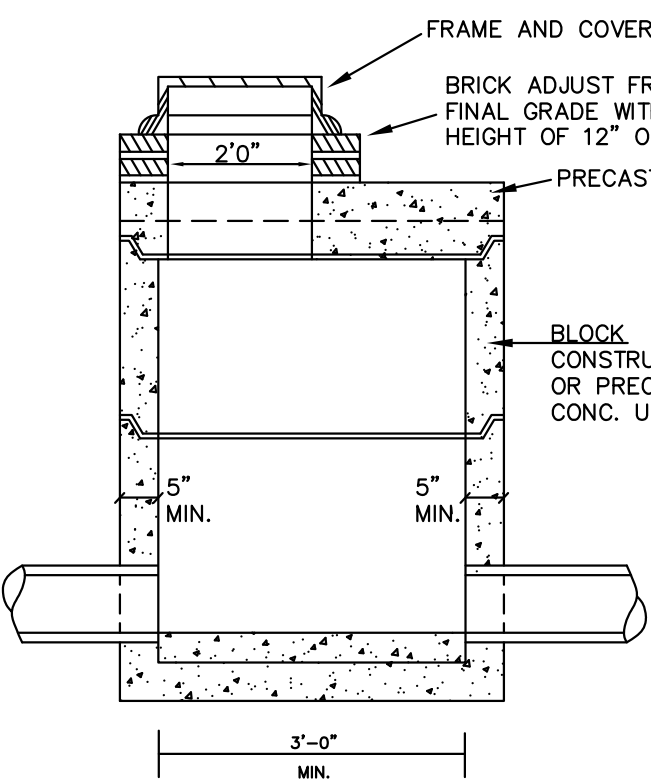
DOUBLE CATCH BASIN C-L TYPE 1 (CB 15)



