

DEMO/ROOF PERMIT PACKAGE  
**CITIZEN'S BLOCK**

28 – 34 PARK PLACE, VERNON CT

**ARCHITECT**

---



**THE ARCHITECTS**

Robert B. Hurd, AIA  
56 Arbor Street  
Hartford, CT 06106  
Tel: 860-232-2707

---



**CROSSKEY  
ARCHITECTS**

LLC  
750 MAIN STREET, Hartford, CT 06103  
T: (860) 724-3000 F: (860) 724-3013

---

**MEP ENGINEER**

---



26 Mill Plain Road, #2E  
Danbury, CT 06811  
Tel: (203) 663-3703

---

**STRUCTURAL ENGINEER**

---



19 Lower Woodland Terrace  
Columbia, CT 06237  
Tel: (860) 337-0200

---

**INDUSTRIAL HYGENIST**

---



**Eagle Environmental, Inc.**

8 S Main Street #3  
Terryville, CT 06786  
Tel: (860) 589-8257

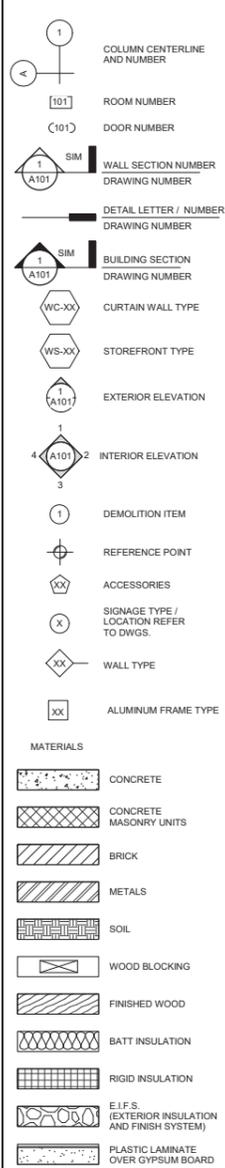
SCOPE OF WORK

CITIZEN'S BLOCK IS AN EXISTING THREE STORY BUILDING WITH A BASEMENT WHICH WILL BE RENOVATED FOR THE USE OF THE TOWN OF VERNON.  
THE SCOPE OF WORK FOR THIS PHASE OF CITIZEN'S BLOCK INCLUDES THE DEMOLITION AND ABATEMENT OF ALL THREE LEVELS, BASEMENT, AND ROOF. A NEW ROOF WILL BE PROVIDED.

