

APPLICATION

(PZ-2020-03)



ATTORNEYS

45 Hartford Tpke
Vernon, CT 06066
ph: 860-646-1974
fax: 860-647-8302
kcc-law.com
February 28, 2020

11 Professional Park Rd
Storrs, CT 06268
ph: 860-487-1842
fax: 860-487-1786

Via Hand Delivery

George McArthur, Town Planner
Vernon Planning and Zoning Commission
55 West Main Street
Vernon, CT 06066

Re: The Santini Real Estate Trust Application for Zone Change, Special Permit and Preliminary Plan of Development – 195 South Street; 209 South Street; MBL 39-065B-0018A

Dear George:

Enclosed herewith please find the application of Eric and Kevin Santini, Co-Trustees of the Santini Real Estate Trust for a Zone Change, Special Permit and Preliminary Plan of Development for multiple parcels of land: 195 South Street; 209 South Street; and MBL 39-065B-0018A. Also enclosed are the following:

- (1) 5 full size copies of the Zone Change Map and Preliminary Site Plan;
- (2) 5 full size copies of the proposed Architectural, Lighting and Landscaping Plans;
- (3) 2 copies of the Stormwater Management Report prepared by Gardner & Peterson Associates, LLC;
- (4) An addendum to the application;
- (5) The LID checklist;
- (6) Copies of the legal descriptions of the subject properties;
- (7) Owner consent letters signed by ESS Vernon Properties, LLC and the Connecticut Water Company;
- (8) A list of property owners within 200 feet of the subject properties, including mailing labels;
- (9) A check in the amount of \$740.00 payable to the Town of Vernon representing the application fee (\$200 fee for zone change; ~~\$200~~ fee for special permit/site plan; \$60 state fee; \$20 abutters fee); and 400 ~~000~~
- (10) A check in the amount of \$300.00 payable to the North Central Conservation District for review and certification of the erosion control plan.

Please review this application and the enclosed information and should you have any questions or need additional information, please advise. It is my understanding that the Commission will receive this application at its next regularly scheduled meeting on March 5, 2020. Upon receipt, I would request that they schedule a hearing on the application at its meeting on March 19, 2020 (or, if not possible, on April 2, 2020). The applicant, its consultants and I will plan on attending the public hearing and making a full presentation at that time.

Thank you for your attention to this matter.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Dorian R. Famiglietti", with a large, stylized flourish at the end.

Dorian R. Famiglietti

Enclosures

cc: Eric Peterson (w/encl)
Kevin Santini (w/encl)
Eric Santitni (w/encl)
Jim Bubaris (w/enc)

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. Incorrect information provided by the applicant may make the approval invalid. The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Santini Real Estate Trust

Title: _____

Company: _____

Address: 1031 Hartford Turnpike

Vernon, CT 06066

Telephone: _____

Fax: _____

E-mail: _____

II. PROPERTY OWNER (S):

Name: Same as applicant

Title: _____

Company: _____

Address: _____

Telephone: _____ Fax _____

E-mail: _____

III. PROPERTY

Address: 195 South St; 209 South St; MBL 39-065B-0018A

Assessor's ID Code: Map # * Block # * Lot/Parcel # *See Addendum

Land Record Reference to Deed Description: Volume: * Page *See Addendum

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

- No Yes
- No work will be done in regulated area
- Work will be done in the regulated area
- IWC application has been submitted
- IWC application has not been submitted

Zoning District R-22

Is this property located within five hundred (500) feet of a municipal boundary?

- No
- Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

- Located in historic district:
 - Rockville
 - Talcottville
- Individual historic property

IV. PROJECT

Project Name: The Grand Lofts West

Project Contact Person:

Name: Dorian R. Famiglietti

Title: Attorney for Applicant/Owner

Company: Kahan, Kerensky & Capossela, LLP

Address: 45 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-646-1974 Fax: 860-647-8302

E-mail: dfamiglietti@kkc-law.com

**V. PZC APPLICATION
PROJECT SUMMARY**

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: ~~Zone Change and Preliminary Plan of Development~~

General Activities: See attached Addendum

VI. APPROVAL (S) REQUESTED

 Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 X **Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)**

 X **Site Plan of Development (POD) (ZR Sec. 14) (preliminary ZR Sec 4.27)**

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 X **Special Permt(s) (ZR Section 17.3)**

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- X Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4, 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

___ Other Special Permit(s). Cite ZR Section and describe activity:

___ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

Zoning:

Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

___ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

___ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

___ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.

APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:


Signature _____ Date 2/28/2020
attly for owner/applicant

Signature _____ Date _____

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

ADDENDUM TO APPLICATION

February 28, 2019

Application: **The Grand Lofts West – Zone Change, Special Permit and Preliminary Site Plan**
Applicant: **Santini Real Estate Trust**
Property Location: **195 & 209 South Street and MBL 39-065B-0018A**

Zone Change: The Santini Real Estate Trust (the “Applicant”) seeks the approval of the Vernon Planning and Zoning Commission for a Zone Change from R-22 to the Comprehensive Multi-Family Dwelling Zone for the following three properties:

- (1) 195 South Street – owned by ESS Vernon Properties, LLC (a Santini family owned and controlled company)
Assessor’s Parcel Number 39-065B-00019
Volume 1346, Page 62 of the Vernon Land Records (see attached); and
- (2) 209 South Street – owned by the Applicant
Assessor’s Parcel Number 39-065B-00017
Volume 1346, Page 64 of the Vernon Land Records (see attached); and
- (3) Assessor’s Parcel Number 39-065B-0018A – owned by the Connecticut Water Company
Volume 1099, Page 18 of the Vernon Land Records (see attached).

ESS Vernon Properties, LLC and the Connecticut Water Company have consented to the filing of these applications. Copies of said consent letters are attached hereto.

The subject properties are surrounded by existing multi-family developments to the north, east and south (Portico I, Portico II, Stoneledge and Woodbrook developments). The purpose of the Zone Change is to allow multi-family development to extend to the property at 209 South Street, so as to allow for a new multi-family development, in accordance with the preliminary plan of development, at 209 South Street.

Special Permit: In connection with its proposed development, the Applicant also seeks a Special Permit, per Section 15 of the Regulations, for excavation involving more than 50 cubic yards and more than ½ acre. The sole purpose of the excavation is to prepare the site and complete construction of the multi-family units in accordance with the Plan of Development.

Preliminary Plan of Development: The Applicant proposes to construct 56 new multi-family units, within 5 buildings, upon the 209 South Street parcel. The attached plans, prepared by Gardner & Peterson Associates, LLC, show the existing and proposed conditions, including details regarding the building locations, internal access drive,

parking areas, utilities, stormwater drainage system, grading, and erosion and sedimentation controls. All units will be served by a public water supply and public sanitary sewers.

All units will have an attached garage and a private deck. Six units will be handicapped adaptable. All units will have access to the Applicant's clubhouse facility located at 1085 Hartford Turnpike, which is a 4700± square foot facility with a fitness room, gathering areas, kitchen area, and outdoor pool and patio areas. In addition, all units will have access to the Applicant's other nearby complexes on Vernon Avenue, South Street and Hartford Turnpike for walking, jogging, biking and similar passive recreational uses.

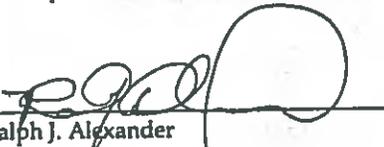
Also included with the application are architectural plans and elevations for the buildings, a landscaping plan and a lighting plan. A full traffic analysis will be submitted under separate cover.

STATUTORY QUIT CLAIM DEED

EVANDRO S. SANTINI, of the Town of Tolland, County of Tolland and State of Connecticut, for the consideration of ONE DOLLAR AND OTHER VALUABLE CONSIDERATION, grants to ESS VERNON PROPERTIES, LLC, a Connecticut limited liability company having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut, with QUIT CLAIM COVENANTS, all that certain piece or parcel of land, with the buildings and improvements thereon, being situated in the Town of Vernon, County of Tolland and State of Connecticut, being known as 195 South Street and being more particularly bounded and described in Schedule A attached hereto and made a part hereof.

Signed this 18th day of October, 2001.

Signed and delivered
in the presence of:


Ralph J. Alexander

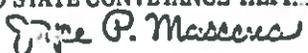
By 
Evandro S. Santini


Susan A. Carreiro

STATE OF CONNECTICUT)
) ss East Hartford
COUNTY OF HARTFORD)

October 18, 2001

Personally Appeared Evandro S. Santini, Signer of the foregoing Instrument, and acknowledged the same to be his free act and deed, before me.

§ NO TOWN CONVEYANCE TAX PFC'D
§ NO STATE CONVEYANCE TAX DED

TOWN CLERK OF VERNON


Ralph J. Alexander
Commissioner of the Superior Court

Grantee's mailing address:
1031 Hartford Turnpike
Vernon, CT 06066

SCHEDULE A

All that certain piece or parcel of land with all buildings and improvements thereon, situated in the Town of Vernon, County of Tolland and State of Connecticut, being located on the southerly side of South Street, being known as #195 South Street and being designated as "LAND OF EVANDRO S. SANTINI ASSESSOR'S PARCEL 19, MAP 39 #195 SOUTH ST. AREA=16,820 SQ. FT. 0.39 ACRES" on a certain map or plan entitled, "PROPERTY SURVEY SOME LAND OF EVANDRO S. SANTINI VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY S.E.J. SCALE 1" = 40' DATE 2-12-97 SHEET NO. 1 OF 1 MAP NO. 9409-2", which map is on file in the Town of Vernon Land Records, and reference to which may be had for a more particular description, said premises being more particularly bounded and described as follows:

Beginning at an iron pin found in the southerly line of South Street at its intersection with the northeasterly corner of "Land of Evandro S. Santini to be conveyed to The Connecticut Water Company Area =13,425 sq. ft. 0.31 acres", as shown on the above referenced map; and

Thence by a course of S 16° 58' 00" W, for a distance of 215.72 feet, along the easterly line of land to be conveyed to the Connecticut Water Company as shown on the above referenced map, to an iron pin found; and

Thence by a course of S 69° 48' 28" E, for a distance of 73.94 feet, along the northerly line of "Land now or formerly of Evandro S. Santini 'Stoneledge Villa' #164 Vernon Ave." as shown on the above referenced map, to an iron pin found; and

Thence by a course of N 19° 18' 12" E, for a distance of 214.14 feet, along the westerly line of "Land now or formerly of Evandro S. Santini 'Stoneledge Villa' #164 Vernon Ave." as shown on the above referenced map, to an iron pin found in the southerly line of South Street; and

Thence by a course of N 68° 56' 00" W, for a distance of 82.76 feet, along the southerly line of South Street, to an iron pin found, marking the point and place of beginning.

Said premises containing 16,820 square feet, or 0.39 acres, of area.

RECEIVED-TOWN OF VERNON

Joyce P. Mascena

JOYCE P. MASCENA, TOWN CLERK

2001 OCT 19 PH 12: 03

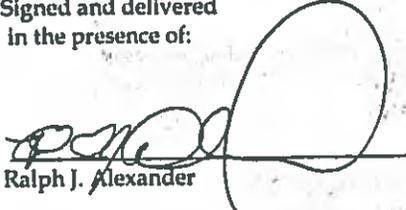
RECORDED IN
VERNON LAND RECORDS

STATUTORY QUIT CLAIM DEED

EVANDRO S. SANTINI, of the Town of Tolland, County of Tolland and State of Connecticut, for the consideration of ONE DOLLAR AND OTHER VALUABLE CONSIDERATION, grants to ESS VERNON PROPERTIES, LLC, a Connecticut limited liability company having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut, with QUIT CLAIM COVENANTS, all that certain piece or parcel of land, with the buildings and improvements thereon, being situated in the Town of Vernon, County of Tolland and State of Connecticut, being known as 209 South Street and being more particularly bounded and described in Schedule A attached hereto and made a part hereof.

Signed this 18th day of October, 2001.

Signed and delivered
in the presence of:


Ralph J. Alexander

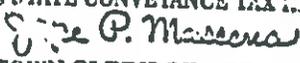
By 
Evandro S. Santini


Susan A. Carreiro

STATE OF CONNECTICUT)
) ss East Hartford
COUNTY OF HARTFORD)

October 18, 2001

Personally Appeared Evandro S. Santini, Signer of the foregoing Instrument, and acknowledged the same to be his free act and deed, before me.

NO TOWN CONVEYANCE TAX REC'D
NO STATE CONVEYANCE TAX REC'D

TOWN CLERK OF VERNON


Ralph J. Alexander
Commissioner of the Superior Court

Grantee's mailing address:
1031 Hartford Turnpike
Vernon, CT 06066

SCHEDULE A

All that certain piece or parcel of land with all buildings and improvements thereon, situated in the Town of Vernon, County of Tolland and State of Connecticut, being located on the southerly side of South Street, being known as #209 South Street and being designated as "LAND OF EVANDRO S. SANTINI ASSESSOR'S PARCEL 17, MAP 39 #209 SOUTH ST. AREA=256,225 SQ. FT. 5.88 ACRES" on a certain map or plan entitled, "PROPERTY SURVEY SOME LAND OF EVANDRO S. SANTINI VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY S.E.J. SCALE 1" - 40' DATE 2-12-97 SHEET NO. 1 OF 1 MAP NO. 9409-2", which map is on file, or is to be filed, in the Town of Vernon Land Records, and reference to which may be had for a more particular description, said premises being more particularly bounded and described as follows:

Beginning at an iron pin set in the southerly line of South Street at its intersection with the northeasterly corner of #215 South Street, being land of Norman & Irene M. Berriault; and

Thence by a course of S 66° 10' 48" E, for a distance of 57.14 feet, along the southerly line of South Street, to an iron pin set; and

Thence by a course of S 63° 17' 10" E, for a distance of 118.03 feet, along the southerly line of South Street, to an iron pin set; and

Thence by a course of S 62° 15' 59" E, for a distance of 369.72 feet, along the southerly line of South Street, to an iron pin set; and

Thence by a course of S 68° 56' 00" E, for a distance of 244.88 feet, along the southerly line of South Street, to an iron pin set; and

Thence by a course of S 16° 58' 00" W, for a distance of 272.58 feet, along the westerly line of land to be conveyed to The Connecticut Water Company, as shown on said map, to an iron pin set; and

Thence by a course of N 79° 16' 48" W, for a distance of 201.60 feet, along the northerly line of Land of The Connecticut Water Company and Land of Norman & Irene M. Berriault, in part by each, to an iron pin set; and

Thence by a course of N 88° 33' 46" W, for a distance of 132.52 feet, along the northerly line of Land of Norman & Irene M. Berriault, to an iron pin set; and

Thence by a course of N 84° 15' 43" W, for a distance of 158.63 feet, along the northerly line of Land of Norman & Irene M. Berriault, to an iron pin set; and

Thence by a course of N 88° 20' 24" W, for a distance of 112.20 feet, along the northerly line of Land of Norman & Irene M. Berrault, to an iron pin found; and

Thence by a course of N 03° 30' 49" W, for a distance of 544.52 feet, along the easterly line of Land of Norman & Irene M. Berrault, to an iron pin set, marking the point and place of beginning.