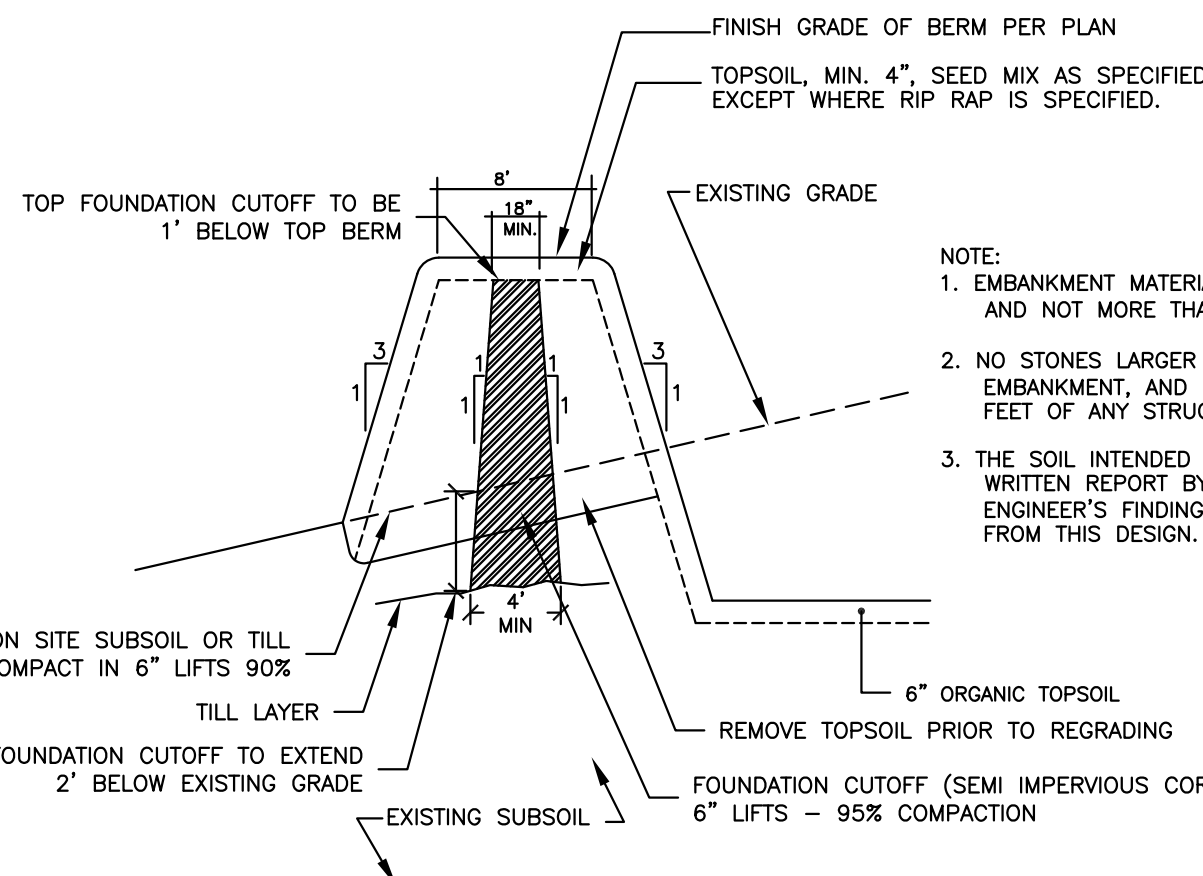
INFILTRATION TRENCH LOCATED WITHIN STORMWATER BASINS



FOUNDATION DRAIN DETAIL

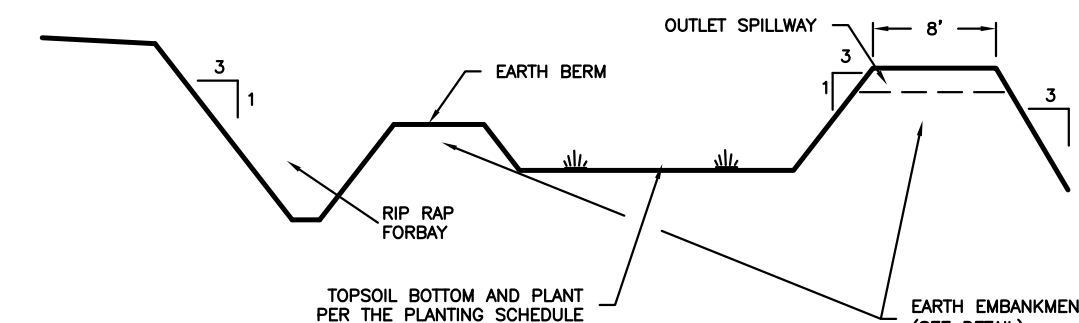


STORM MANHOLE

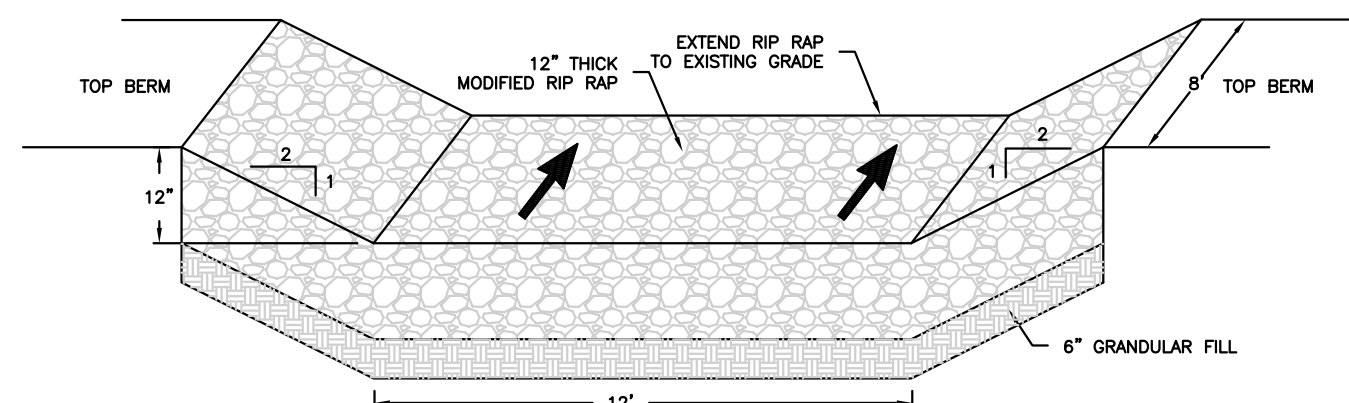


STORMWATER BASIN EMBANKMENT DETAIL

- NOTE:
1. EMBANKMENT MATERIAL SHALL CONTAIN AT LEAST 15% PASSING THE #200 SIEVE AND NOT MORE THAN 50% PASSING THE #200 SIEVE.
  2. NO STONES LARGER THAN 6" SHALL BE ALLOWED WITHIN THE COMPACTED EMBANKMENT, AND NO STONES LARGER THAN 3" SHALL BE ALLOWED WITHIN TWO FEET OF ANY STRUCTURE.
  3. THE SOIL INTENDED FOR THE EMBANKMENT SHALL BE LABORATORY TESTED WITH A WRITTEN REPORT BY A LICENSED PROFESSIONAL ENGINEER PROVIDING THE ENGINEER'S FINDINGS AND ANY SUGGESTED DESIGN PARAMETERS IF AT A VARIANCE FROM THIS DESIGN.



STORMWATER INFILTRATION BASIN



BASIN SPILLWAY

## CONSTRUCTION DETAILS

SITE PLAN OF DEVELOPMENT  
THE VILLAGE AT NAEK ROAD  
291 & 293 TALCOTTVILLE ROAD  
27, 32, 37, 38 & 46 NAEK ROAD  
VERNON, CONNECTICUT