ABBREVIATIONS

A.D.R.	ACCESS DOOR	K.E.C.	KITCHEN EQUIPMENT CONTRACTOR
A.F.F.	ABOVE FINISH FLOOR	L.P.	LOW POINT
A.F.R.	ABOVE FINISH ROOF	L.A.B.	LABORATORY
A.P.	ACCESS PANEL	L.A.D.	LABOR
A.S.	ALUMINUM SADDLE	L.A.M.	LAMINATED
A.V.	AUDIO VISUAL	L.A.N.G.	LANGUAGE
A.C.	ACOUSTIC, ACOUSTICAL	L.A.N.D.	LAND, AIR, SEA AND SPACE
A.C.B.D.	ACOUSTICAL BOARD	L.A.V.	LAVATORY
A.C.T.	ACOUSTICAL TILE	L.E.	LEADER
ADD.	ADDITIONAL	L.F.	LINEAR FEET
ADJ.	ADJUSTABLE	L.K.R.	LOCKER
ALUM.	ALUMINUM	L.L.C.	LOCATION
ALT.	ALTERNATE	L.L.	LIGHT
APPROX.	APPROXIMATE	L.T.W.T.	LIGHTWEIGHT MARKERBOARD
ARCH.	ARCHITECTURAL	M.B.	MASONRY OPENING
ASST.	ASSISTANT	M.E.R.	MECHANICAL EQUIPMENT ROOM
&	AND	M.C.	MASONRY OPENING
@	AT	MACH. RM.	MACHINE ROOM
B	B LABEL DOOR	M.A.S.	MASONRY
B.M.	BENCH MARK	M.A.X.	MAXIMUM
B.U.R.	BUILT UP ROOF	M.A.T.L.	MATERIAL
B.D.	BOARD	M.E.C.H.	MECHANICAL
BIT.	BITUMINOUS	M.E.T.	METAL
BLDG.	BUILDING	M.E.Z.Z.	MEZZANINE
BLK.	BLOCK	M.F.R.	MANUFACTURER
BLKG.	BLOCKING	M.I.N.	MINIMUM
BM.	BEAM	M.I.S.C.	MISCELLANEOUS
BOT.	BOTTOM	M.L.D.G.	MOULDING
BRK.	BRICK	M.T.D.	MOUNTED
C. TO C.	CENTER TO CENTER	N.	NORTH
C.B.	CHALKBOARD	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE
C.L.	CENTER LINE	N.A.	NOT APPLICABLE
C.M.U.	CONCRETE MASONRY UNIT	N.O.	NO ORJ
CAB.	CABINET	NOM.	NOMINAL
CEM.	CEMENT	O.A.	OVERALL
C.F.R.C.	CEMENTITIOUS FIBER REINFORCED CONCRETE	O.O.	OBSERV. OUTSIDE DIAMETER
C.F.R.G.	CEMENTITIOUS FIBER REINFORCED GYPSUM	O.H.	OPPOSITE HAND
CHG.	CHANGE	O.F.F.	OFFICE
CLG.	CEILING	O.P.P.	OPPOSITE
CLO.	CLOSET	P.	PASSAGE
CNTR.	COUNTER	P.L.	PROPERTY LINE
COL.	COLUMN	P.L.A.M.	PLASTIC LAMINATE
COMM.	COMMUNICATIONS	P.H.	PENHOUSE
CONC.	CONCRETE	P.L.A.S.	PLASTER
CONF.	CONFERENCE	P.L.Y.W.D.	PLYWOOD
CONN.	CONNECTION	P.N.L.	PANEL
CONST.	CONSTRUCTION	P.P.F.A.B.	PREFABRICATED
CONT.	CONTINUOUS, CONTINUE	PRIN.	PRINCIPAL
CONTR.	CONTRACTOR	PRD.	PRODUCTION
CORR.	CORRIDOR	PROP.	PROPERTY
CPT.	CARPET	PRTN.	PARTITION
CTND.	CONTAINED	PTD.	PAINTED
CTR.	CENTER	QTR.	QUARTER
CUST.	CUSTODIAL	QTY.	QUANTITY
DEPT.	DEPARTMENT	R.	RADIUS
DET.	DETAIL	R.C.P.	REFLECTED CEILING PLAN
DIA.	DIAMETER	R.C.P.T.	RECEPTION
DN.	DOWN	R.D.	ROOF DRAIN
DNSPT.	DOWNSPOUT	R.L.	RAIN LEADER
DR.	DOOR	R.O.	ROUGH OPENING
DWG.	DRAWING	R.E.C.	RECESS
E.	EAST	REF.	REFRIGERATOR
E.A.	EACH	REF.	REINFORCEMENT
EDUC.	EDUCATION	RELOC.	RELOCATED
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	REQD.	REQUIRED
E.F.S.	EXTERIOR FINISH SYSTEM	RESL.	RESILIENT
EL.	ELEVATION	REV.	REVISION
ELEC.	ELECTRIC	RIS.	RISER
ELEV.	ELEVATOR	RM.	ROOM
ENCL.	ENCLOSURE	RUB.	RUBBER
ENT.	ENTRANCE	S.	SOUTH
EQ.	EQUAL	S.S.	STAINLESS STEEL
EQUIP.	EQUIPMENT	S.F.	SQUARE FEET
EXST.	EXISTING	SCHED.	SCHEDULED
EXP.	EXPANSION	SEC.	SECRETARIAL
EXP. JT.	EXPANSION JOINT	SECT.	SECTION
EXT.	EXTERIOR	SH. MT.	SHEET METAL SHOWER
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER WITH CABINET	SK.	SKETCH
F.H.C.	FIRE HOSE CABINET	SPEC.	SPECIAL SPECIFICATIONS
F.S.P.	FIRE STANDPIPE	ST.	STREET
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN.	FOUNDATION	STL.	STEEL
FIN.	FINISH FINISHED	STOR.	STORAGE
FIXT.	FIXTURE	STRUC.T.	STRUCTURAL
FL.	FLOOR	SUPP.	SUPPORT
FLUOR.	FLUORESCENT	SUSP.	SUSPENDED, SUSPENSION
FT. OR'	FEET OR FOOT	T. & G.	TONGUE AND GROOVE
FTG.	FOOTING	T.B.	TACKBOARD
FUR.	FURRING	T.O.S.	TOP OF STEEL
FUT.	FUTURE	T.O.W.	TOP OF WALL
FVC.	FIRE VALVE CABINET	T.O.W.	TREAD
G.C.	GENERAL CONTRACTOR	TEL. CAB.	TELEPHONE CABINET
GA.	GAGE	TELE.	TELEPHONE
GALV.	GALVANIZED	THK.	THICKNESS
GEN.	GENERAL	THRES.	THRESHOLD
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE	THRU.	THROUGH
G.F.R.G.	GLASS FIBER REINFORCED GYPSUM	T.L.T.	TOILET ROOM
GL.	GLASS, GLAZE	TRANS.	TRANSFER
GR.	GRADE	TYP.	TYPICAL
GUD.	GUIDANCE	U.N.O.	UNLESS NOTED OTHERWISE
GYP.	GYPSUM	UR.	URINAL
GYP. BD.	GYPSUM BOARD	UR.H.	URINAL HANDICAPPED
H.C.	HANDICAP, HANDICAPPED	V.C.T.	VINYL COMPOSITION TILE
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
H.P.	HIGH POINT	V.W.C.	VINYL WALLCOVERING
HDWD.	HARDWOOD	VEST.	VESTIBULE
HDWR.	HARDWARE	VIT.	VITREOUS
HGT.	HEIGHT	W.	WEST
HORIZ.	HORIZONTAL, HORIZONTALLY	W. GL.	WIRE GLASS
H.V.A.C.	HEATING VENTILATING AIR CONDITIONING	W.M.	WIRE MESH
I.D.	INSIDE DIAMETER	W.	WITH
I.P.S.	IRON PIPE SIZE	W.I.N.S.	WAINSCOT
IN. OR'	INCH OR INCHES	WD.	WOOD
INCL.	INCLUSIVE, INCLUDE, INCLUDING	WKRM.	WORKROOM
INSTR.	INSTRUCTION	WC-XX	CURTAIN WALL SYSTEM
INSUL.	INSULATION	WS-XX	STOREFRONT SYSTEM
INT.	INTERIOR		
INTER.	INTERMEDIATE		

SYMBOLS



GENERAL NOTES

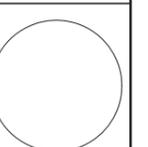
- EACH TRADE CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING ALL OF THE CONSTRUCTION DOCUMENTS TO COORDINATE HIS WORK WITH OTHER TRADE CONTRACTORS.
- ALL CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND.
- THE LOCATION OF ALL TRAILERS, STORAGE STRUCTURES, LAY DOWN AREAS AND OTHER TEMPORARY SITE FACILITIES SHALL BE APPROVED BY THE OWNER AND FIRE MARSHALL.
- SEAL NEW OPENINGS AROUND PIPES, CONDUITS, DUCTS, ETC. WITH FIRESTOPPING/SMOKE RESISTANT NON-COMBUSTIBLE MATERIALS IN ACCORDANCE WITH WALL SECTIONS, PARTITION NOTES/SCHEDULED, AND CODE COMPLIANCE PLANS.
- ALL EXISTING CONDITION DIMENSIONS ARE BASED ON EXISTING DRAWINGS AND IN-FIELD SURVEY AND SHOULD BE ASSUMED TO BE APPROXIMATE. CONTRACTOR TO VERIFY ACTUAL DIMENSIONS IN FIELD.