Said premises containing 256,225 square feet, or 5.88 acres, of area.

RECEIVED-TOWN OF VERNON
Joyce P. Mascena
JOYCE P. MASCEHA, TOWN CLERK

2001 OCT 19 PM 12:04

RECORDED IN
VERNON LAND RECORDS

STATUTORY WARRANTY DEED

EVANDRO S. SANTINI of the Town of Vernon, County of Tolland and State of Connecticut, for the consideration of THIRTY-FIVE THOUSAND AND 00/100 DOLLARS (\$35,000.00), grants to THE CONNECTICUT WATER COMPANY, a Connecticut corporation with offices in the Town of Clinton, County of Middlesex and State of Connecticut, with WARRANTY COVENANTS; all that certain piece or parcel of land being situated in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described in Schedule A attached hereto and made a part hereof.

Signed this 1st day of May, 1997

Signed and delivered
in the presence of:


Ralph J. Alexander


Evandro S. Santini

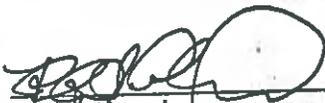

Susan A. Carver

STATE OF CONNECTICUT)
COUNTY OF HARTFORD)

ss. East Hartford

May 1, 1997

Personally Appeared Evandro S. Santini, Signer of the foregoing Instrument, and acknowledged the same to be his free act and deed, before me.


Ralph J. Alexander
Commissioner of the Superior Court

Grantee's mailing address:
93 West Main Street
Clinton, CT 06413

CONVEYANCE TAX RECEIVED

STATE C. 175.00 LOCAL S. 38.50


TOWN CLERK OF VERNON

SCHEDULE A

That certain piece or parcel of land being situated in the Town of Vernon, County of Tolland and State of Connecticut, located on the southerly side of South Street, being the easterly 50 feet of property now or formerly known as 199 South Street, and being referred to as "LAND OF EVANDRO S. SANTINI TO BE CONVEYED TO THE CONNECTICUT WATER COMPANY AREA = 13,425 SQ.FT. 0.31 ARCES" on a certain map entitled, "PROPERTY SURVEY SOME LAND OF EVANDRO S. SANTINI VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY S.E.J. SCALE 1"=40' DATE 2-12-97 SHEET NO. 1 OF 1 MAP NO. 9409-2", which map is on file, or to be filed, in the Town of Vernon Land Records and reference to which may be had for a more particular description. Said parcel is more particularly bounded and described as follows, to wit:

NORTHERLY: By the southerly line of South Street, 50.13 feet;

EASTERLY: By other land of the Grantor (being westerly lines of 195 South Street and 164 Vernon Avenue, in part by each), 263.44 feet.

SOUTHERLY: By other land of the Grantee, 51.18 feet; and

WESTERLY: By other land of the Grantor (being the remaining portion of said parcel now or formerly known as 199 South Street), 272.58 feet.

Being a portion of the same premises conveyed to the Grantor herein by Fiduciary Deed dated June 18, 1987 and recorded in the Vernon Land Records, in Volume 648, at Page 281.

Said premises are subject to building, building line and zoning regulations as of records appear.

Said premises are conveyed subject to an easement in favor to The Rockville Water and Aqueduct Company dated January 16, 1963 and recorded in the Town of Vernon Land Records, in Volume 135, at Page 273.

Said premises are conveyed subject to the applicable provisions of a Declaration of Covenants, Agreements and Easements date November 26, 1990 and recorded in Volume 816, at Page 166 of the Vernon Land Records, and a Declaration of Covenants, Agreements and Easements date November 26, 1990 and recorded in Volume 816, at Page 175 of the Vernon Land Records

Said premises are subject to taxes on the October 1, 1996 List, which taxes the Grantee herein assumes and agrees to pay as part consideration for this deed.

RECEIVED May 5, 1997 @ 10:46 AM
Jeri A. Fawcett
VERNON TOWN CLERK

Date: 02/25/2020

Project: The Grand Lofts West, 209 South Street

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided by the applicant in the space provided below. Comments will be reviewed with Town Staff at the scheduled Development Staff Meeting and documented.

Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting sensitive natural resources including but not limited to existing wetlands (as designated by a Certified Soils Scientist in Connecticut), streams, ponds, vernal pools, flood zones, stream channel encroachment lines, soil types and infiltration rates, wells, tree lines, property boundaries, and other items that may be requested by the Town.	ERP	Existing conditions are depicted on the Erosion & Sediment Control Plan (Sheet 4) depicting topography, soil types, tree lines, and property boundaries. There are no wetlands or watercourses on or within 100 feet of this parcel. Soil data is shown on sheet 5.
2	Utilizing the Existing Conditions Plan as a guide, development has been located to maximize preservation of contiguous natural sensitive areas.	ERP	The construction of buildings and parking lots have been designed to avoid the relatively steep slopes on the east side of this parcel.
3	Proposed site developments for residential or two family dwellings on more than one individual parcel, all commercial, industrial, and retail developments have been guided by the applicable requirements of the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual.	ERP	The design of this project has been guided by the requirements of the two listed manuals.
4	Bioretention Basins or Rain Gardens have been incorporated within yards, median strips, cul-de-sacs islands, and parking lot islands.		Other LID methods have been incorporated into this project other than Bioretention Basins or Rain Gardens.

Date: 02/25/2020

Project: The Grand Lofts West, 209 South Street

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.	ERP	The use of underground galleys have been utilized to control runoff from roofs.
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.		Other LID methods have been incorporated into this project other than Permeable Pavement.
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.	ERP	There are not regulated wetland areas or flood zones on this project. The wooded areas have been replicated by the proposed landscaping designed for this project.
8	Post Development stormwater runoff is at or less than the predevelopment runoff.	ERP	Stormwater runoff is at or less than the predevelopment runoff.
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.	ERP	Yes, see item #5 above.
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.	ERP	A level spreader and grass lined swale has been provided at the storm drainage outfall from this project.

Date: 02/25/2020

Project: The Grand Lofts West, 209 South Street

Conformance with the following criteria shall be initiated in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.	ERP	An oil trap, hydrodynamic separator, check dam, grass swale and underground chambers have been incorporated into this project to address water quality and runoff
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.		Other LID methods have been incorporated into this project other than rain barrels and cisterns. All proposed landscaping is native to this area and does not require irrigation.
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.	ERP	An Erosion and Sedimentation Control Plan has been provided as required
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.	ERP	Sheet 5 includes a maintenance plan associated with the stormwater management system for this project
15	Impervious area percentages for pre and post development have been provided.	ERP	See stormwater management report
16	When conflicts exist between the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State Manual shall govern.	ERP	

Abutters - 200' (209 South St)

39-0621-00093
MISCHE-STARKEL SONJA
15 BANCROFT PL
VERNON CT 06066

39-065B-0016A
CONNECTICUT WATER CO
93 WEST MAIN ST ✓
CLINTON CT 06413-1600

39-062C-00057
MCCOY REYNALDO
208 SOUTH ST
VERNON CT 06066

39-065B-00020
ESS VILLA APARTMENT PROPERTIES LLC
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

Stoneledge Apts

39-065B-00015
EQUITY TRUST FBO MARK MCWILLIAMS IRA
58 TOWN WOODS RD
OLD LYME CT 06371

39-0621-00092
HORNISH GARRETT
1 BANCROFT RD
VERNON CT 06066

39-065B-00019
ESS VERNON PROPERTIES LLC
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

*zone change parcel
195 South St*

26-065B-00009
BARNAS THOMAS R & DONNA M
11 KNOLLWOOD DR
VERNON CT 06066-4306

39-062C-00058
DECARLI FRANCIS J
2 BANCROFT RD
VERNON CT 06066

39-065B-0018A
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

zone change parcel

39-065B-00021
GRANT TIMOTHY R & DEBORAH G ✓
166 VERNON AVE
VERNON CT 06066-4318

39-0621-0095B
MCNEILLY DARLENE R & ROBERT J III
218 SOUTH ST
VERNON CT 06066

39-0621-00091
PICARD MARCINE
3 BANCROFT RD
VERNON CT 06066

39-065B-00010
TOCONIS LEA R
9 KNOLLWOOD DR
VERNON CT 06066

39-0621-00096
GORMAN JAMES F JR & ZINA L TRUSTEES &
BEASLEY BILLY
228 SOUTH ST
VERNON CT 06066

39-062C-00054
ESS VILLA APARTMENT PROPERTIES LLC
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

Partico II Apts

39-065B-00012
JOHNSON MARTIN & MARTINA B
5 KNOLLWOOD DR
VERNON CT 06066-4306

39-0621-00090
BELCHER RICKEY L & KIM L
5 BANCROFT RD
VERNON CT 06066

39-065B-00013
THOMAS FREDERICK A & KATHLEEN A
3 KNOLLWOOD DR
VERNON CT 06066-4306

39-0621-0095A
STEFFENS NANCY J
224 SOUTH ST
VERNON CT 06066-4331

39-065B-00017
SANTINI ERIC A & SANTINI KEVIN W CO-TTEE
SANTINI REAL ESTATE TRUST
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

subject parcel

39-0621-00094
PUGLIESE ANTHONY R
214 SOUTH ST
VERNON CT 06066

39-065B-00016
BERRIAULT PAUL N ✓
215 SOUTH ST
VERNON CT 06066

39-065B-00011
ITZKOWITZ ALAN G
7 KNOLLWOOD DR
VERNON CT 06066-4306

39-065B-0015A
EQUITY TRUST FBO MARK MCWILLIAMS IRA
58 TOWN WOODS RD
OLD LYME CT 06371

*20 abutters
notices*

Abutters - 200' (CT Water Co Parcel)

39-065B-00020
ESS VILLA APARTMENT PROPERTIES LLC - Stoneledge Apts
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

39-065B-00019 - zone change parcel
ESS VERNON PROPERTIES LLC
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066
195 South St

39-065B-0018A - subject parcel
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

39-062C-00054 - Partico II Apts
ESS VILLA APARTMENT PROPERTIES LLC
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

39-065B-0016A
CONNECTICUT WATER CO
93 WEST MAIN ST ✓
CLINTON CT 06413-1600

39-065B-00021 ✓
GRANT TIMOTHY R & DEBORAH G
166 VERNON AVE
VERNON CT 06066-4318

39-065B-00017 - zone change parcel
SANTINI ERIC A & SANTINI KEVIN W CO-TTEE
SANTINI REAL ESTATE TRUST
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066
209 South St

39-065B-00016 ✓
BERRIAULT PAUL N
215 SOUTH ST
VERNON CT 06066

Absentees - 200' (195 South St)

39-065B-00020
ESS VILLA APARTMENT PROPERTIES LLC - *Stoneledge Apts*
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

39-065B-00019
ESS VERNON PROPERTIES LLC - *195 South St*
1031 HARTFORD TPKE *Subject parcel*
VERNON-ROCKVILLE CT 06066

39-065B-0018A - *Zone change parcel*
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

39-062C-00054
ESS VILLA APARTMENT PROPERTIES LLC - *Portico II Apts*
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

39-065B-0016A ✓
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

39-065B-00017
SANTINI ERIC A & SANTINI KEVIN W CO-TTEE - *zone change parcel*
SANTINI REAL ESTATE TRUST *209 South St*
1031 HARTFORD TPKE
VERNON-ROCKVILLE CT 06066

39-065B-00016 ✓
BERRIAULT PAUL N
215 SOUTH ST
VERNON CT 06066

February 28th, 2020

Vernon Planning and Zoning Commission
55 West Main Street
Vernon, CT 06066

Re: 195 South Street, Vernon

To Whom It May Concern:

Please be advised that the undersigned is the owner of land located at 195 South Street, Vernon, CT. In this regard, please take this letter as my consent to allow Eric and Kevin Santini, Co-Trustees of the Santini Real Estate Trust, to file an application with the Vernon Planning and Zoning Commission for a zone change of my property from R-22 to the Comprehensive Multi-Family Dwelling Zone.

If you have any questions, please do not hesitate to contact me.