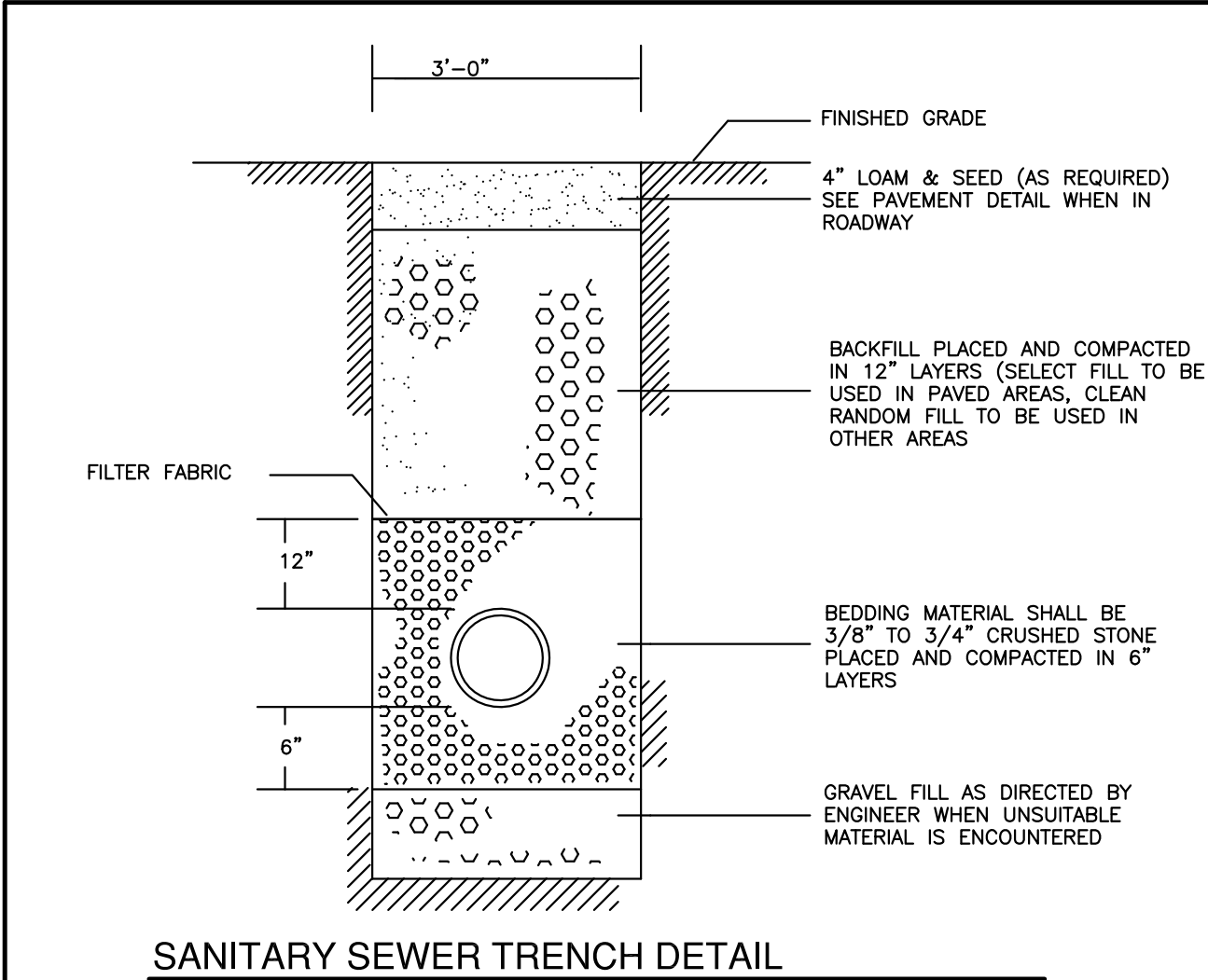
**GARDNER & PETERSON ASSOCIATES, LLC**

178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

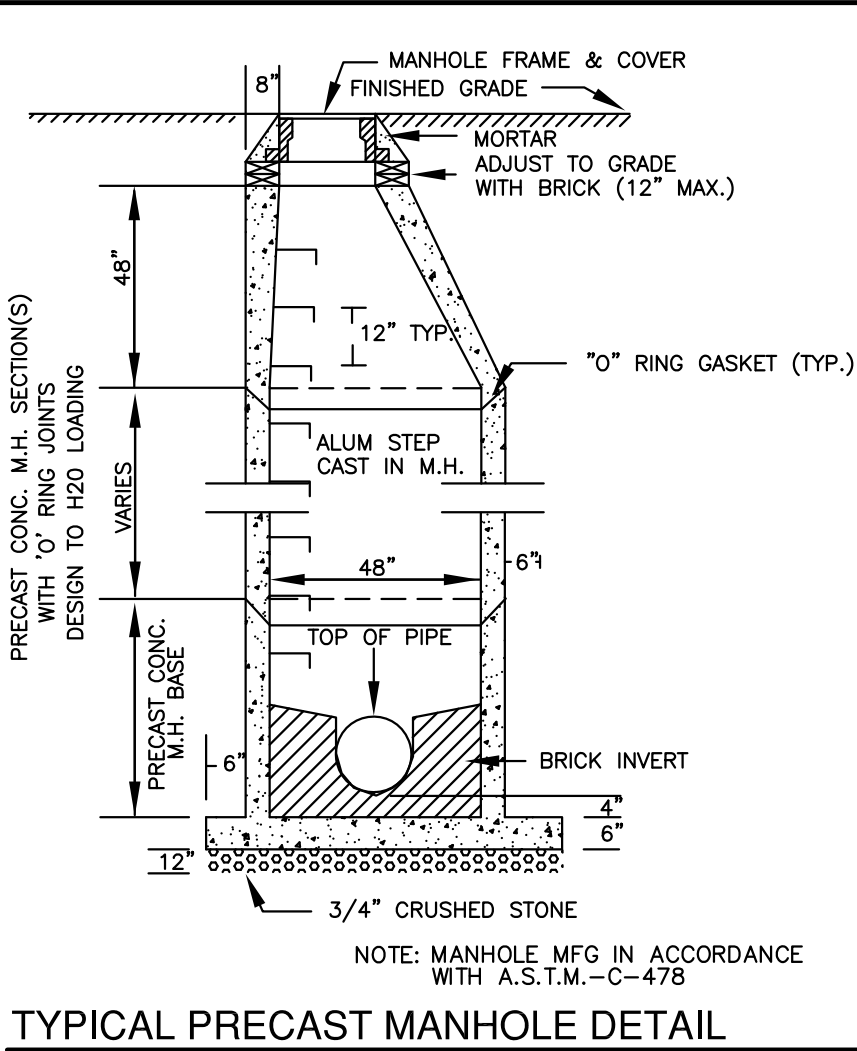
PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	03-17-2021	9 OF 10	57688