BUILDING CODES

STATE BUILDING CODE WITH SUPPLEMENT:	2015 INTERNATIONAL BUILDING CODE 2018 CONNECTICUT AMENDMENT
STATE FIRE CODE WITH SUPPLEMENT:	2015 INTERNATIONAL FIRE CODE
MECHANICAL, PLUMBING AND ELECTRICAL CODES:	2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2017 NFPA NATIONAL ELECTRICAL CODE 2016 CT FIRE SAFETY CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2009 ICC/ANSI A.111.1
ACCESSIBILITY CODE:	
304.1 USE GROUP CLASSIFICATION:	B - BUSINESS
602.2 CONSTRUCTION TYPE:	TYPE 3A
FIRE RESISTANT RATING OF STRUCTURE ELEMENTS (IN HOURS) REF: IBC CHAPTERS 6 TABLE 601	
1) FIRE SEPARATIONS	
A) FIRE ENCLOSURE OF EXITS	1 HR
B) SHAFTS AND ELEVATOR HOISTWAYS	1 HR
C) MIXED USE SEPARATION	NA
D) TENANT SEPARATION	1 HR
2) FIRE PARTITIONS	
A) EXIT ACCESS CORRIDORS	SMOKE RESISTANT
3) SMOKE PARTITIONS	CORRIDOR / SMOKE COMPARTMENT
4) OTHER NON-BEARING PARTITIONS	0 HRS
5) INTERIOR BEARING WALLS AND COLUMNS	0HRS
6) STRUCTURAL FRAME COLUMNS, GIRDERS AND TRUSSES	1 HRS
7) FLOOR CONSTRUCTION INCLUDING BEAMS AND JOISTS	1 HRS
8) ROOF CONSTRUCTION	1 HRS
803.5 FLAME SPREAD OF INTERIOR FINISHES	VERTICAL EXITS AND EXIT PASSAGEWAYS, CLASS B EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, CLASS B ROOMS AND ENCLOSED SPACES, CLASS B EXCEPT CLASS C ALLOWED AT ADMIN SPACES AND ROOMS WITH LESS THAN 4 PERSONS

PHASE I SHEET LIST

G-00	COVER PAGE
G-01	GENERAL INFORMATION
HM-1	ABATEMENT PLANS
S-101	ROOF FRAMING PLANS
AD-100	OVERALL DEMOLITION PLAN
A-100	ROOF PLAN
A-500	ROOF DETAILS



CITIZEN'S BLOCK  
28 - 34 PARK PLACE, VERNON CT  
Owner: Town of Vernon - Administration  
14 Park Place Vernon Ct. 06066

Drawn: IMR  
Issued: 08/01/2019  
Status:

Revisions		
NO	DATE	DESCRIPTION

G-01  
GENERAL INFORMATION  
Copyright © 2019

**ASBESTOS AND PCB ABATEMENT NOTES:**

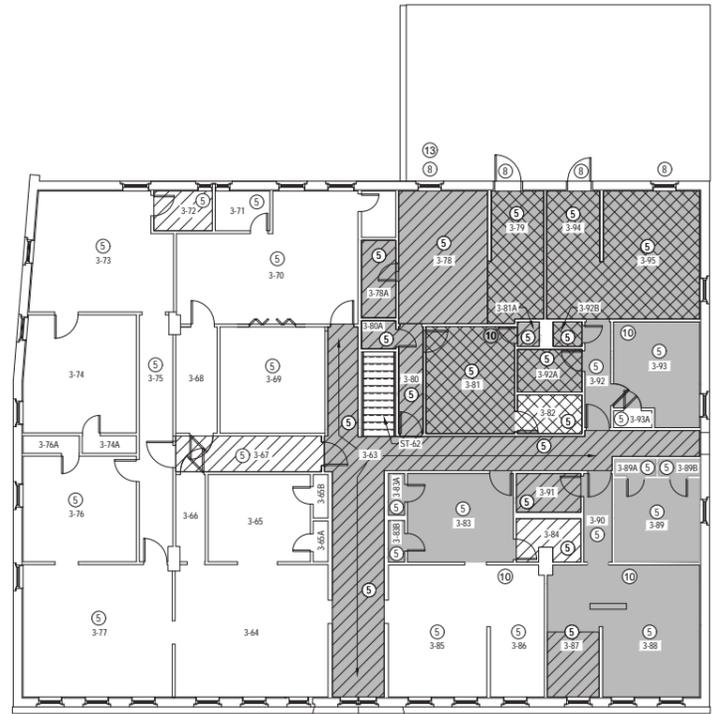
- AC ASBESTOS CONTAINING
- REMOVE AND DISPOSE OF ALL AC FLOORING AND ASSOCIATED ADHESIVES: ALL LAIERS TO SIB-FLOOR.
- REMOVE AND DISPOSE OF ALL AC RESIDUAL FLOOR TILE ADHESIVE: ALL LAIERS TO SIB-FLOOR.
- REMOVE AND DISPOSE OF ALL AC TEXTURED CEILING PAINT.
- REMOVE AND DISPOSE OF ALL AC FLASHING CEMENTS AT CHIMNEYS, ROOFPARAPETS, ALLS AND ROOF EDGE.
- REMOVE AND DISPOSE OF ALL AC CEMENT BOARD PANELS AT CEILING AND WALLS.
- REMOVE AND DISPOSE OF ALL AC THERMAL SYSTEM INSULATION.
- REMOVE AND DISPOSE OF ALL AC PAPER INSULATION AT CEILING MOUNTED LIGHTER.
- REMOVE AND DISPOSE OF ALL AC WALL PANEL ADHESIVE.
- REMOVE AND DISPOSE OF ALL AC JOINT COMPOUND AND ASSOCIATED SHEETROCK.
- REMOVE AND DISPOSE OF ENTIRE SINK OR AC UNDER-COATING.
- REMOVE AND DISPOSE OF ALL AC CHIMNEY FLUE CEMENT.
- REMOVE ALL AC AND PRESERVE PCB CONTAINING CALK. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.
- REMOVE AND DISPOSE OF ALL LAIERS OF AC VINYL COVE BASE ADHESIVE.
- REMOVE AND DISPOSE OF ALL AC CLOTTING GASKET ON ALL LIGHTER ASSEMBLY.
- REMOVE AND DISPOSE OF ENTIRE LIGHT FITTING: AC FITTING PAPER.
- REMOVE AND DISPOSE OF ALL AC DUCT PAPER INSULATION ON VACUNIT.
- REMOVE GROUNDING AND LEAD-BASED PAINT AND PRESERVE PCB-CONTAINING COMPONDS. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.
- REMOVE AND DISPOSE OF AC OVERFLOOR CONNECTOR BETWEEN SECTIONS OF DUCTWORK.
- REMOVE AND DISPOSE OF ALL AC ROOF FIELDS AND AC FLASHING CEMENTS AT VENTS.