Sincerely,
ESS Vernon Properties, LLC

By:  _____

Its Manager/Member 



45 Hartford Tpke
Vernon, CT 06066
ph: 860-646-1974
fax: 860-647-8302
kkc-law.com

22 Professional Park Road
Storrs, CT 06268
ph: 860-487-1842
fax: 860-487-1786

July 1, 2020

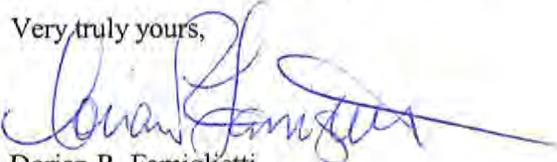
Vernon Planning and Zoning Commission
c/o Planning Department
55 West Main Street
Vernon, CT 06066

**Re: Zone Change, Special Permits, Preliminary Plan of Development – 195 & 209 South Street,
Vernon 7 MBL 39-065B-0018A**

To whom it may concern:

The purpose of this letter is to extend the deadline for opening the public hearing on the above referenced application until August 20, 2020. According to my calculations, the public hearing was originally required to be opened by May 9, 2020 (65 days from receipt). However, prior extensions of 68 days had been granted to allow the opening of the public hearing on July 16th. In light of the Town's continuing suspension of in-person meetings due to the COVID-19 virus, the applicant grants an additional extension of 35 days so that the hearing may be delayed until the August 20th meeting. To date, the total extension time granted is 103 days (65 days is authorized by CGS 8-7d and an addition 90 days is authorized by Governor Lamont's Executive Order 7I).

If you have any questions regarding this request, please do not hesitate to contact me. Thank you.

Very truly yours,

Dorian R. Famiglietti

cc: Kevin Santini
Eric Santini
Eric Peterson

MARCF
~~February~~ 3, 2020

Vernon Planning and Zoning Commission
55 West Main Street
Vernon, CT 06066

Re: South Street, MBL 39-065B-0018A, Vernon

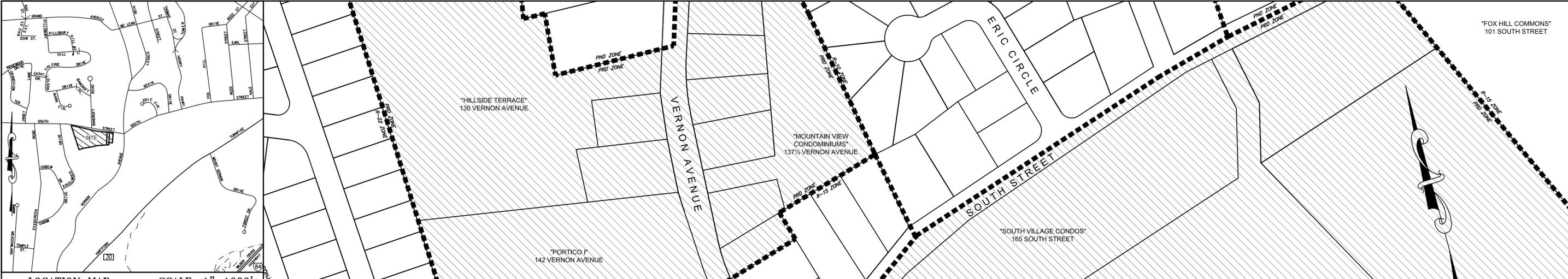
To Whom It May Concern:

Please be advised that the undersigned is the owner of land located on South Street, known as MBL 39-065B-0018A, Vernon, CT. In this regard, please take this letter as my consent to allow Eric and Kevin Santini, Co-Trustees of the Santini Real Estate Trust, to file an application with the Vernon Planning and Zoning Commission for a zone change of my property from R-22 to the Comprehensive Multi-Family Dwelling Zone.

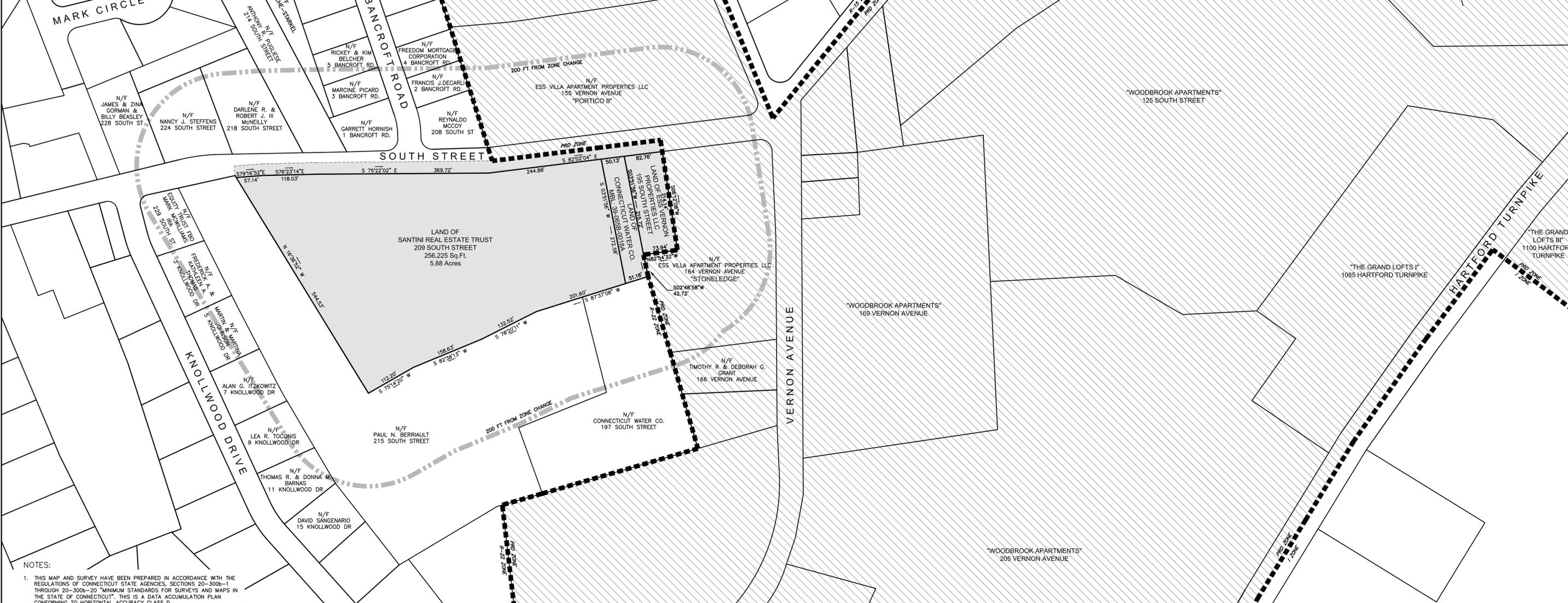
If you have any questions, please do not hesitate to contact me.

Sincerely,
The Connecticut Water Company

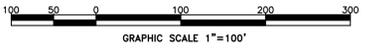
By 
CRAIG PATRA
Its VICE PRESIDENT



LOCATION MAP SCALE: 1"=1000'



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS A DATA ACCUMULATION PLAN CONFORMING TO HORIZONTAL ACCURACY CLASS D.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - "PROPERTY SURVEY SOME LAND OF EVANDRO S. SANTINI VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES, DATE: 2-12-97. MAP NO: 9409-2.
 - "IMPROVEMENT LOCATION SURVEY PREPARED FOR WOODBROOK, LLC 169 & 205 VERNON AVE. & 125 SOUTH ST. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES, LLC. DATE: 7-8-2014, REVISED 7-14-2014. MAP NO: 6598-GRD-WD.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED ON CGS NAD 83. ELEVATIONS DEPICTED HEREON ARE ON THE NGVD 29 DATUM BASED ON THE ELEVATION FOR STATION NUMBER 6287X OBTAINED FROM THE TOWN OF VERNON ENGINEERING DEPARTMENT VERNON AVENUE RECONSTRUCTION PROJECT.
 - THIS SITE IS ENTIRELY LOCATED OUTSIDE OF THE STRATIFIED DRIFT AQUIFER AND PRIMARY RECHARGE AREA PER THE TOWN OF VERNON AQUIFER MANAGEMENT STUDY, AUGUST 1992.



ZONING TABLE:

	CMED_ZONE	RESIDENTIAL_22
MIN. LOT AREA	1 Acre	22,000 Sq.Ft.
MIN. LOT WIDTH	150 FEET	125 FEET
MIN. FRONT YARD	50 FEET	30 FEET
MIN. SIDE YARD	20 FEET	10 FEET
MIN. REAR YARD	50 FEET	20 FEET

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

DATA ACCUMULATION PLAN
ZONE CHANGE MAP

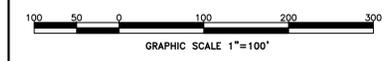
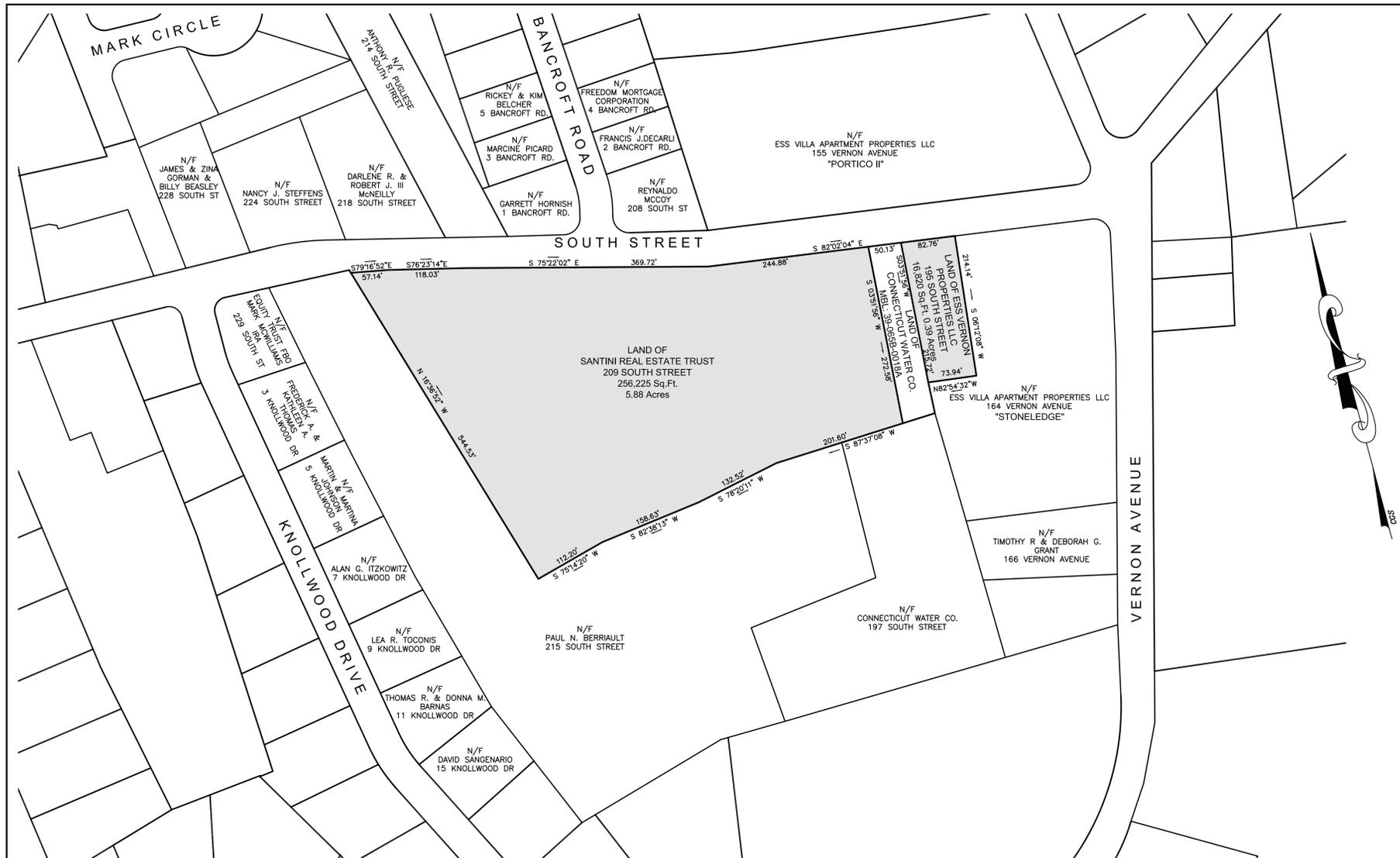
FROM R-22 ZONE TO THE COMPREHENSIVE
MULTI-FAMILY DWELLING ZONE
195 & 209 SOUTH STREET AND
MBL: 39-065B-0018A
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS		SCALE	DATE	SHEET NO.	MAP NO.
BY	E.R.P.	1"=100'	02-23-2020	1 OF 1	9409 Z



ZONING TABLE:

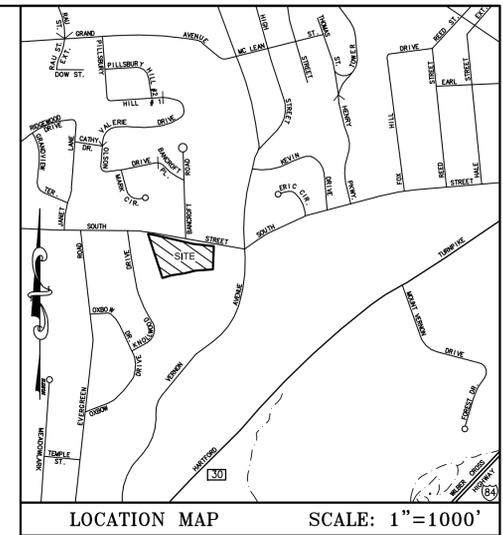
	REQUIRED	PROVIDED
MIN. LOT AREA	1 Acre	5.88 Acres
MIN. LOT WIDTH	150 FEET	789.77 FEET
MIN. FRONT YARD	50 FEET	51 FEET
MIN. SIDE YARD	20 FEET	25 FEET
MIN. REAR YARD	50 FEET	52 FEET
MIN. FLOOR AREA (1-BR)	550 sq.ft.	>550 sq.ft.*
(2-BR)	675 sq.ft.	>675 sq.ft.*

*SEE BUILDING PLANS

TABLE OF RATIOS:
 SECTION 4.7.5 OF THE ZONING REGULATIONS
 HALF THE DWELLINGS WILL CONTAIN 2 BEDROOMS AND HALF WILL CONTAIN 1 BEDROOM
 TABLE (A) REQUIRES: 5,500sq.ft. OF LAND AREA PER 2-BR DWELLING
 3,500sq.ft. OF LAND AREA PER 1-BR DWELLING
 REQUIRED: 28x5,500 + 28x3,500 = 252,000 sq.ft.
 PROVIDED: 256,225 sq.ft.