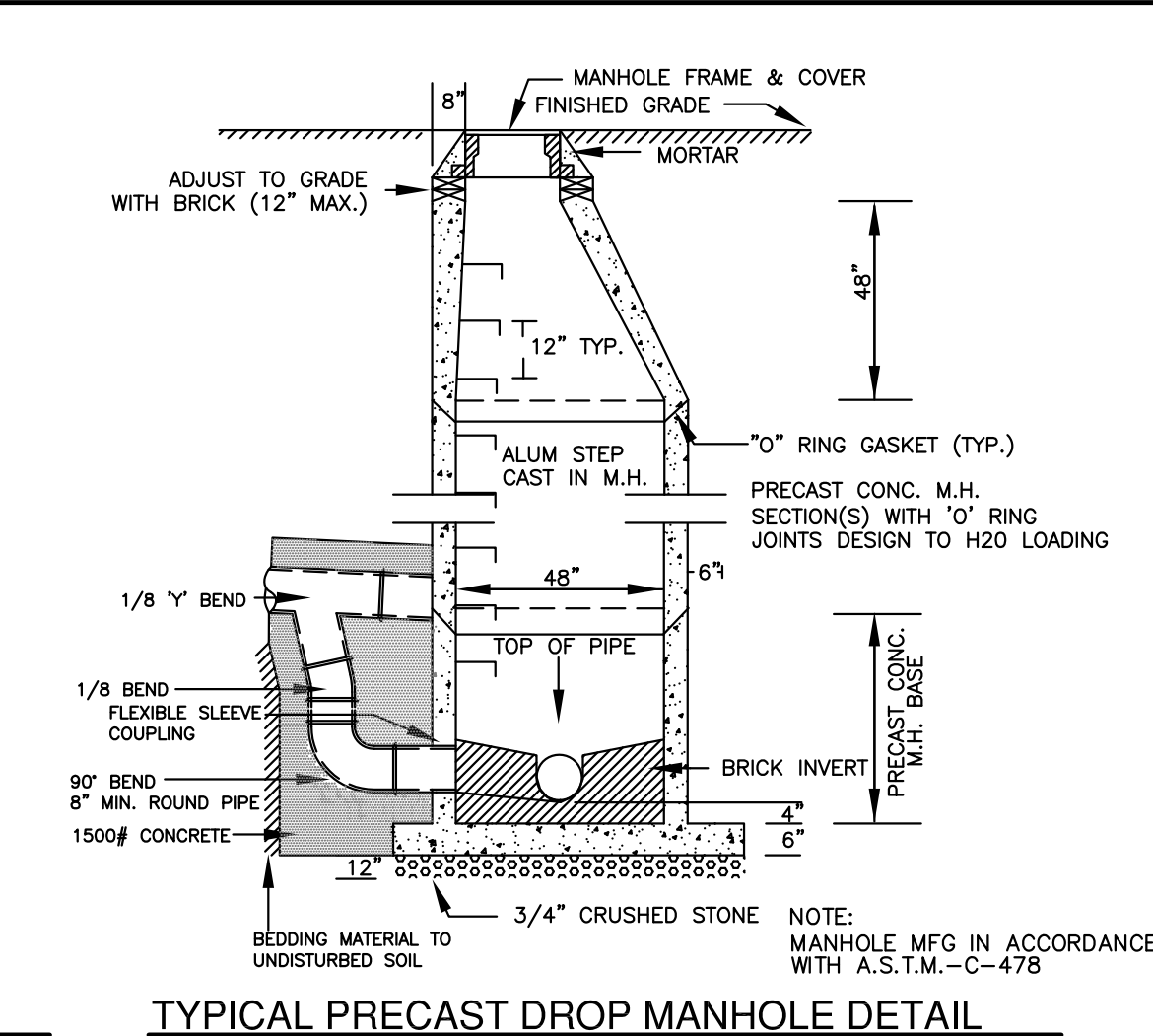




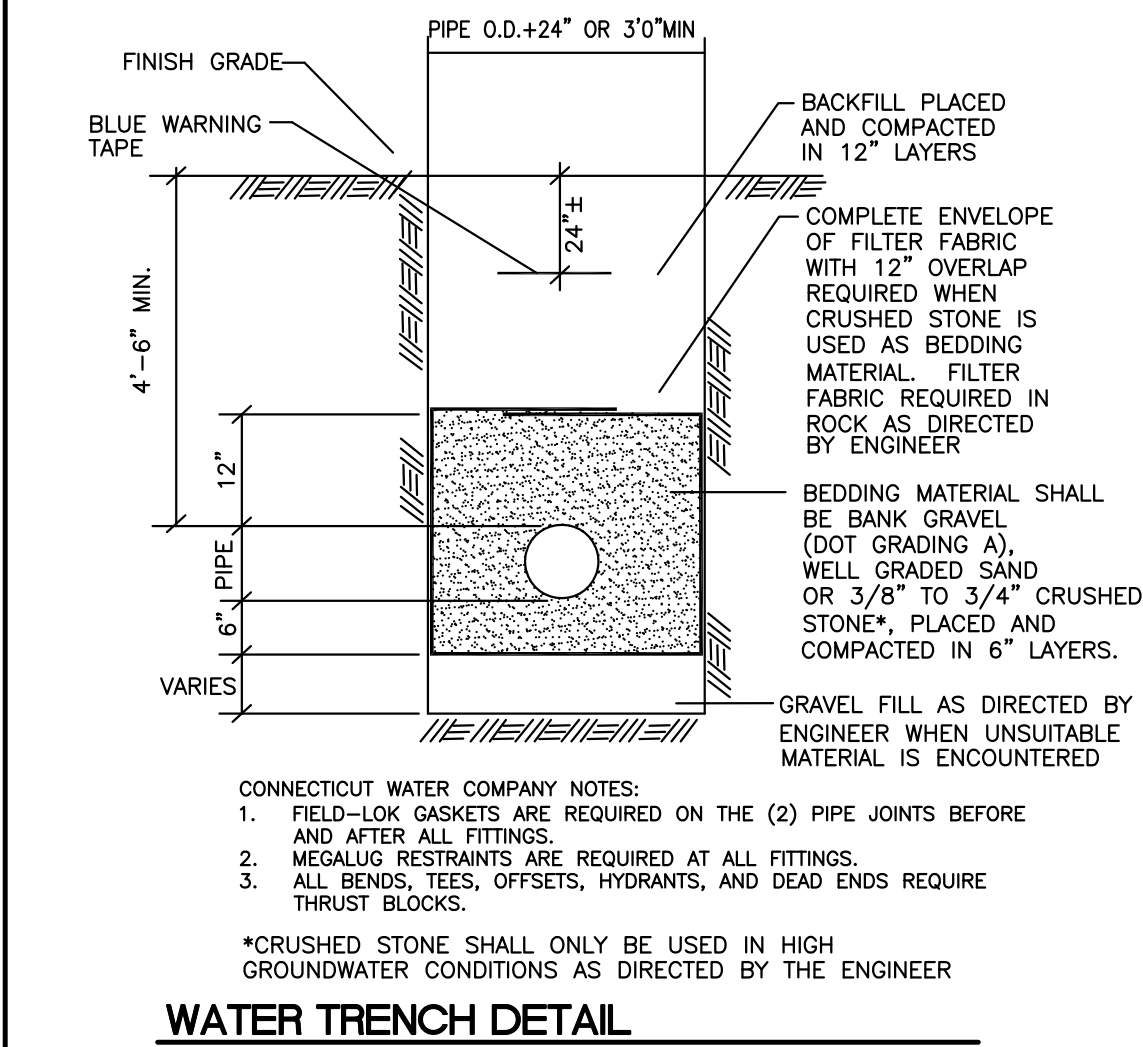
SANITARY SEWER TRENCH DETAIL



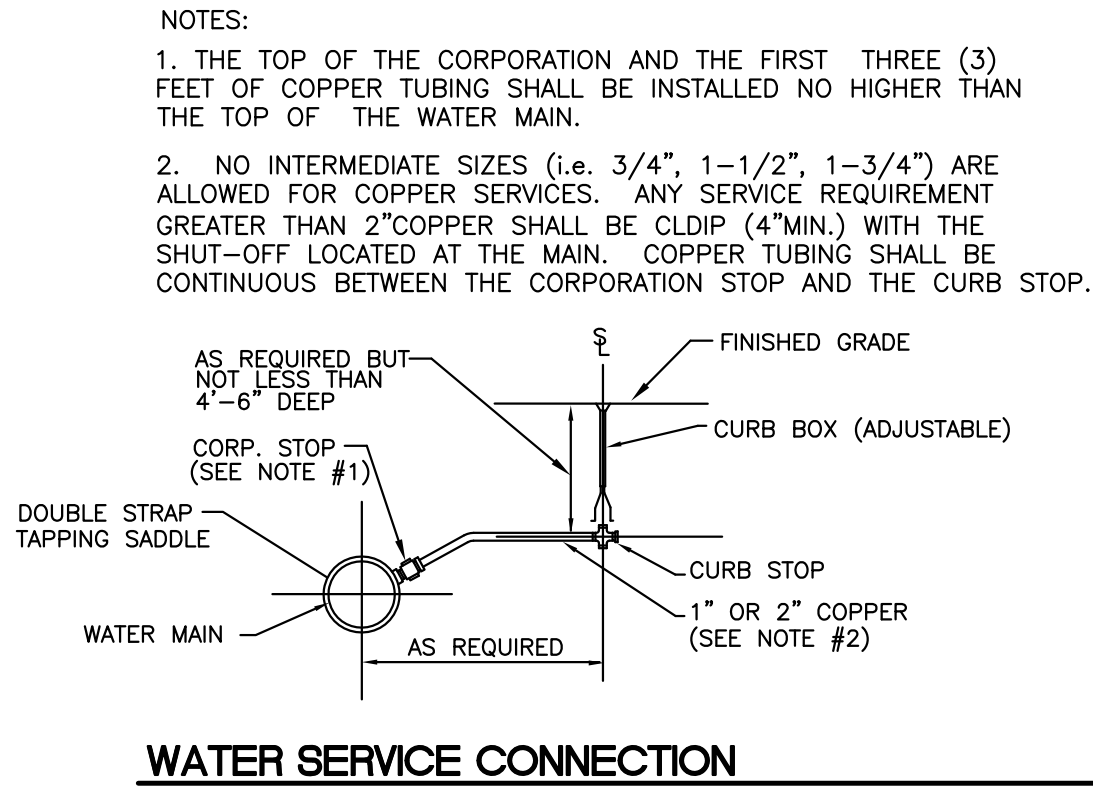
TYPICAL PRECAST MANHOLE DETAIL



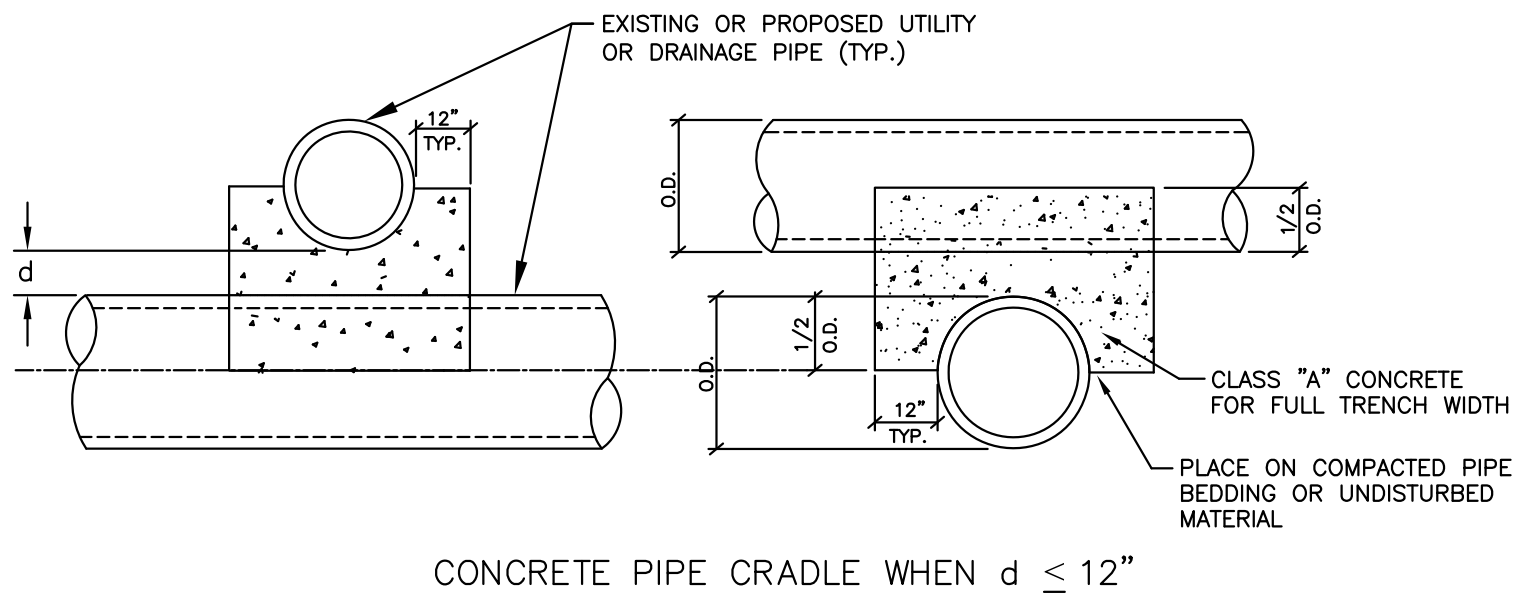
TYPICAL PRECAST DROP MANHOLE DETAIL