**LEAD NOTE:**

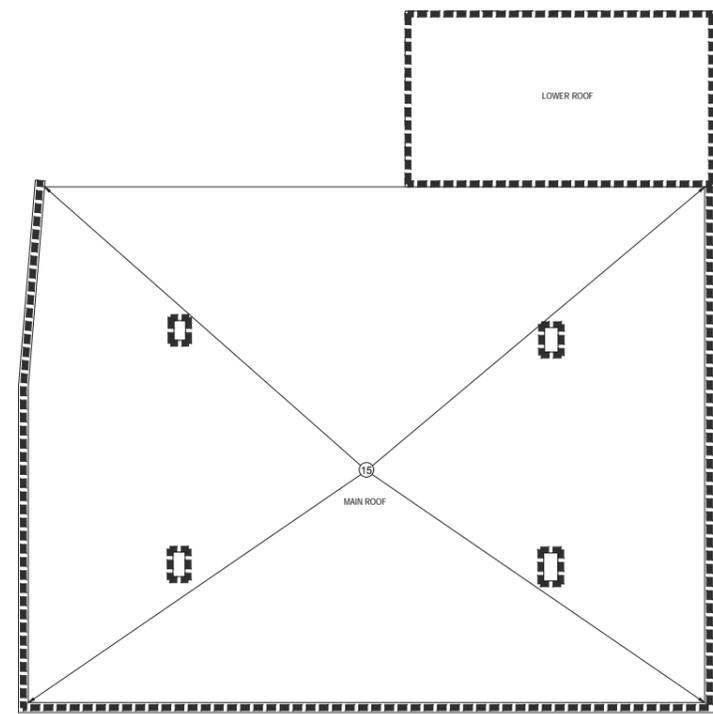
REMOVE AND DISPOSE OF ALL AC FLOORING AND ASSOCIATED ADHESIVES: ALL LAIERS TO SIB-FLOOR.  
 REMOVE AND DISPOSE OF ALL AC RESIDUAL FLOOR TILE ADHESIVE: ALL LAIERS TO SIB-FLOOR.  
 REMOVE AND DISPOSE OF ALL AC TEXTURED CEILING PAINT.  
 REMOVE AND DISPOSE OF ALL AC FLASHING CEMENTS AT CHIMNEYS, ROOFPARAPETS, ALLS AND ROOF EDGE.  
 REMOVE AND DISPOSE OF ALL AC CEMENT BOARD PANELS AT CEILING AND WALLS.  
 REMOVE AND DISPOSE OF ALL AC THERMAL SYSTEM INSULATION.  
 REMOVE AND DISPOSE OF ALL AC PAPER INSULATION AT CEILING MOUNTED LIGHTER.  
 REMOVE AND DISPOSE OF ALL AC WALL PANEL ADHESIVE.  
 REMOVE AND DISPOSE OF ALL AC JOINT COMPOUND AND ASSOCIATED SHEETROCK.  
 REMOVE AND DISPOSE OF ENTIRE SINK OR AC UNDER-COATING.  
 REMOVE AND DISPOSE OF ALL AC CHIMNEY FLUE CEMENT.  
 REMOVE ALL AC AND PRESERVE PCB CONTAINING CALK. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.  
 REMOVE AND DISPOSE OF ALL LAIERS OF AC VINYL COVE BASE ADHESIVE.  
 REMOVE AND DISPOSE OF ALL AC CLOTTING GASKET ON ALL LIGHTER ASSEMBLY.  
 REMOVE AND DISPOSE OF ENTIRE LIGHT FITTING: AC FITTING PAPER.  
 REMOVE AND DISPOSE OF ALL AC DUCT PAPER INSULATION ON VACUNIT.  
 REMOVE GROUNDING AND LEAD-BASED PAINT AND PRESERVE PCB-CONTAINING COMPONDS. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.  
 REMOVE AND DISPOSE OF AC OVERFLOOR CONNECTOR BETWEEN SECTIONS OF DUCTWORK.  
 REMOVE AND DISPOSE OF ALL AC ROOF FIELDS AND AC FLASHING CEMENTS AT VENTS.