SECTION 4.7.6 OF THE ZONING REGULATIONS
 THIS SECTION DOES NOT OUTLINE A MULTIPLYING FACTOR FOR THE COMPREHENSIVE MULTI-FAMILY DWELLING ZONE.
 LIVABILITY AREA REQUIRED: = N/A
 GROSS FLOOR AREA = 2x14,636+3x16,908 = 79,996 sq.ft.
 LIVABILITY AREA PROVIDED = 138,424 (209 South Street) + 16,820 (195 South Street)
 = 155,244 sq.ft.
 PROPOSED FACTOR = 1.94

PARKING TABLE:
 REQUIRED: (2) SPACES PER DWELLING UNIT or 112 SPACES
 PROVIDED: 62 GARAGE SPACES + 72 OUTDOOR SPACES = 134 SPACES



NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 WITHIN THE BOUNDARY OF 209 SOUTH STREET. OTHER TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-D.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 A. "PROPERTY SURVEY SOME LAND OF EVANDRO S. SANTINI VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES, DATE: 2-12-97. MAP NO: 9409-2.
 B. "IMPROVEMENT LOCATION SURVEY PREPARED FOR WOODBROOK, LLC 169 & 205 VERNON AVE. & 125 SOUTH ST. VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES, LLC. DATE: 7-8-2014, REVISED 7-14-2014. MAP NO.: 6598-GRD-WD.
- BEARINGS DEPICTED ON THIS PLAN ARE BASED ON CGS NAD 83. ELEVATIONS DEPICTED HEREON ARE ON THE NGVD 29 DATUM BASED ON THE ELEVATION FOR STATION NUMBER 6287X OBTAINED FROM THE TOWN OF VERNON ENGINEERING DEPARTMENT VERNON AVENUE RECONSTRUCTION PROJECT.
- THIS PARCEL IS ENTIRELY LOCATED OUTSIDE OF THE STRATIFIED DRIFT AQUIFER AND PRIMARY RECHARGE AREA PER THE TOWN OF VERNON AQUIFER MANAGEMENT STUDY, AUGUST 1992.
- THIS PARCEL IS LOCATED WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER "FIRM FLOOD INSURANCE RATE MAP TOWN OF VERNON, CONNECTICUT TOLLAND COUNTY ONLY PANEL PRINTED COMMUNITY-PANEL NUMBER 090131 0005 C. MAP REVISED AUGUST 9, 1999 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THE TOWN OF VERNON INLAND WETLAND MAP DOES NOT DEPICT WETLANDS ON OR WITHIN 100 FEET OF THIS PARCEL.
- FINAL LOCATION OF UNDERGROUND UTILITIES SHALL BE APPROVED BY THE GOVERNING UTILITY COMPANY PRIOR TO THE START OF UTILITY CONSTRUCTION. FINAL LOCATION OF FIRE HYDRANTS SHALL BE APPROVED BY THE VERNON FIRE MARSHALL.
- RETAINING WALLS DEPICTED ON THESE PLANS ARE TO BE DESIGNED BY OTHERS PRIOR TO OBTAINING BUILDING PERMITS.
- ALL ROOF DRAINS SHALL BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE SYSTEM UNLESS OTHERWISE NOTED ON THESE PLANS.
- LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES MUST BE CONFIRMED PRIOR TO CONSTRUCTION.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- ALL BUILDING AND UNIT NUMBERS ARE TO BE CLEARLY MARKED FOR EASY IDENTIFICATION BY TENANTS AND EMERGENCY RESPONDERS.
- THE MAINTENANCE OF ROADS AND PARKING AREAS TO BE RETAINED UNDER PRIVATE OWNERSHIP SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND IN COMPLIANCE WITH THE TOWN OF VERNON ZONING REGULATIONS.
- VOLUME 1099 PAGES 23-25 OF THE TOWN OF VERNON LAND RECORDS GRANTS 209 SOUTH STREET A RIGHT TO DRAIN SURFACE AND STORM WATER ONTO AND INTO THE DRAINAGE SYSTEM LOCATED ON PARCEL 39-0558-0018A CURRENTLY OWNED BY THE CONNECTICUT WATER CO.

APPROVED BY THE TOWN OF VERNON
 PLANNING & ZONING COMMISSION

 Chairman Date: _____

 Secretary Date: _____

Eric R. Peterson
 ERIC R. PETERSON P.E. 23430
 REGISTRATION NO.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
 CORRECT AS NOTED HEREON.

Eric R. Peterson
 ERIC R. PETERSON L.S. 23430
 REGISTRATION NO.

OWNER/APPLICANT:
 SANTINI REAL ESTATE TRUST
 1031 HARTFORD TURNPIKE
 VERNON, CONNECTICUT 06066

IMPROVEMENT LOCATION SURVEY
 PRELIMINARY PLAN OF DEVELOPMENT
 THE GRAND LOFTS WEST
 195 & 209 SOUTH STREET
 VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

REVISIONS		PROFESSIONAL ENGINEERS LAND SURVEYORS			
BY	SCALE	DATE	SHEET NO.	MAP NO.	
E.R.P.	1"=100'	02-23-2020	1 OF 7	9409 B	

REVISIONS
 04/21/2020

N/F
ESS VILLA APARTMENT PROPERTIES LLC
155 VERNON AVENUE
"PORTICO II"

N/F
NANCY J. STEFFENS
224 SOUTH STREET

N/F
DARLENE R. &
ROBERT J. III McNEILLY
218 SOUTH STREET

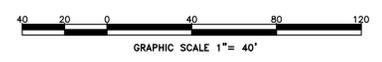
N/F
ANTHONY R. PUGLIESE
214 SOUTH STREET

N/F
GARRETT HORNISH
1 BANCROFT RD.

N/F
REYNALDO MCCOY
208 SOUTH ST



EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
○	IRON PIN/PIPE FOUND	○
---	ELEVATION CONTOUR	---
•	SPOT ELEVATION	•
---	TREE LINE	---
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
○	STORM MANHOLE	○
○	YARD DRAIN	○
---	ROOF DRAIN	---
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	LIGHT	---
---	UTILITY POLE	---
---	SIGN	---
---	TEST PIT	---
---	SOIL CLASSIFICATION	---



Eric R. Peterson
ERIC R. PETERSON P.E. 23430
REGISTRATION NO.

REFER TO SHEET 1 FOR SURVEY NOTES AND CERTIFICATION.
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON L.S. 23430
REGISTRATION NO.

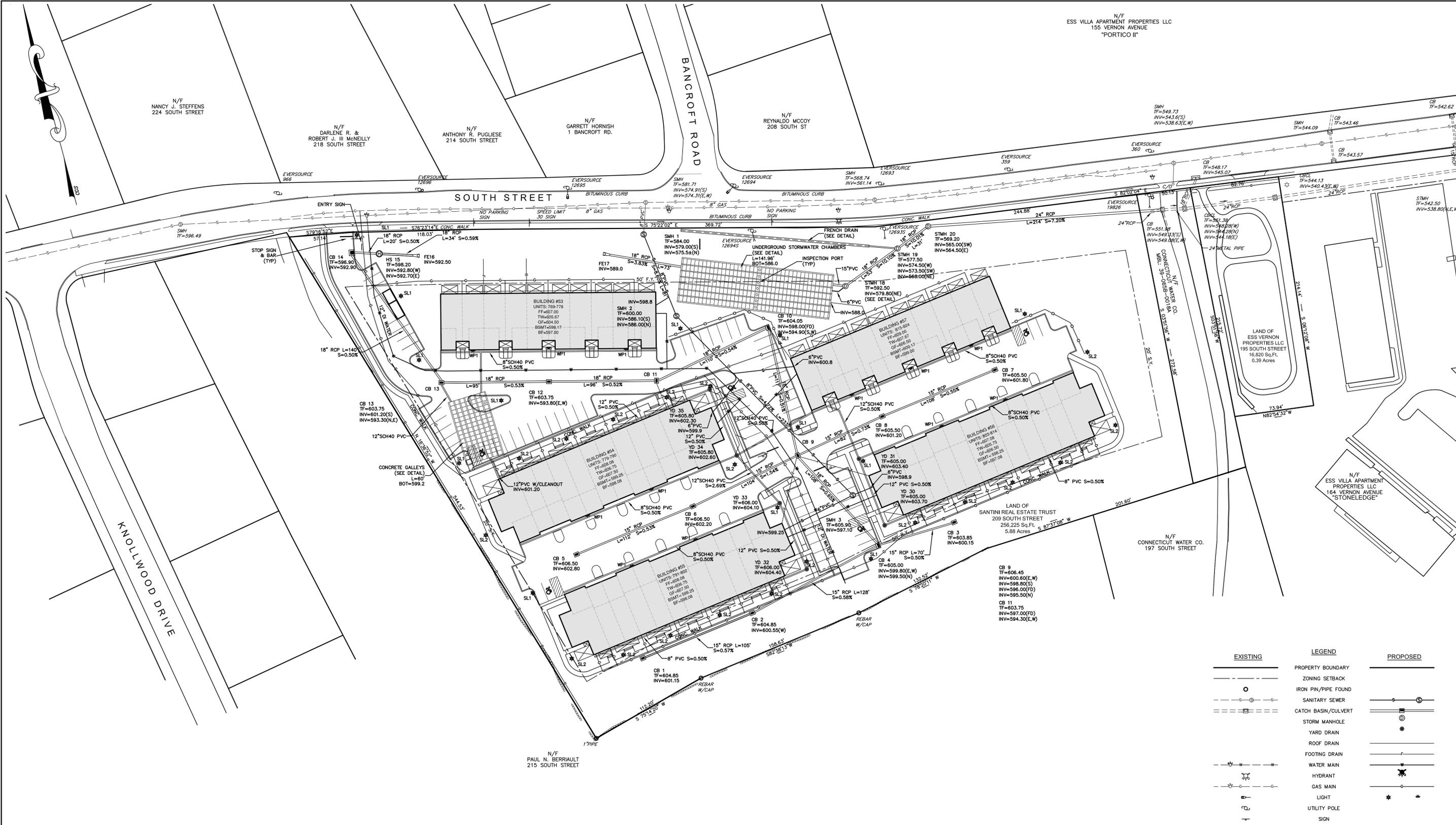
IMPROVEMENT LOCATION SURVEY
PRELIMINARY PLAN OF DEVELOPMENT
SITE GRADING PLAN
THE GRAND LOFTS WEST
195 & 209 SOUTH STREET
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

REVISIONS 04/21/2020

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	02-23-2020	2 OF 7	9409 B

9409B.dwg 9409B.dwg



N/F
ESS VILLA APARTMENT PROPERTIES LLC
155 VERNON AVENUE
"PORTICO II"

N/F
NANCY J. STEFFENS
224 SOUTH STREET

N/F
DARLENE R. &
ROBERT J. III McNEILLY
218 SOUTH STREET

N/F
ANTHONY R. PUGLIESE
214 SOUTH STREET

N/F
GARRETT HORNISH
1 BANCROFT RD.

N/F
REYNALDO MCCOY
208 SOUTH ST

SMH
TF=549.73
INV=543.6(S)
INV=538.6(E,W)

SMH
TF=544.09
INV=543.46

CB
TF=542.02

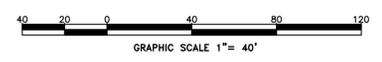
KNOLLWOOD DRIVE

N/F
PAUL N. BERRIAULT
215 SOUTH STREET

N/F
CONNECTICUT WATER CO.
197 SOUTH STREET

N/F
ESS VILLA APARTMENT
PROPERTIES LLC
164 VERNON AVENUE
"STONELEDGE"

EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
○	IRON PIN/PIPE FOUND	○
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
○	STORM MANHOLE	○
○	YARD DRAIN	○
---	ROOF DRAIN	---
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
○	LIGHT	○
---	UTILITY POLE	---
---	SIGN	---



EXTERIOR LIGHTING SPECIFICATIONS:

SYMBOL	LABEL	QTY	MOUNTING HEIGHT	DESCRIPTION
★	SL1	13	12'	B8330 LED-T5-D4A-30-30K-T5M
★	WP1	12	23'	LED-WPFC-ADJ-35W-50K-BZ IES
★	SL2	19	7'	B8330 LED Hld-T5-D4A-30-30K-T5M

EXTERIOR LIGHTING DESIGN BY:
LANGLAIS GROUP INC
11 SEA PAVE ROAD
SOUTH WINDSOR, CT 06074

Eric R. Peterson
ERIC R. PETERSON
P.E. 23430
REGISTRATION NO.