WATER TRENCH DETAIL



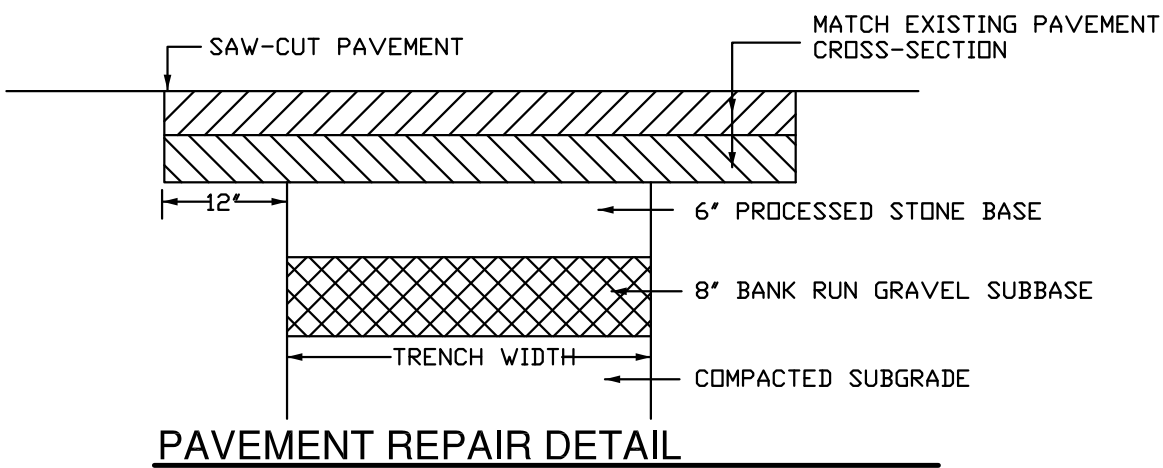
WATER SERVICE CONNECTION



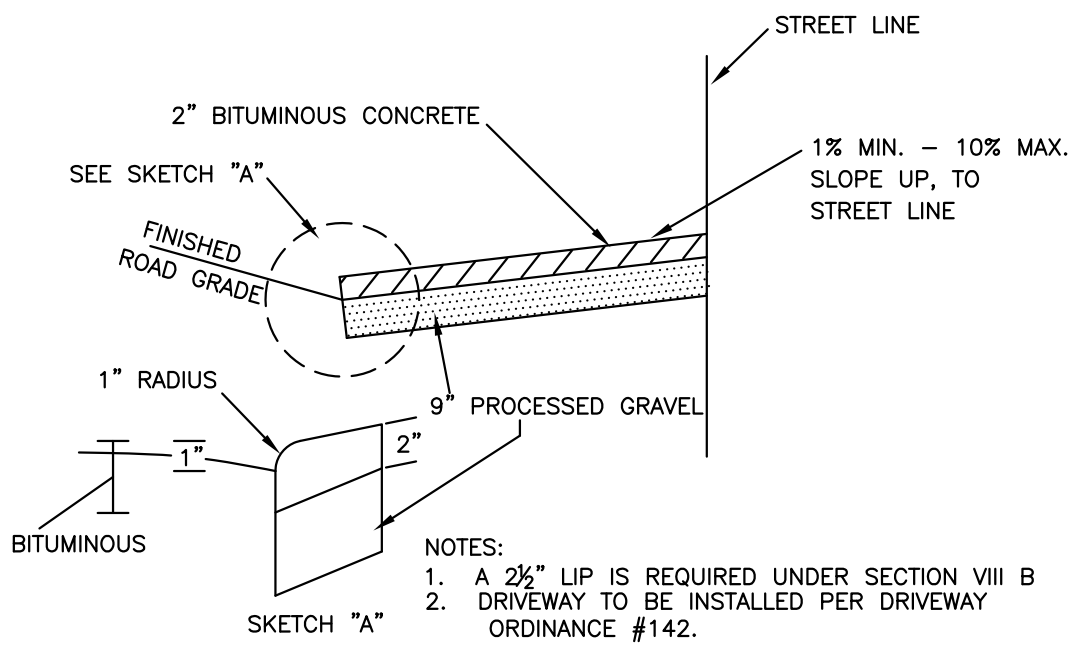
CONCRETE PIPE CRADLE WHEN  $d \leq 12"$

- NOTES:
1.  $d$  = DISTANCE BETWEEN UTILITY AND DRAINAGE PIPES.
  2. SUPPORTS SHALL BE INSTALLED WHERE SPECIFIED ON THE PLANS AND WHERE DIRECTED BY THE ENGINEER.
  3. CRUSHED STONE SUPPORTS SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY OR DRAINAGE PIPE AND CONCRETE PIPE CRADLES SHALL BE PAID FOR AS "MISCELLANEOUS CONCRETE".