**UNIVERSAL ASBESTOS TABLE:**

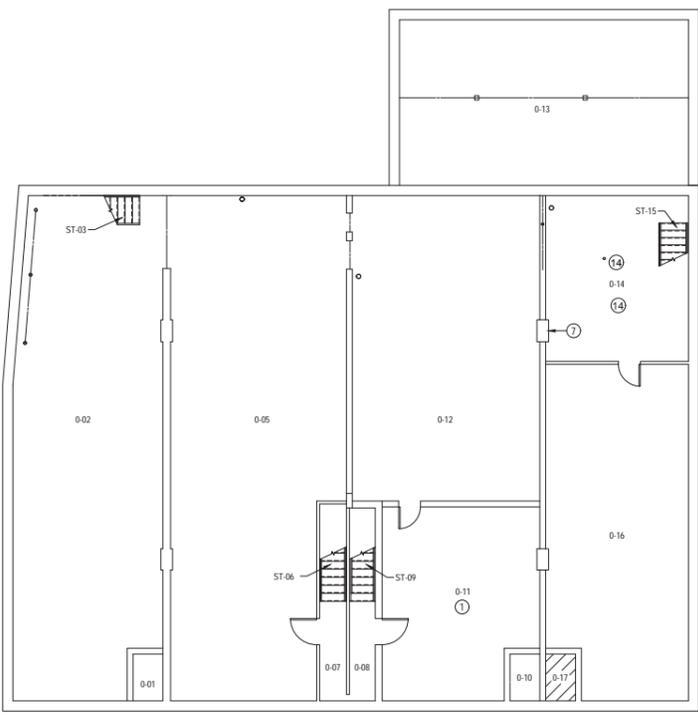
REMOVE AND DISPOSE OF ALL AC FLOORING AND ASSOCIATED ADHESIVES: ALL LAIERS TO SIB-FLOOR.  
 REMOVE AND DISPOSE OF ALL AC RESIDUAL FLOOR TILE ADHESIVE: ALL LAIERS TO SIB-FLOOR.  
 REMOVE AND DISPOSE OF ALL AC TEXTURED CEILING PAINT.  
 REMOVE AND DISPOSE OF ALL AC FLASHING CEMENTS AT CHIMNEYS, ROOFPARAPETS, ALLS AND ROOF EDGE.  
 REMOVE AND DISPOSE OF ALL AC CEMENT BOARD PANELS AT CEILING AND WALLS.  
 REMOVE AND DISPOSE OF ALL AC THERMAL SYSTEM INSULATION.  
 REMOVE AND DISPOSE OF ALL AC PAPER INSULATION AT CEILING MOUNTED LIGHTER.  
 REMOVE AND DISPOSE OF ALL AC WALL PANEL ADHESIVE.  
 REMOVE AND DISPOSE OF ALL AC JOINT COMPOUND AND ASSOCIATED SHEETROCK.  
 REMOVE AND DISPOSE OF ENTIRE SINK OR AC UNDER-COATING.  
 REMOVE AND DISPOSE OF ALL AC CHIMNEY FLUE CEMENT.  
 REMOVE ALL AC AND PRESERVE PCB CONTAINING CALK. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.  
 REMOVE AND DISPOSE OF ALL LAIERS OF AC VINYL COVE BASE ADHESIVE.  
 REMOVE AND DISPOSE OF ALL AC CLOTTING GASKET ON ALL LIGHTER ASSEMBLY.  
 REMOVE AND DISPOSE OF ENTIRE LIGHT FITTING: AC FITTING PAPER.  
 REMOVE AND DISPOSE OF ALL AC DUCT PAPER INSULATION ON VACUNIT.  
 REMOVE GROUNDING AND LEAD-BASED PAINT AND PRESERVE PCB-CONTAINING COMPONDS. DISPOSE OF AS REGULATED ASBESTOS AND PCB BULK PRODUCT AS A STE.  
 REMOVE AND DISPOSE OF AC OVERFLOOR CONNECTOR BETWEEN SECTIONS OF DUCTWORK.  
 REMOVE AND DISPOSE OF ALL AC ROOF FIELDS AND AC FLASHING CEMENTS AT VENTS.



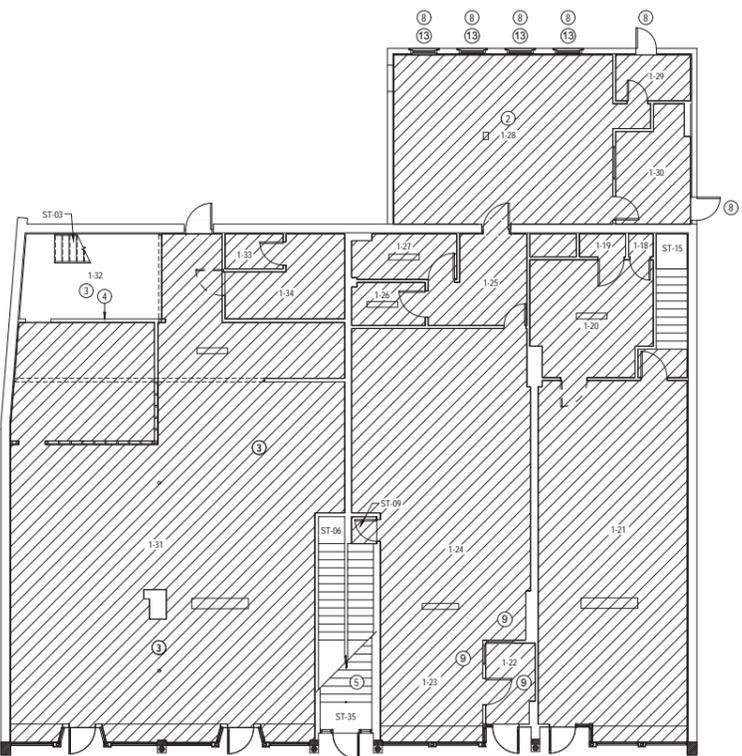
**THIRD FLOOR ABATEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF ABATEMENT PLAN**  
SCALE: 1/8" = 1'-0"



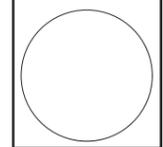
**BASEMENT ABATEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR ABATEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR ABATEMENT PLAN**  
SCALE: 1/8" = 1'-0"