REFER TO SHEET 1 FOR SURVEY NOTES AND CERTIFICATION.
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

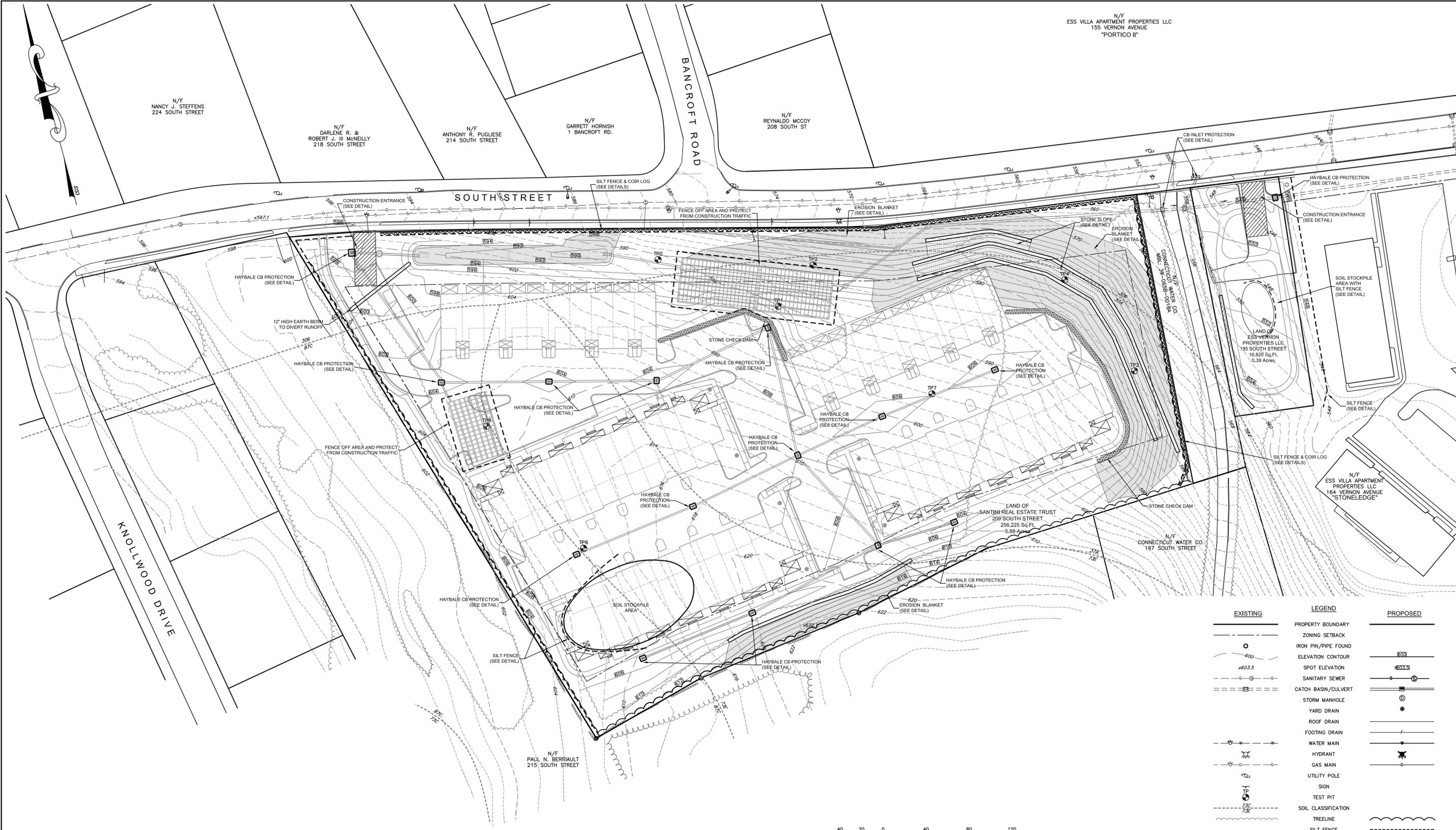
IMPROVEMENT LOCATION SURVEY
PRELIMINARY PLAN OF DEVELOPMENT
SITE UTILITY PLAN
THE GRAND LOFTS WEST
195 & 209 SOUTH STREET
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

REVISIONS
04/21/2020

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	02-23-2020	3 OF 7	9409 B

9409B.dwg 9409B.dwg



N/F
ESS VILLA APARTMENT PROPERTIES LLC
155 VERNON AVENUE
"PORTICO II"

N/F
NANCY J. STEFFENS
224 SOUTH STREET

N/F
DARLENE R. &
ROBERT J. III McNEILLY
218 SOUTH STREET

N/F
ANTHONY R. PUGLIESE
214 SOUTH STREET

N/F
GARRETT HORNISH
1 BANCROFT RD.

N/F
REYNALDO MCCOY
208 SOUTH ST

SOUTH STREET

BANCROFT ROAD

KNOLLWOOD DRIVE

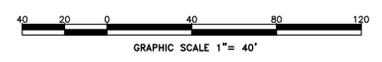
N/F
PAUL N. BERRIAULT
215 SOUTH STREET

LAND OF
SANTINI REAL ESTATE TRUST
209 SOUTH STREET
296,225 Sq.Ft.
5.88 Acres

LAND OF
ESS VERNON
PROPERTIES LLC
195 SOUTH STREET
16,800 Sq.Ft.
0.39 Acres

N/F
ESS VILLA APARTMENT
PROPERTIES LLC
164 VERNON AVENUE
"STONELEDGE"

EXISTING	LEGEND	PROPOSED
---	PROPERTY BOUNDARY	---
---	ZONING SETBACK	---
○	IRON PIN/PIPE FOUND	○
---	ELEVATION CONTOUR	---
x603.5	SPOT ELEVATION	x603.5
---	SANITARY SEWER	---
---	CATCH BASIN/CULVERT	---
---	STORM MANHOLE	---
---	YARD DRAIN	---
---	FOOT DRAIN	---
---	FOOTING DRAIN	---
---	WATER MAIN	---
---	HYDRANT	---
---	GAS MAIN	---
---	UTILITY POLE	---
---	SIGN	---
---	TEST PIT	---
---	SOIL CLASSIFICATION	---
---	TREELINE	---
---	SILT FENCE	---
---	COIR LOG	---



SOIL TYPE LEGEND
(Per NRCS Web Soil Survey)
37A MANCHESTER GRAVELLY SANDY LOAM, 0 TO 3 PERCENT SLOPES
73C CHARLTON-CHATFIELD COMPLEX, 3 TO 15 PERCENT SLOPES, VERY ROCKY
73E CHARLTON-CHATFIELD COMPLEX, 15 TO 45 PERCENT SLOPES, VERY ROCKY
87C WETHERSFIELD LOAM, 8 TO 15 PERCENT SLOPES
306 UDORHTENTS-URBAN LAND COMPLEX

Eric R. Peterson
ERIC R. PETERSON P.E. 23430
REGISTRATION NO.

REFER TO SHEET 1 FOR SURVEY NOTES AND CERTIFICATION.
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON L.S. 23430
REGISTRATION NO.

IMPROVEMENT LOCATION SURVEY				
PRELIMINARY PLAN OF DEVELOPMENT				
EROSION & SEDIMENT CONTROL PLAN				
THE GRAND LOFTS WEST				
195 & 209 SOUTH STREET				
VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS LAND SURVEYORS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	02-23-2020	4 OF 7	9409 B
REVISIONS		04/21/2020		

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Maintenance Item	Frequency	Maintenance
Underground Stormwater Chambers	Visual Inspection Semi-Annually	<ul style="list-style-type: none"> Remove inspection port caps to verify that runoff has infiltrated & leaves/debris are not collecting in system. Check sediment depth and vacuum when 6" of sediment has accumulated.
Catch Basins	Monthly	<ul style="list-style-type: none"> Inspect grates for litter and debris and remove as needed
	Annually	<ul style="list-style-type: none"> Remove sediment in sumps immediately after spring snowmelt
Grass Swale	Monthly	<ul style="list-style-type: none"> Maintain grass at a height of 4 to 6 inches during the growing season
	Semi-Annually	<ul style="list-style-type: none"> Remove debris/sediment in swale
	Semi-Annually	<ul style="list-style-type: none"> Check for evidence of water overflowing swale.
Hydrodynamic Separator	Inspect Quarterly During Construction and Inspect Annually for Stabilized Site	<ul style="list-style-type: none"> Remove Oil if there is an appreciable depth of oil in the unit (more than a sheen) Remove Floatables when floatables other than oil cover over 50% of the open water surface on the inlet side of the outlet baffle wall. Remove ISS/sediment when depths are greater than 30" in the inner chamber during construction or greater than 14" post-construction

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEST PIT DATA:
OBSERVED BY M. PETERSON P.E.
01/06/2020

TP0:
0-9" TOPSOIL
9-30" BROWN FINE SANDY LOAM
30-126" VERY COMPACT RED/BR. SANDY LOAM
NO LEDGE, SEEPAGE, ROOTS TO 30"
MOTTLING INDISTINCT

TP1:
0-7" TOPSOIL
7-23" BROWN SANDY LOAM
23-120" RED/BR. COMPACT SANDY LOAM
MOTTLING INDISTINCT NO LEDGE
SEEPAGE @ 70" ROOTS TO 26"
PERM #7 @ 16": KAVE=4.1 ft/day
PERM #1 @ 27": KAVE=1.7 ft/day

TP2:
0-9" TOPSOIL
9-26" BROWN SANDY LOAM
26-120" RED/BR. COMPACT SANDY LOAM
MOTTLING INDISTINCT NO LEDGE
SEEPAGE @ 90" NO ROOTS

TP3:
0-10" TOPSOIL
10-26" LT. BROWN FINE SANDY LOAM
26-44" RED BROWN COMPACT LOAM
LEDGE @ 44"

TP4:
0-7" TOPSOIL
7-24" RED/BR. SANDY LOAM
24-60" RED/BR. COMPACT SANDY LOAM
GWT @ 54" LEDGE @ 60"
NO ROOTS MOTTLING INDISTINCT
PERM #12 @ 20": KAVE=2.7 ft/day

TP 6:
0-10" TOPSOIL
10-23" BR. SANDY LOAM
23-120" RED/BR. SANDY LOAM
NO LEDGE, SEEPAGE, ROOTS
PERM #3 @ 18": KAVE=2.7 ft/day
PERM #2 @ 60": KAVE=2.7 ft/day

TP 7:
0-5" TOPSOIL
5-26" BROWN SANDY LOAM
26-120" COMPACT RED SANDY LOAM
SEEPAGE @ 96"
PERM #1 @ 20": KAVE=2.7 ft/day

TP8:
0-11" TOPSOIL
11-36" SANDY LOAM W/ LARGE COURSE GRAVEL
36-114" COMPACT RED LOAM W/ SOME SAND & GRAVEL
NO LEDGE, SEEPAGE, ROOTS
MOTTLING INDISTINCT
PERM #71 @ 24": KAVE=84 ft/day

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	1.0	3/1-6/15, 8/1-10/15
WINTER RYE	120	3.0	4/15-7/1, 6/15-10/15
SUDANGRASS	30	0.7	5/15-8/1

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDING AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	20	0.45	4/1-6/15, 8/15-10/1
CREeping RED FESCUE	20	0.45	4/1-6/15, 8/15-10/1
PERENNIAL RYEGRASS	10	0.10	4/1-6/15, 8/15-10/1
TOTAL	45	1.00	

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

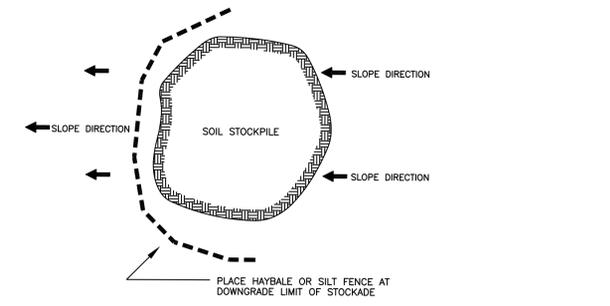
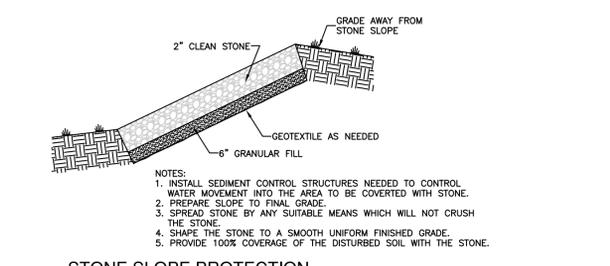
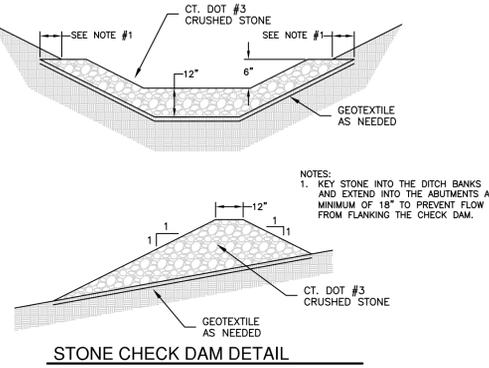
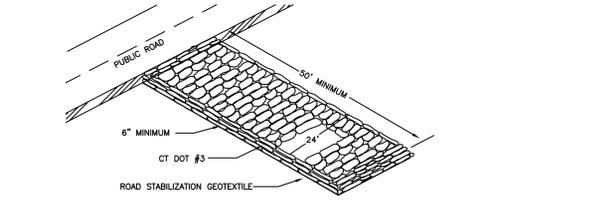
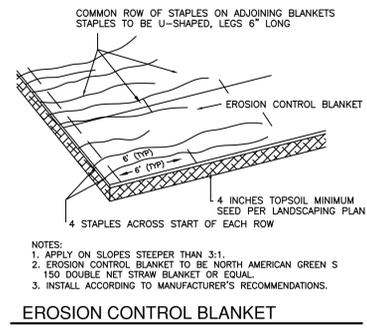
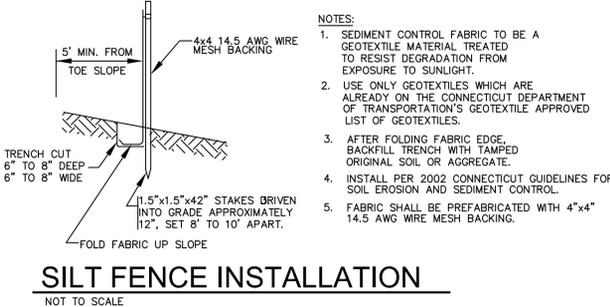
CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: THE GRAND LOFTS WEST
LOCATION: 195 & 209 SOUTH STREET - VERNON, CT
PROJECT DESCRIPTION: APARTMENT COMPLEX
PARCEL AREA: 6.27 AC.
RESPONSIBLE PERSONNEL: KEVIN SANTINI, 1031 HARTFORD TPKE, VERNON, CT 860-871-0516