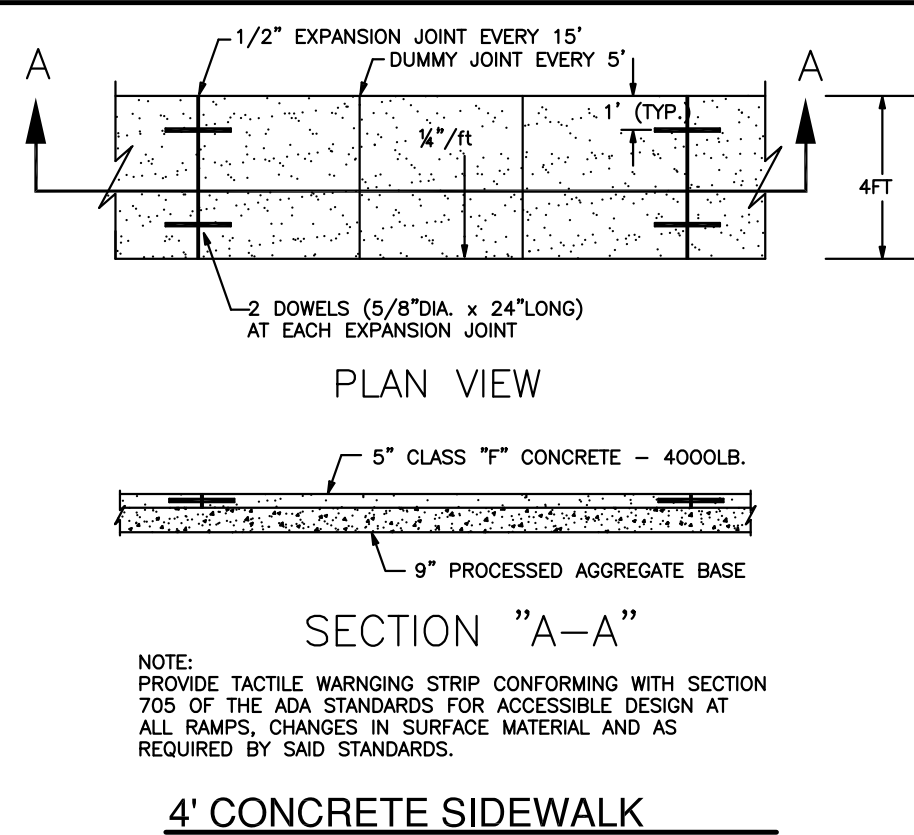
TYPICAL UTILITY SUPPORTS



PAVEMENT REPAIR DETAIL

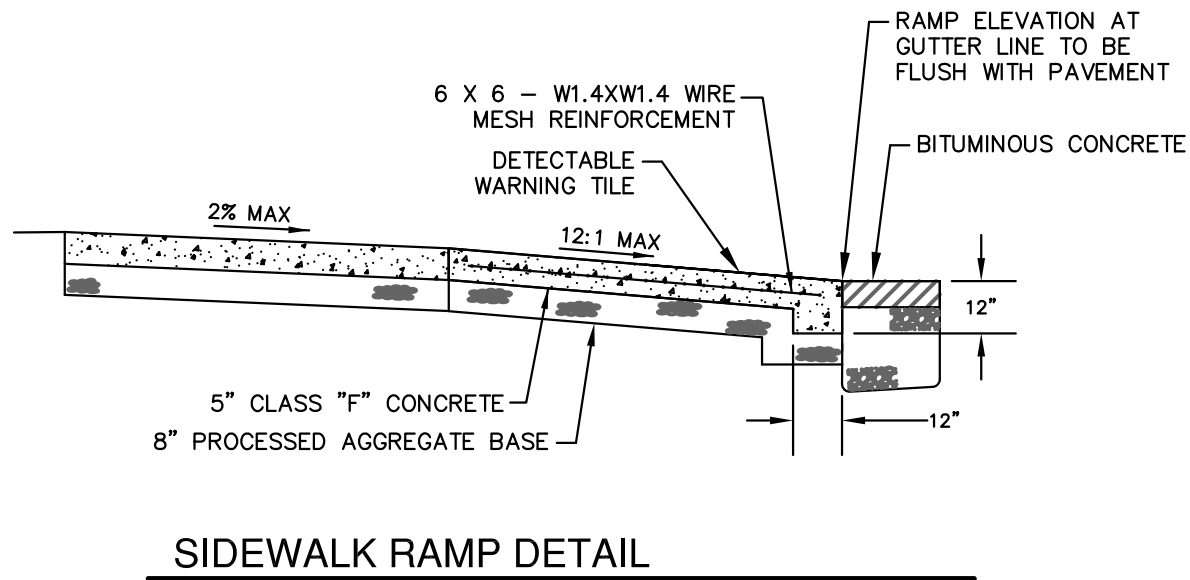


TYPICAL DRIVEWAY DETAIL

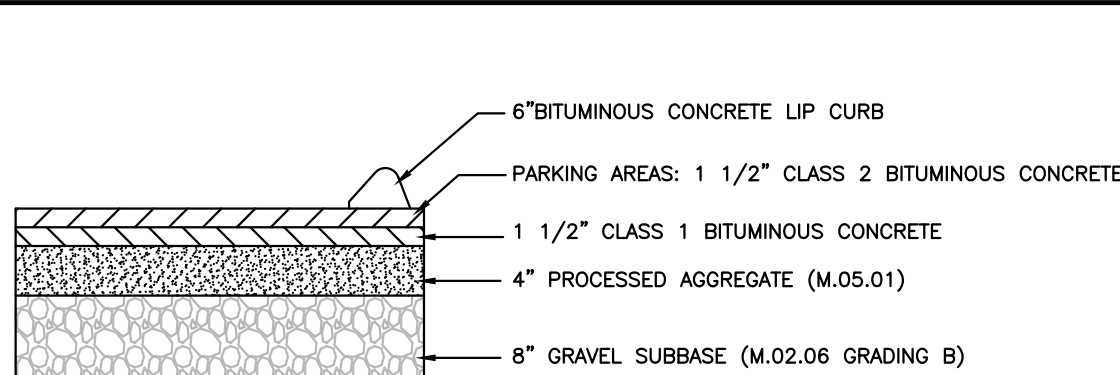


BIT. CONC. CURB

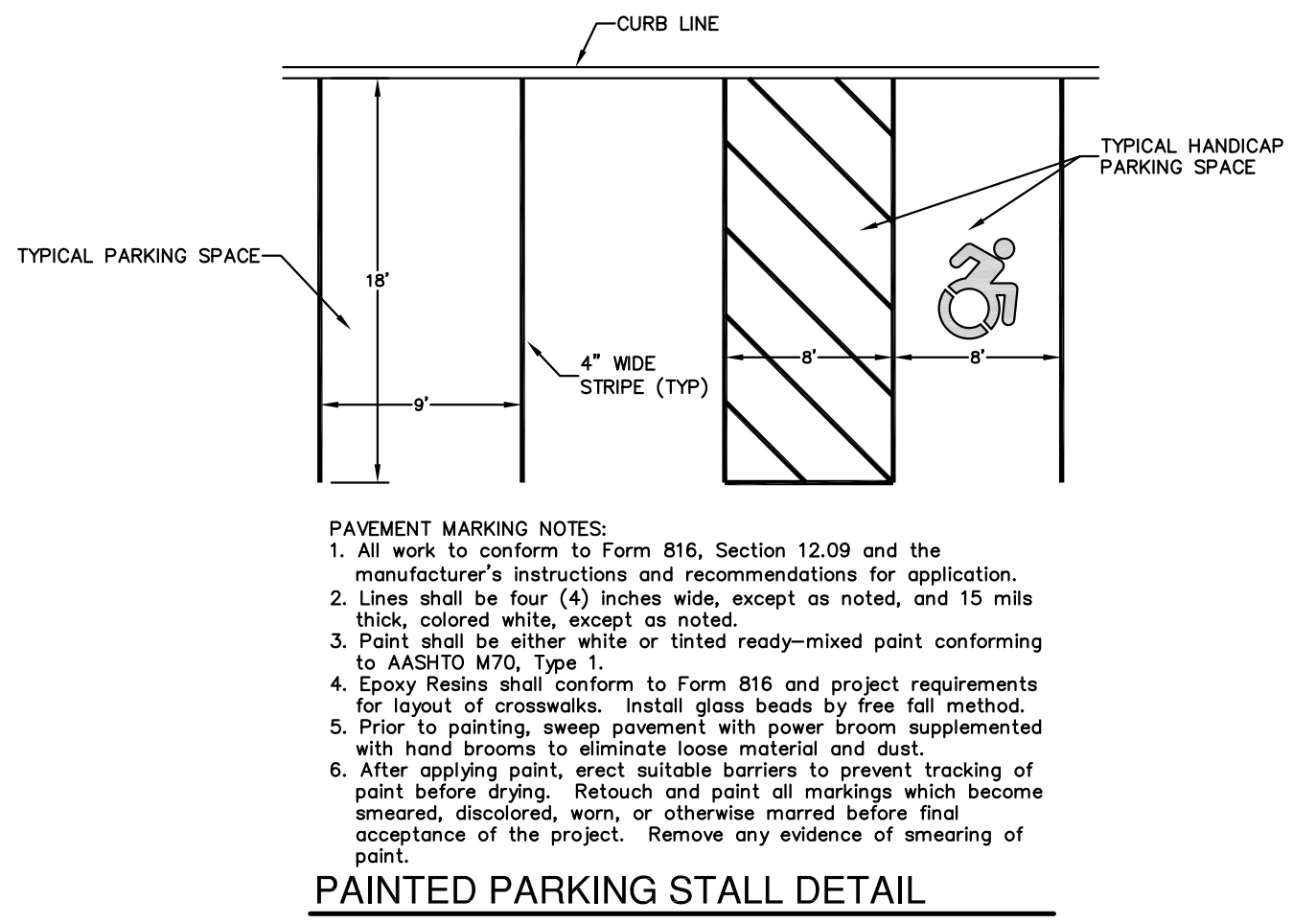
4' CONCRETE SIDEWALK



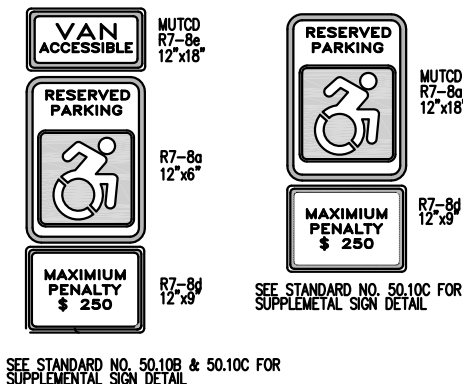
SIDEWALK RAMP DETAIL



BITUMINOUS PAVEMENT CROSS SECTION

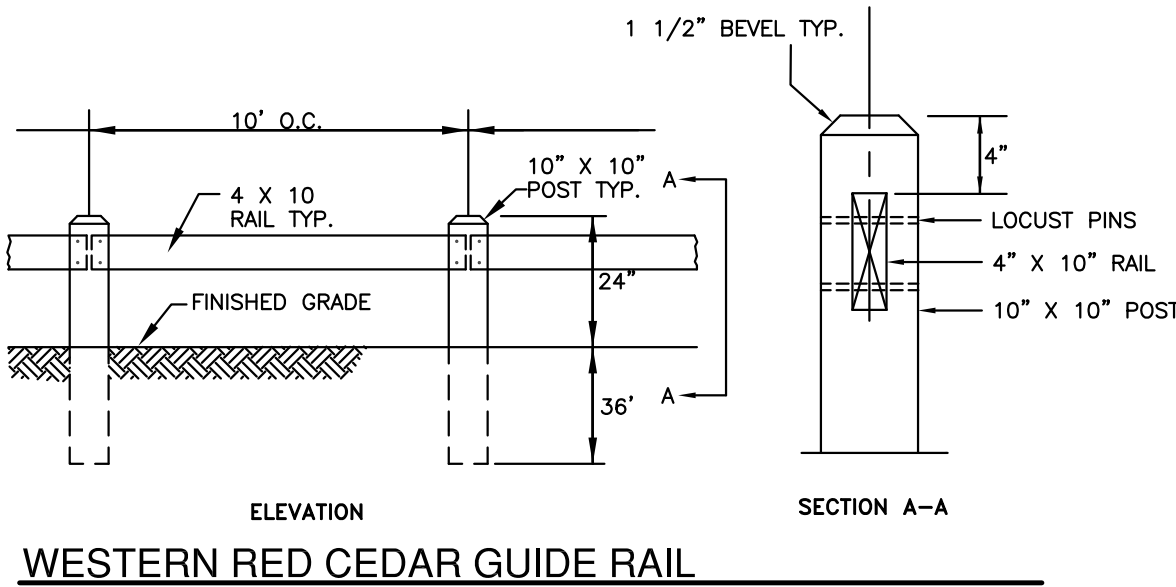


PAINTED PARKING STALL DETAIL



PAINTED HANDICAP SYMBOL

ACCESSIBLE PARKING AND SIGNAGE STANDARDS



WESTERN RED CEDAR GUIDE RAIL

CONSTRUCTION DETAILS				
SITE PLAN OF DEVELOPMENT				
THE VILLAGE AT NAEK ROAD				
291 & 293 TALCOTTVILLE ROAD				
27, 32, 37, 38 & 46 NAEK ROAD				
VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS LAND SURVEYORS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	03-17-2021	10 OF 10	57688