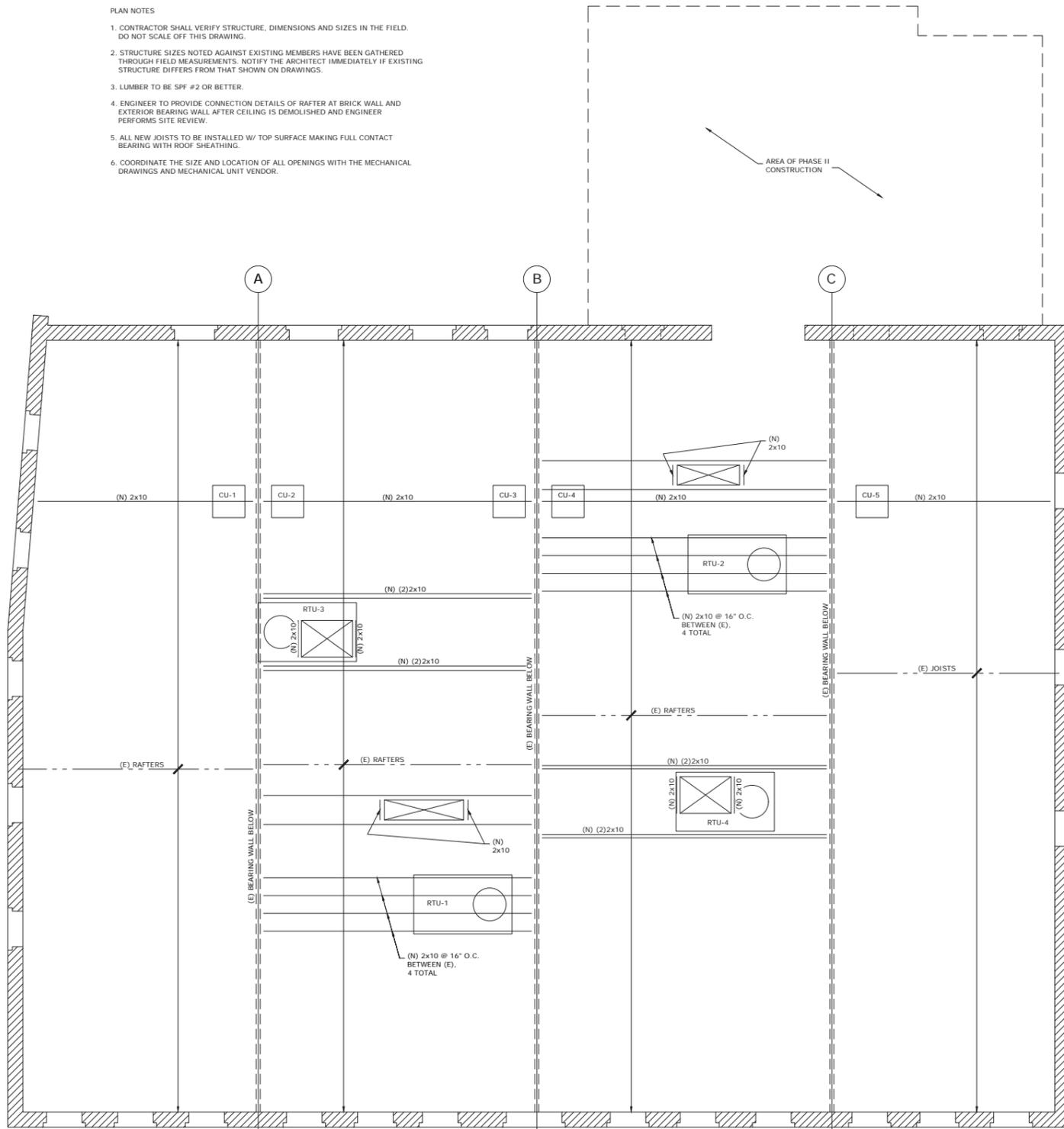


Drawn: BB  
Issued: 08/01/2019  
Status:

Revisions		
NO	DATE	DESCRIPTION

PLAN NOTES

1. CONTRACTOR SHALL VERIFY STRUCTURE, DIMENSIONS AND SIZES IN THE FIELD. DO NOT SCALE OFF THIS DRAWING.
2. STRUCTURE SIZES NOTED AGAINST EXISTING MEMBERS HAVE BEEN GATHERED THROUGH FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF EXISTING STRUCTURE DIFFERS FROM THAT SHOWN ON DRAWINGS.
3. LUMBER TO BE SPF #2 OR BETTER.
4. ENGINEER TO PROVIDE CONNECTION DETAILS OF RAFTER AT BRICK WALL AND EXTERIOR BEARING WALL AFTER CEILING IS DEMOLISHED AND ENGINEER PERFORMS SITE REVIEW.
5. ALL NEW JOISTS TO BE INSTALLED W/ TOP SURFACE MAKING FULL CONTACT BEARING WITH ROOF SHEATHING.
6. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL DRAWINGS AND MECHANICAL UNIT VENDOR.



ROOF FRAMING PLAN  
1/4" = 1'-0"

Project ID: 1807 - Citizen's Block

THE ARCHITECTS  
Robert B. Park  
306 Arbor  
Hartford, CT  
06103  
860-232-2707



Crosskey  
Architects

Architecture Preservation Interiors  
750 Main Street, Hartford, CT 06103  
P: (860) 724-3000 F: (860) 724-3013

CIRRUS  
STRUCTURAL ENGINEERING  
CIRRUS STRUCTURAL ENGINEERING, LLC  
19 New Medical Center  
Columbia, CT 06237  
P: (860) 727-0202 | F: (860) 471-8138  
www.cirruseng.com

CITIZEN'S BLOCK  
28 - 34 PARK PLACE, VERNON CT  
Owner: Town of Vernon - Administration  
14 Park Place Vernon Ct. 06066