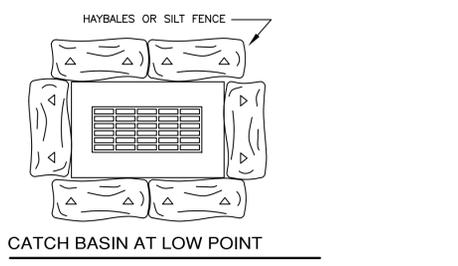
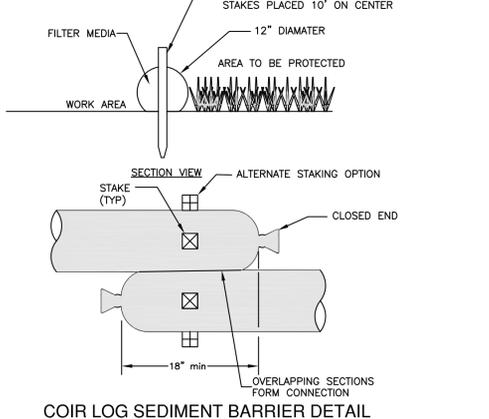
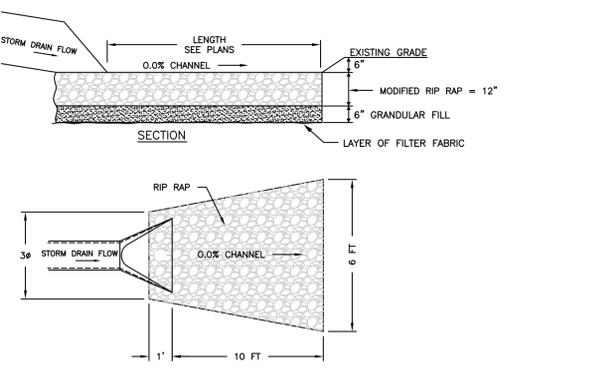
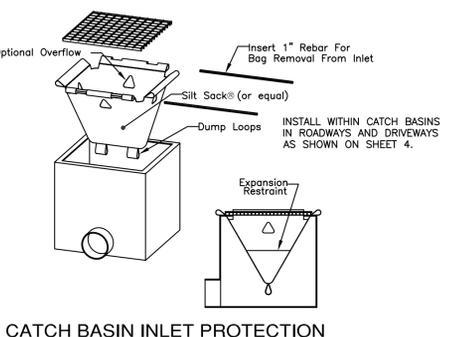
WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CLEAR TREES AND BRUSH	INSTALL ANTI-TRACKING PAD		
REMOVE STUMPS	INSTALL SILT FENCE BARRIERS DOWNGRADE OF CONSTRUCTION ACTIVITY AS SHOWN		
ROUGH GRADE SITE	INSTALL INLET PROTECTION IN EXISTING CATCH BASINS PROTECT INFILTRATION GALLEY AREAS FROM DISTURBANCE AND COMPACTION		
INSTALL RETAINING WALLS	PROTECT STOCKPILE AREAS WITH SILT FENCE INSTALL CHECK DAMS AT TOP OF EASTERLY AND NORTHERLY SLOPES TOPSOIL SEED AND MULCH SLOPES		
EXCAVATE FOR BUILDING FOUNDATIONS	INSTALL EROSION BLANKET ON SLOPES STEEPER THAN 3:1 INSPECT AND MAINTAIN SEDIMENT BARRIERS WEEKLY AND AFTER RAIN EVENTS OVER 0.5-INCH.		
INSTALL SEWER, DRAINAGE AND UTILITIES	INSTALL HAYBALES AROUND NEW CATCH BASIN INLETS ONCE INSTALLED		
INSTALL PAVEMENT BINDER COAT IN AREAS WHERE FOUNDATIONS AND UTILITIES ARE COMPLETE	TOPSOIL, SEED AND MULCH AREA ADJACENT TO EACH BUILDING AS IT IS COMPLETED		
FINAL GRADE AND FINAL PAVE	TOPSOIL, SEED AND MULCH REMAINDER OF SITE REMOVE SEDIMENT FROM DRAINAGE STRUCTURES REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START: SEPTEMBER 1, 2020
DATE OF CONSTRUCTION COMPLETION: NOVEMBER 30, 2021

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.



- INSTALLATION INSTRUCTIONS:**
- CLEAR THE INSTALLATION AREA OF ANY DEBRIS, TREES, ROCKS OR LARGE OBSTRUCTIONS. SOCKS ARE DESIGNED TO COME IN CONTACT WITH THE SOIL, SO ANY STUMPS OR POTENTIAL OBSTRUCTIONS SHOULD BE REMOVED.
 - DIG A SHALLOW TRENCH IN THE LOCATION WHERE THE LOGS NEED TO BE PLACED.
 - PLACE THE LOGS IN THE TRENCH AND BACKFILL WITH SOIL SO THAT THE LOGS ARE TIGHTLY PACKED AGAINST THE SLOPE. ADJACENT LOGS SHOULD BE EITHER POSITIONED SO THAT THE ENDS FIT TIGHTLY AGAINST EACH OTHER AND ENDS SHOULD BE JOINED/SECURED TOGETHER WITH COIR TWINE OR OTHER SUITABLE TIES OR OVERLAPPED AS DESCRIBED BELOW.
 - FILTER MEDIA TO BE A COARSE COMPOSTED MATERIAL SPECIFICALLY DESIGNED FOR REMOVAL OF SOLIDS AND SOLUBLE POLLUTANTS FROM STORMWATER RUNOFF.
 - 10 L.F. ON EACH END SHALL BE PLACED AT A 30° ANGLE UP-SLOPE TO PREVENT END-AROUND FLOW.



TURF MANAGEMENT PLAN

- Soil Testing**
A composite soil sample from the subject property will be collected and delivered to a University of Connecticut Cooperative Extension office for testing of soil nutrient levels (i.e., pH, nitrogen, phosphorus, calcium, magnesium, potassium) prior to a fertilizer application. The Extension office will recommend a fertilizer application rate based upon these test results. The actual fertilizer application rate will follow this recommendation. This will ensure against an excessive fertilizer application, which could lead to chemical leaching or export.
- Slow-Release Fertilizers**
Slow-release fertilizers will be applied to lawns, planted trees and shrubs. These can include, but are not limited to, organic-based fertilizers. A variety of commercial slow-release nitrogen fertilizer products are available (e.g., Milorganite, isobutylidene diurea, coated ureas, etc.). Advantages of slow-release fertilizers include the supply of a steady nitrogen source, and reduced nitrogen leaching. By combining small amounts of soluble nitrogen sources with slow release nitrogen products, nitrogen availability can be extended without a threat of leaching.
- Fertilizer Application Schedule**
Fertilizer will be applied three times annually to the subject property: early to late May (after the threat of cool, wet weather has passed), late August to early September, and mid-September to mid-October. If the soil test indicates a need for lime, it will be applied at the last fertilization date.
- Integrated Pest Management (IPM)**
IPM is an integrated, preventative approach to maintaining healthy turf and landscape plants. IPM recognizes that, although chemicals are an important component of a turf management plan, other strategies are available to maintain a healthy lawn. A central premise of IPM is to treat pest problems as they arise on an as-needed basis only, using a variety of biological (e.g., natural predators), chemical and cultural (e.g., disease-resistant seed) practices.
To be successful, IPM requires periodic monitoring by an experienced practitioner to detect pest problems at an early stage and develop an effective, environmentally responsible action plan. It is recommended that the contractor that is hired to maintain the grounds have training and experience in the practice of IPM.

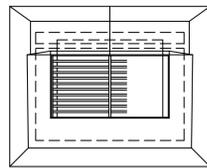
PROJECT NARRATIVE
The purpose of this project is to construct five new apartment buildings and the driveways, parking and utilities to service them. The proposed buildings are to be serviced by public sanitary sewer and water, and the new buildings will be accessed by the existing curb cut off South Street. Excavation and fill operations will be conducted to prepare the site for this multi-family development and not for sale or use of products and materials off-site.
Construction will be completed in a single phase. Construction activities shall commence with the installation of the construction entrance. Tree cutting may follow. Sedimentation barriers shall be installed prior to stumping. The infiltration gully areas shall be protected from construction activities and compaction prior to rough grading. Inspect condition of sedimentation barriers prior to rough grading. The slopes adjacent to the proposed retaining wall shall be graded and stabilized with an erosion blanket immediately following the installation of the adjacent wall.
Installation of the drainage structures, and piping shall proceed as the construction schedule allows. Leave grade 6" below catch basin tops to prevent silt laden runoff from entering the drainage system. The grade in the parking areas adjacent to fill slopes are to be left 12" below the top of slope. A stone check dam is to be installed at the top of slope as depicted on these plans.

Completion of storm drainage and utility installation is to be followed by placing processed gravel, and final grading of the paved areas. The first coat of pavement shall be installed once all foundations have been poured. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the basin will be removed and the sediment will be seeded as depicted on these plans.
Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.

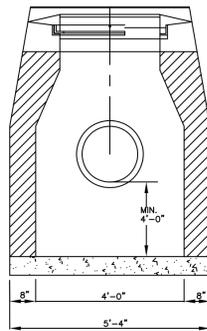
PRELIMINARY PLAN OF DEVELOPMENT

EROSION & SEDIMENT CONTROL NOTES & CONSTRUCTION DETAILS
THE GRAND LOFTS WEST
195 & 209 SOUTH STREET
VERNON, CONNECTICUT

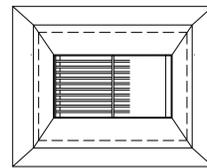
GARDNER & PETERSON ASSOCIATES, LLC		178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT	
PROFESSIONAL ENGINEERS	LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.
E.R.P.	N.T.S.	02-23-2020	5 OF 7
		MAP NO.	9409B



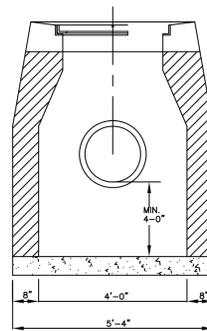
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'A' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



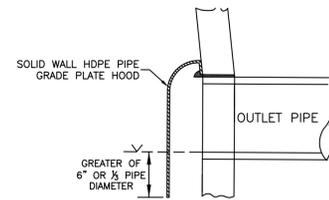
TYPE "C" CATCH BASIN



- NOTES:
1. TYPE 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
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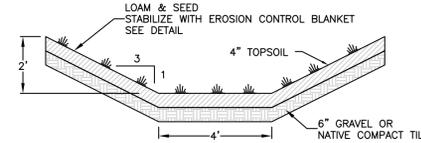


TYPE "C-L" CATCH BASIN



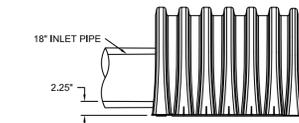
CATCH BASIN HOOD DETAIL (CB 14)

- NOTES:
1. HOOD SHALL BE E.J. PRESCOTT, INC. HDPE CATCH BASIN HOOD OR EQUAL.
 2. HOOD SHALL BE FABRICATED TO FIT SHAPE OF THE STRUCTURE.
 3. HOOD SHALL BE SEALED TO THE STRUCTURE WITH AN OIL RESISTANT FOAM GASKET.
 4. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO PROVIDE AIR FLOW INTO PIPE.
 5. HOOD SHALL BE INSTALLED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS AS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

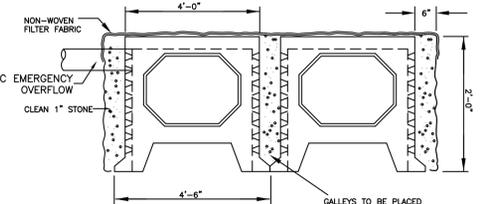


GRASS-LINED SWALE

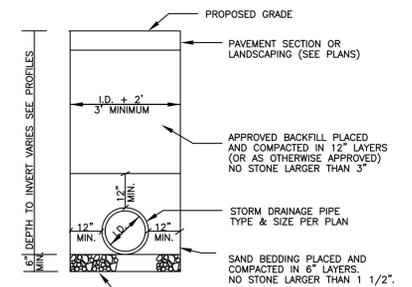
- HYDRODYNAMIC SEPARATOR REQUIREMENTS:
- The hydrodynamic separator located at HS 15 must be designed to remove a minimum of 80% of the total suspended solids from the water quality flow of 1.14 cfs with an internal bypass of the 10-year design storm flow of 6.3 cfs. The system must first be approved by the design engineer then submitted to the town for review prior to fabrication. Shop drawing submittals must include:
- "treated" flow for the specified system and model, which must be equal or exceed the water quality flow
 - "conveyed" flow for the specified system and model, which must be equal or greater than the design storm flow
 - calculations or documentation verifying that 80% (min.) of the average annual total suspended solids will be removed from the water quality flow
 - calculations of the hydraulic grade line elevations for the design storm event in the first structure located upstream of the system and any other critical locations
 - orientation of the system in plan view with respect to the approved site plan (if different than shown on the approved plans)
 - proposed size and elevation of critical weir, orifice, pipe invert elevations, and other design elements that correspond to the hydraulic characteristics of the system



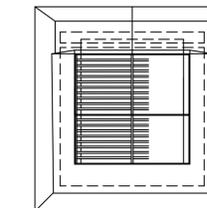
CULTECH INVERTS



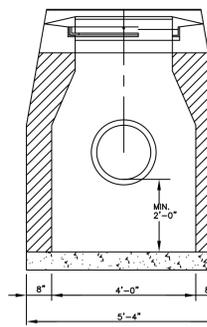
CONCRETE INFILTRATION GALLERY



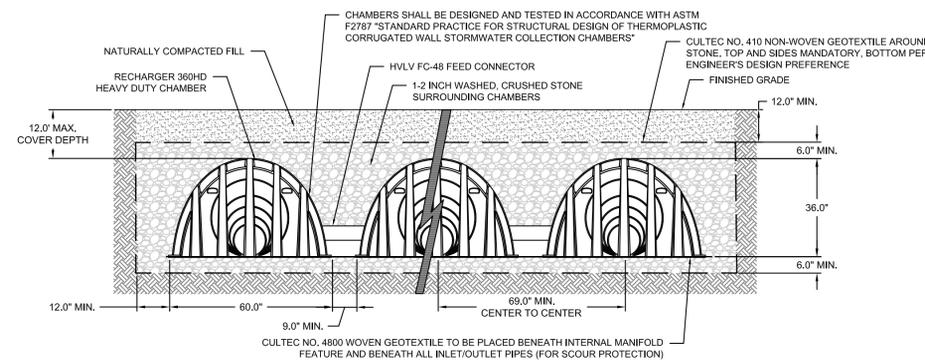
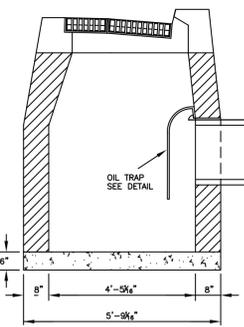
STORM DRAIN TRENCH DETAIL



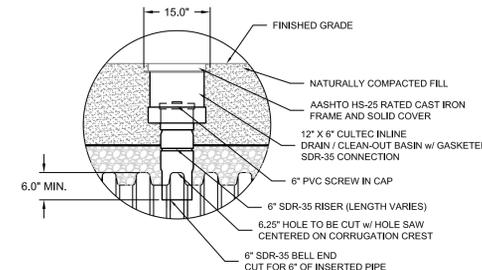
- NOTES:
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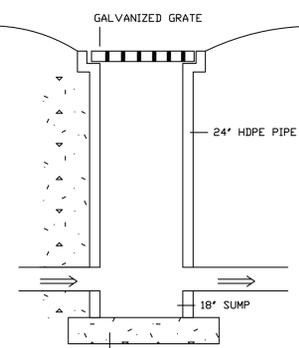
DOUBLE CATCH BASIN "C" TYPE I (CB 14)



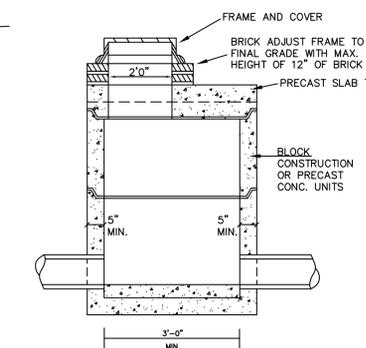
CULTECH RECHARGER 360HD CROSS SECTION (OR EQUAL)



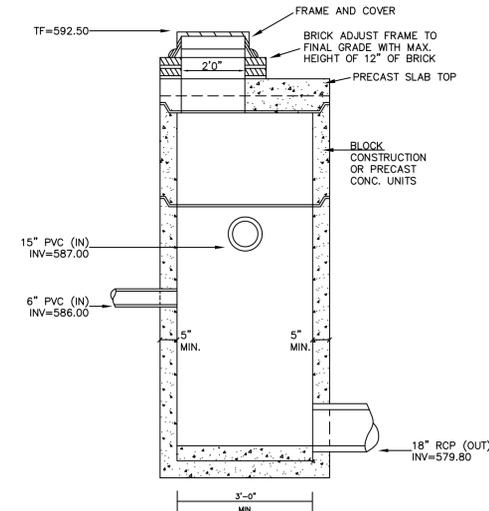
INSPECTION PORT



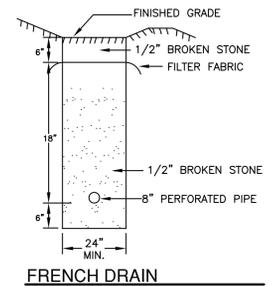
YARD DRAIN



STORM MANHOLE



OUTLET STRUCTURE: STMH#18



FRENCH DRAIN

PRELIMINARY PLAN OF DEVELOPMENT

CONSTRUCTION DETAILS

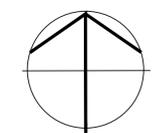
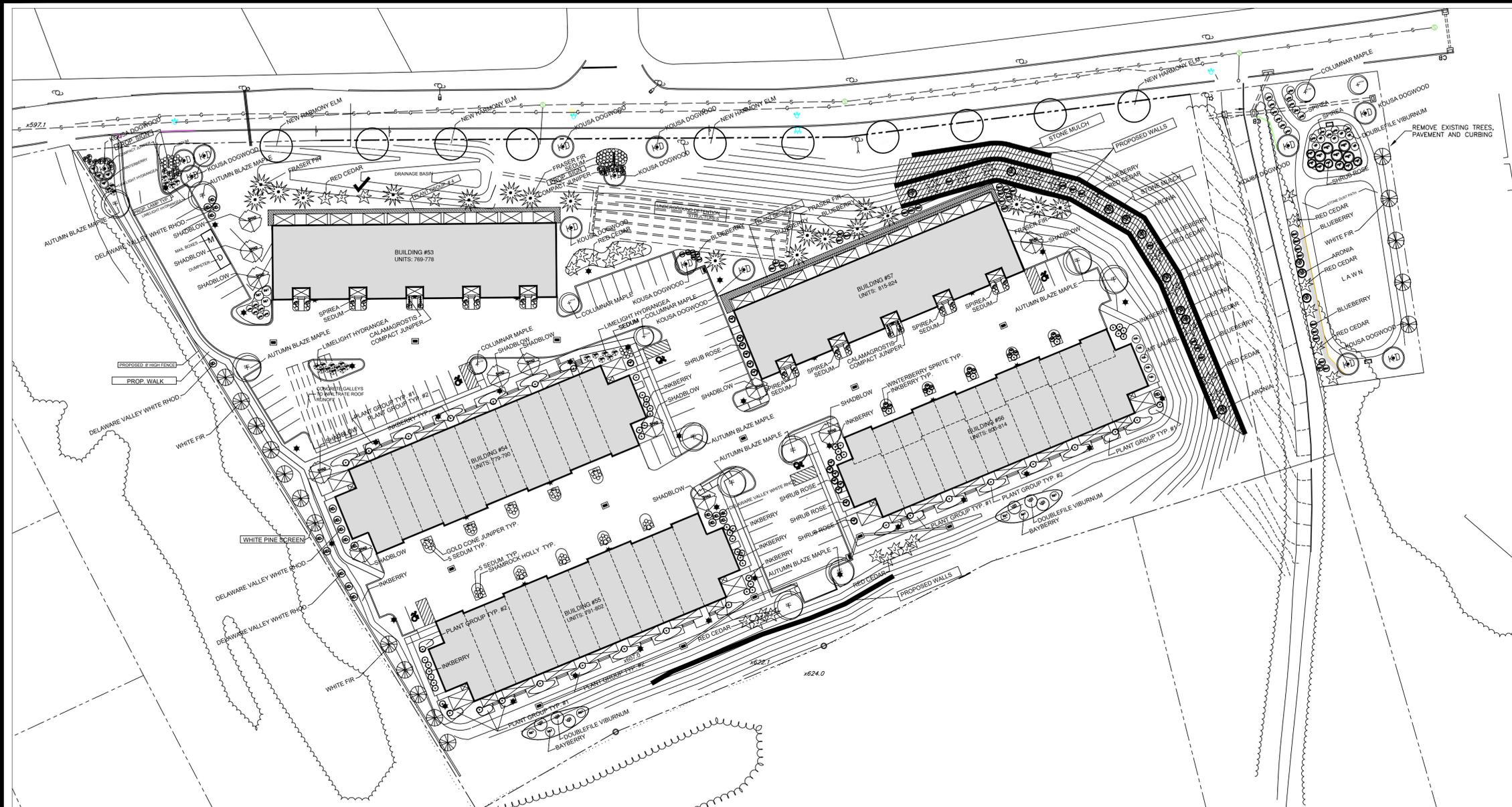
THE GRAND LOFTS WEST
195 & 209 SOUTH STREET
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS 04/13/2020	SCALE E.R.P.	DATE 02-23-2020	SHEET NO. 6 OF 7	MAP NO. 9409B
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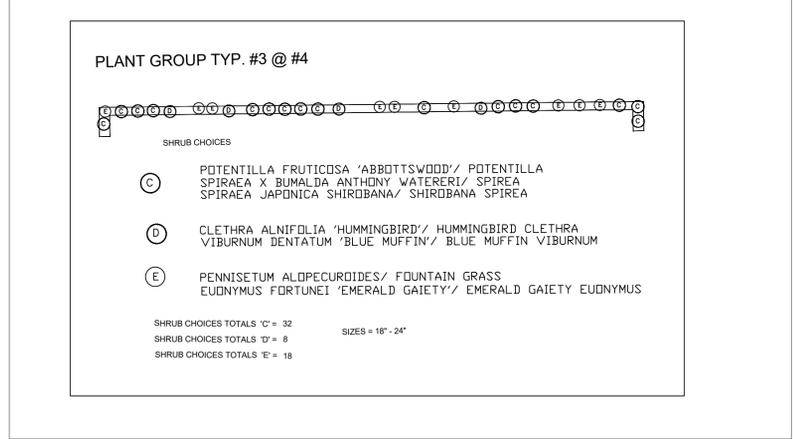
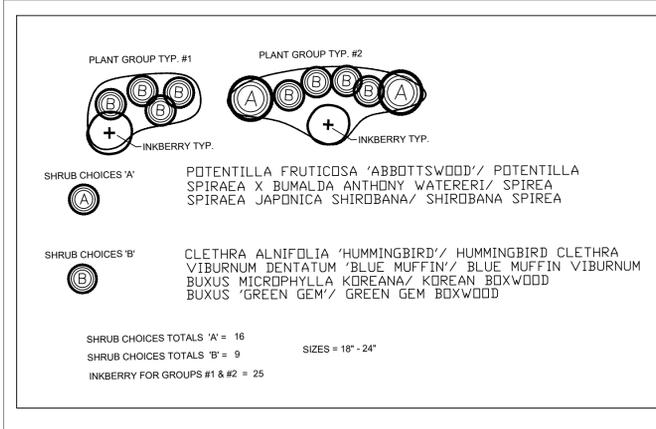


SCALE: 1" = 40'

PLANTING SPECIFICATIONS

Symbol	Code	Name/ Scientific Name	Quantity	Size
TREES: DECIDUOUS	(M)	ACER RUBRUM COLUMNARIS/ COLUMNAR RED MAPLE	5	3 - 3 1/2" CALIPER
	(M)	ACER X FREEMANII 'JEFFERSRED'/ AUTUMN BLAZE MAPLE	10	3 - 3 1/2" CALIPER
	(M)	AMELANCHIER CANADENSIS/ SHADBLOW	10	6 - 7'
	(M)	CORNUS KOUSA/ KOUSA DOGWOOD	15	6 - 7'
	(M)	ULMUS AMERICANA 'NEW HARMONY'/ NEW HARMONY ELM	10	3 - 3 1/2" CALIPER
TREES: EVERGREEN	(M)	ABIES CONCOLOR/ WHITE FIR	16	4-5'
	(M)	ABIES FRASERI/ FRASER FIR	20	4-5'
SHRUBS:	(M)	JUNIPERUS VIRGINIANA/ RED CEDAR	38	4-5'
	(M)	ARONIA ARBUTIFOLIA BRILLIANTISSIMA/ RED CHOKEBERRY	12	18 - 24"
	(M)	HYDRANGEA PANICULATA 'LITTLE LIME'/ LITTLE LIME HYDRANGEA	19	18 - 24"
	(M)	ILEX GLABRA/ INKBERRY	38	18 - 24"
	(M)	ILEX GLABRA 'SHAMROCK'/ SHAMROCK HOLLY	5	18 - 24"
	(M)	ILEX VERTICILLATA 'RED SPRITE'/ WINTERBERRY	15	18 - 24"
	(M)	ILEX VERTICILLATA 'WINTER RED'/ WINTER RED WINTERBERRY	4	18 - 24"
	(M)	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	21	18 - 24"
	(M)	JUNIPERUS COMMUNIS 'GOLD CONE'/ GOLD CONE JUNIPER	5	18 - 24"
	(M)	KALMIA LATIFOLIA 'OLYMPIC FIRE'/ OLYMPIC FIRE MOUNTAIN LAUREL	5	18 - 24"
	(M)	MYRICA PENNSYLVANICUM/ BAYBERRY	9	18 - 24"
	(M)	RHODODENDRON 'DELAWARE VALLEY WHITE'/ DEL. VALLEY WH. AZALEA	21	18 - 24"
	(M)	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	29	18 - 24"
	(M)	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIRAEA	38	18 - 24"
	(M)	VACCINIUM CORYMBOSUM/ Highbush BLUEBERRY	30	18 - 24"
	(M)	VIBURNUM TOMENTOSUM 'MARISSII'/ DOUBLEFILE VIBURNUM	12	18 - 24"
	(M)	RHODODENDRON MAXIMUM/ ROSEBAY	5	24" - 36"
	HERBACEOUS PLANTS:	(M)	CALAMAGROSTIS KARL FÖRSTER/ FEATHER REED GRASS	12
(M)		SEDUM 'BRILLIANT'/ SEDUM	159	1 Gal.