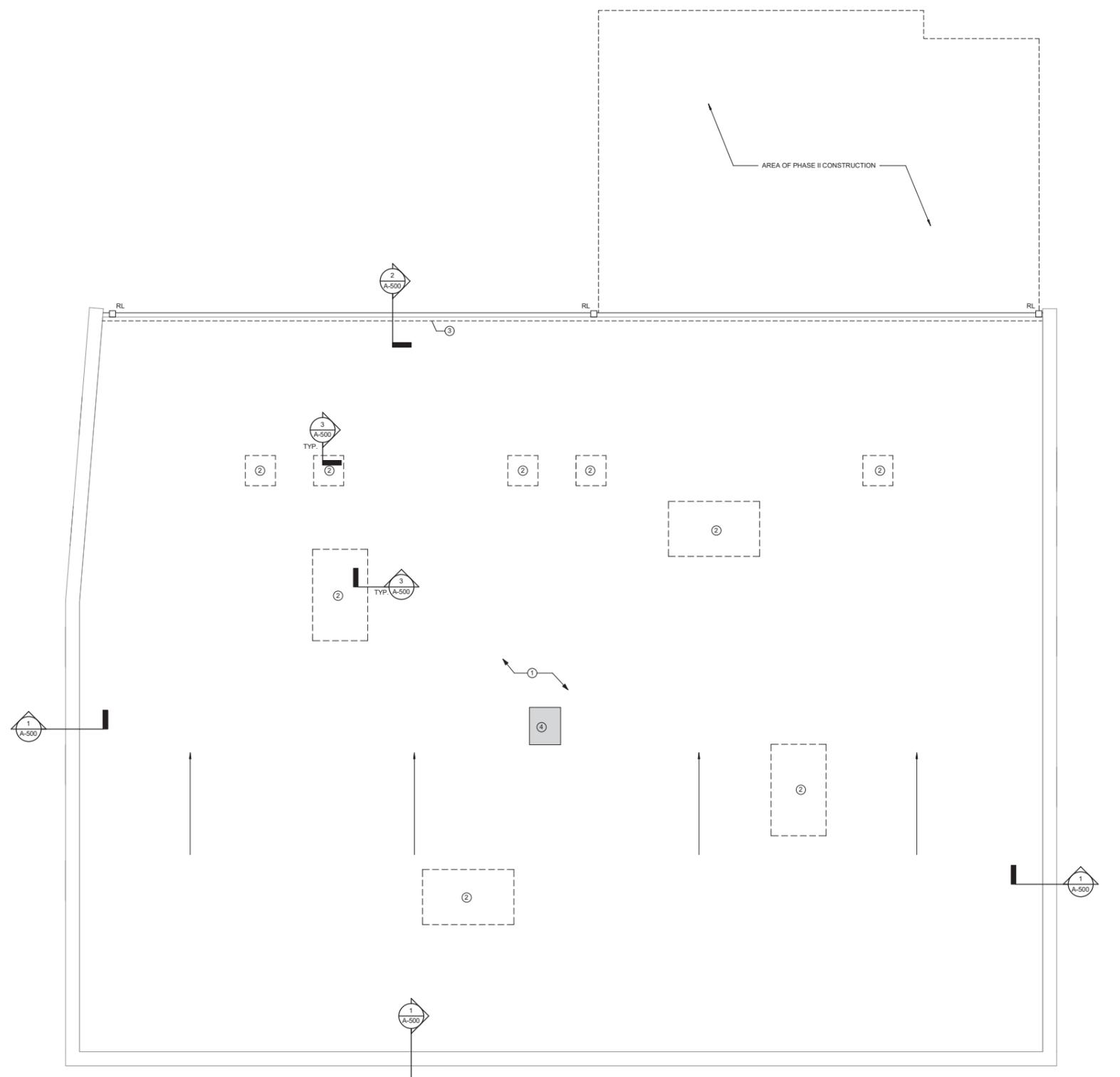
Drawn: PN  
Issued: 08/01/2019  
Status:

Revisions		
NO	DATE	DESCRIPTION

S-101  
ROOF FRAMING PLAN  
Copyright © 2019



2 ROOF PLAN  
1/4" = 1'-0"



**GENERAL NOTES**

1. PROVIDE 1/4" FT. MINIMUM SLOPE OVER ALL ROOF SURFACES UNLESS OTHERWISE NOTED.
2. PROVIDE TOTAL R VALUE OF (30) FOR ROOF ASSEMBLY AT RE-ROOF AREAS. ROOF ASSEMBLY INCLUDES DECK, COVER BOARD INSULATION.
3. AT ALL NEW EXISTING FLAT STRUCTURAL DECKS WHERE TAPERED INSULATION IS SPECIFIED, PROVIDE AN AVERAGE R VALUE INSULATION THICKNESS. THE DRAWINGS ARE BASED ON A 4-1/2" AVERAGE THICKNESS OF TAPERED INSULATION AT MID-POINT TO THE DRAINS. THE INSULATION THICKNESS WILL INCREASE IN OVERALL THICKNESS FURTHER AWAY FROM THE DRAIN AND THE OVERALL INSULATION THICKNESS WILL DECREASE CLOSER TO THE DRAIN.
4. PROVIDE EPDM MEMBRANE ROOFING OVER ALL ROOF SURFACES, UNLESS OTHERWISE NOTED.
5. PROVIDE TAPERED INSULATION CRICKET(S) AT ALL ROOF PENETRATIONS. SLOPE 1/2" PER FOOT MINIMUM AT ALL ROOF AREAS.
6. PROVIDE SPLASH BLOCK AND WALKWAY PADS AT ALL LOCATIONS WHERE DOWNSPOUTS DISCHARGE ON TO ROOF SURFACES.
7. TYPICAL RAIN LEADER SIZE = 6 INCHES WIDE BY 6 INCHES DEEP UNLESS OTHERWISE NOTED. PROVIDE PRE-FINISHED ALUMINUM 1/8 INCH MINIMUM THICK. ANCHOR TO WALL WITH CONCEALED BRACKETS. REINFORCE RAIN LEADERS TO ACCOMMODATE SPANS.
8. PROVIDE TAPERED CRICKETS AT THE HIGH SIDE OF ALL ROOFTOP EQUIPMENT, EXHAUST FANS, ROOF SCUTTLES, ETC.
9. PROVIDE 12 INCHES MINIMUM HIGH BUILT-IN CURBS FOR ALL CONDENSER UNITS. REFER TO SIMILAR DETAIL 12/A111. PLACE CURBS PARALLEL WITH DIRECTION OF WATER FLOW. PROVIDE A MINIMUM OF TWO CURBS FOR EACH CONDENSING UNITS.
10. GC TO COORDINATE WITH ROOFER REGARDING FUTURE WORK, TO ENSURE WARRANTY REQUIREMENTS.

**ROOF LEGEND**

- TAPERED INSULATION, SLOPE 1/4" FT. MIN. AT NEW AND RE-ROOF AREAS.
- TAPERED INSULATION CRICKET, SLOPE 1/2" FT. MIN. AT NEW AND RE-ROOF AREAS.
- EXPANSION JOINT
- ROOF DRAIN, REFER TO DETAIL 11/A111
- EXHAUST FAN, REFER TO FLASHING DETAIL 13/A111
- OVERFLOW ROOF DRAIN, REFER TO DETAIL 11/A111
- V.T.R. VENT THROUGH ROOF, REFER TO DETAIL 9/A111
- FRESH AIR
- ROOFTOP MECHANICAL UNIT, REFER TO MECHANICAL ELECTRICAL AND PLUMBING DRAWINGS. REFER TO DETAIL 3/A111 FOR FLASHING AT R.T.U. CURB.
- OVERFLOW SCUPPER - RE: 6/A111, LOCATE BOTTOM OF OVERFLOW 1" ABOVE ROOF SURFACE
- DOWNSPOUT (METAL RAIN LEADER) AND CONDUCTOR HEAD.

**ROOF KEYNOTES**

- 1 REMOVE EXISTING BUILT UP ROOF DOWN TO EXISTING DECK. REMOVE & REPLACE DAMAGED OR ROTTED DECKING TO MATCH ORIGINAL. PROVIDE NEW INSULATION (MIN R-30) AND WHITE EPDM ROOFING.
- 2 FUTURE LOCATION OF MECHANICAL EQUIPMENT. REFER TO STRUCTURAL DRAWING S-101 FOR MORE INFORMATION.
- 3 REMOVE EXISTING INTERNAL GUTTER & ASSOCIATED COMPONENTS.
- 4 REMOVE & INFILL EXISTING SKYLIGHT. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

**THE ARCHITECTS**  
The Integrity. The Ability. The Experience.

Robert H. Hall, AIA  
54 Silver Street  
Hartford, CT 06106  
Tel: 860.232.2767

**Crosskey Architects**  
Architecture Preservation Interiors

750 Main Street, Hartford, CT 06103  
P: 860.724.5000 F: 860.724.3013

**CITIZEN'S BLOCK**  
28 - 34 PARK PLACE, VERNON CT

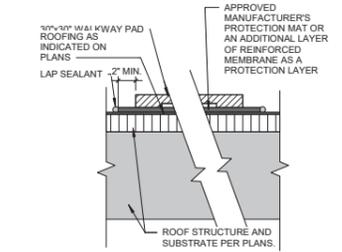
Owner: Town of Vernon - Administration  
14 Park Place Vernon Ct. 06066

Drawn: NF  
Issued: 08/01/2019  
Status: \_\_\_\_\_

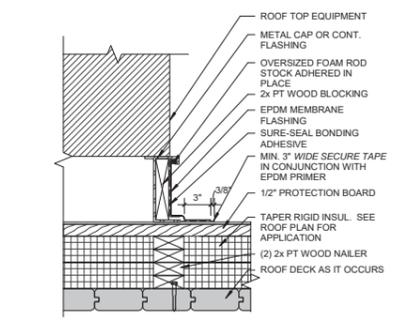
Revisions

NO	DATE	DESCRIPTION

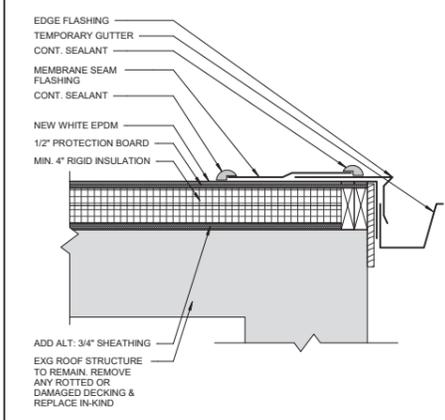




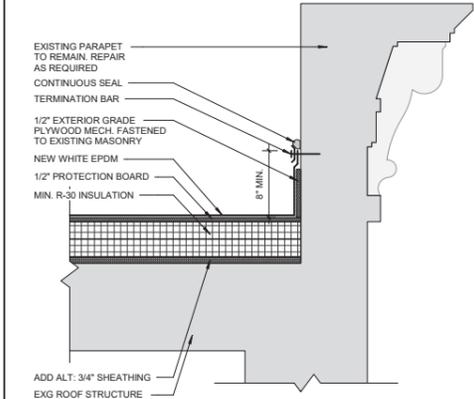
④ DETAIL @ WALK-OUT PAD  
1 1/2" = 1'-0"



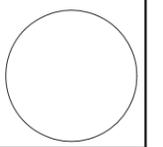
③ DETAIL @ EQUIPMENT SUPPORT  
1 1/2" = 1'-0"



② DETAIL @ ROOF EDGE  
1 1/2" = 1'-0"



① DETAIL @ EXG PARAPET  
1 1/2" = 1'-0"



**CITIZEN'S BLOCK**  
28 - 34 PARK PLACE, VERNON CT  
Owner: Town of Vernon- Administration  
14 Park Place Vernon Ct. 06066

Drawn: NF  
Issued: 08/01/2019  
Status:

Revisions		
NO	DATE	DESCRIPTION