NOTE: ALL PLANT BEDS TO BE MULCHED WITH SHREDDED BARK TO A MAXIMUM DEPTH OF 3" NO RED MULCH



GRAND LOFTS WEST
 209 SOUTH STREE VERNON, CT

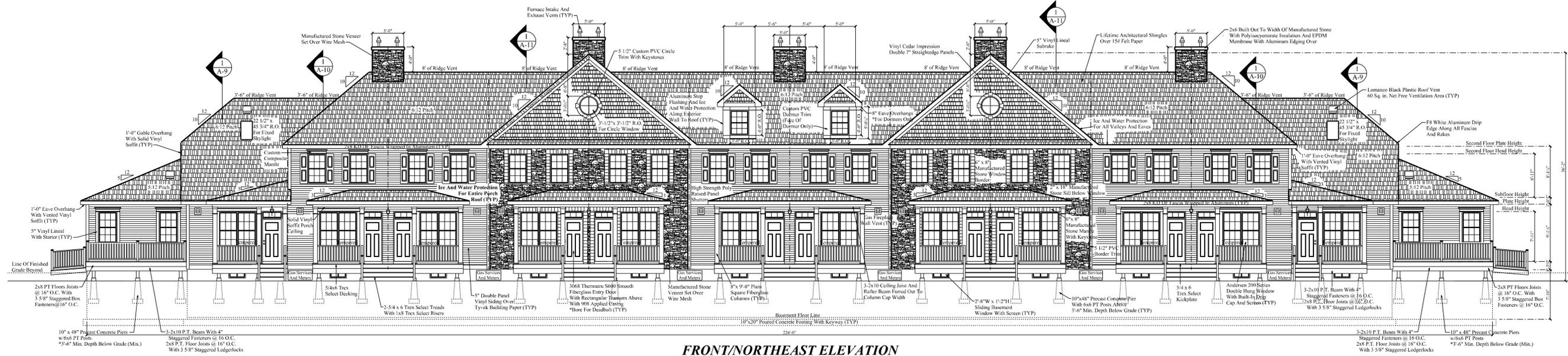
PROPERTY OWNER
 SANTINI REAL ESTATE TRUST
 1031 HARTFORD TPKE.
 VERNON, CT 06066

J. ALEXOPOULOS
 LANDSCAPE ARCHITECT

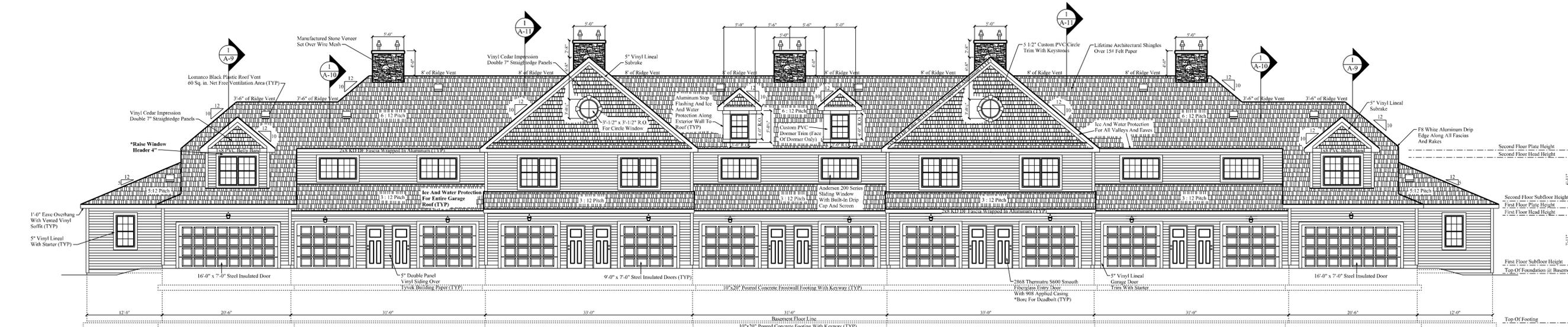
FEB. 21, 2020
 REV MAR. 11, 2020
 APR. 23, 2020



BUILDING #49
UNIT #s 723-734
12 UNIT ACCESS. BUILDING



FRONT/NORTHEAST ELEVATION
 SCALE: 1/8" = 1'-0"



REAR/SOUTHWEST ELEVATION
 SCALE: 1/8" = 1'-0"

Page Summary

- A-1 - Front/Rear Elevations (1/8" = 1'-0" Scale) & Building Summaries
- A-2 - Left/Right Elevations (3/16" = 1'-0" Scale), Window & Door Schedules, Stair Section (5/16" = 1'-0" Scale)
- A-3 - Foundation Plan & Foundation Sections (Scale as Noted)
- A-4 - First & Second Floor Plans (1/8" = 1'-0" Scale)
- A-5 - First Floor Plan~Units 723-728 (1/4" = 1'-0" Scale)
- A-6 - First Floor Plan~Units 729-734 (1/4" = 1'-0" Scale)
- A-7 - Second Floor Plan~Units 723-728 (1/4" = 1'-0" Scale)
- A-8 - Second Floor Plan~Units 729-734 (1/4" = 1'-0" Scale)
- A-9 - Building Section @ Type-1 Units (1/4" = 1'-0" Scale)
- A-10 - Building Section @ Type-2 & Type-5 Units (1/4" = 1'-0" Scale)
 Gable Section w/Attic Window Detail @ Type-3 Units,
 Chimney Box Section & Upper Dormer Section
- A-11 - Building Section @ Type-3 Units, Fire Partition Detail,
 Draftstopping @ Front Porches Detail, Masonry Block Penetration
 @ Basement Detail (1/4" = 1'-0" Scale)

Unit Summary

Type of Unit	# of Units	Size of Units	# of Bedrooms	# of Bathrooms	# of Cars in Garage
Type 1	2	1721 S.F.	2	2.5	2
Type 2	4	1287 S.F.	1	1.5	1
Type 3	4	1432 S.F.	2	2.5	1
Type 5	2	1287 S.F.	2	1.5	1
Total # of Units - 12					

CODE INFORMATION
 CODE BASIS: CONNECTICUT STATE BUILDING CODE, 2005 WITH 2009, 2011 AND 2013 AMENDMENTS
 INTERNATIONAL RESIDENTIAL CODE, 2009
 INTERNATIONAL ENERGY CONSERVATION CODE, 2009
 NATIONAL ELECTRICAL CODE, 2011
 CONNECTICUT STATE FIRE SAFETY CODE, 2005 WITH 2009 AMENDMENTS
 SEC. 29-292-1e(b): THE PROVISIONS OF THIS CODE ONLY APPLY WITH RESPECT TO SMOKE ALARMS AND CARBON MONOXIDE DETECTORS.
 USE GROUP: MULTIPLE SINGLE-FAMILY DWELLING (TOWNHOUSES)
 TYPE OF CONSTRUCTION: 5B COMBUSTIBLE UNPROTECTED
 NOT SPINKLERED
 HEIGHT & AREA: ALLOWED: 3 STORIES
 ACTUAL: 2 STORIES, 36' +/-, 12,868 S.F. FIRST FLOOR ENCLOSED
 1,224 S.F. COVERED PORCHES
 FIRE SEPARATION BETWEEN UNITS: 2 HR. RATED, UL DESIGN U347 CONFIGURATION B

Area Summary

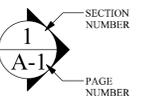
Total Garage SF-	3754 SF
Total Basement SF-	7984 SF
Total Deck/Porch SF-	1188 SF
Total First Floor Finished SF-	8748 SF
Total Second Floor Finished SF-	8160 SF
Total Finished SF-	16908 SF

Building Height Summary

Front Elevation-	36'-0"
Rear Elevation-	34'-4"
Right Elevation-	35'-2"
Left Elevation-	35'-2"
Total 140'-8"/4=	35'-2" Average Building Height

EKE CONSTRUCTION MGMT, LLC.
 1031 HARTFORD TURNPIKE
 VERNON, CT 06066

THE GRAND LOFTS III
 1100 HARTFORD TURNPIKE
 VERNON, CT 06066
 A SANTINI COMMUNITY



DRAWN BY
 KRO

DATE
 8/15/16

SCALE
 AS NOTED

DRAWING #
 A-1

BUILDING #49
UNIT #s 723-734
12 UNIT ACCESS. BUILDING

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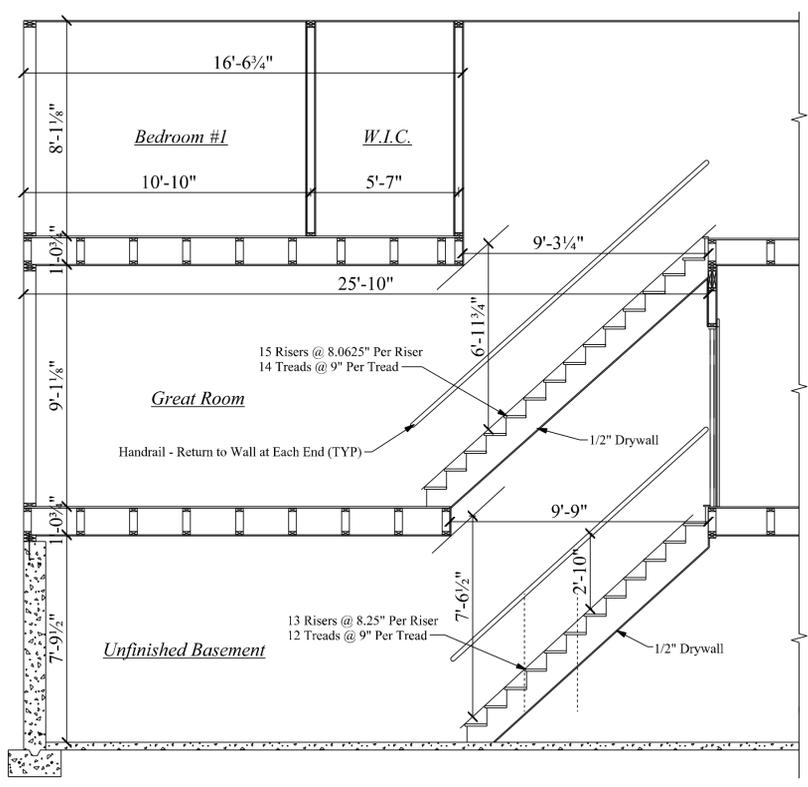
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 PAGE NUMBER
A-1

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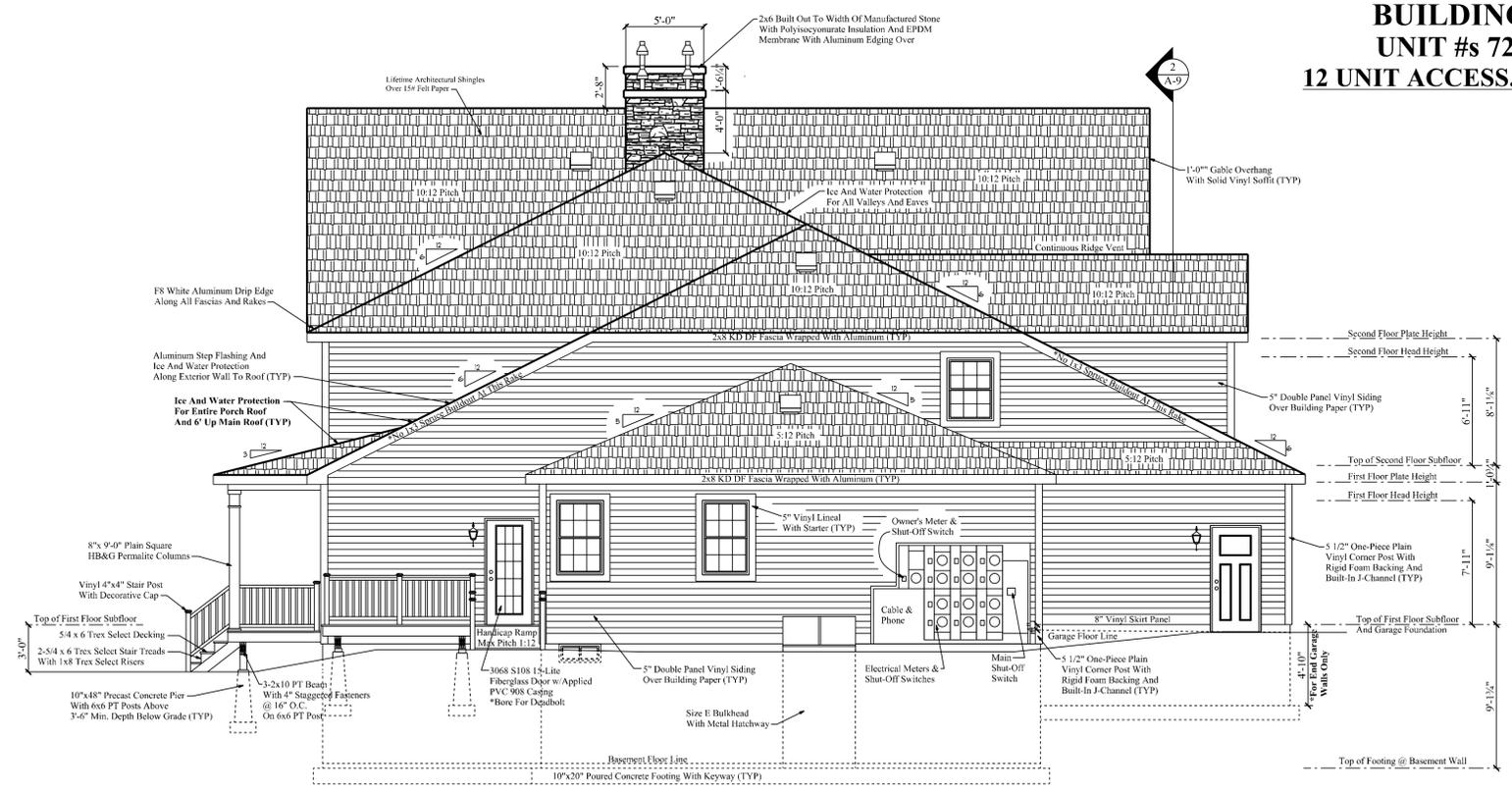
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SCALE
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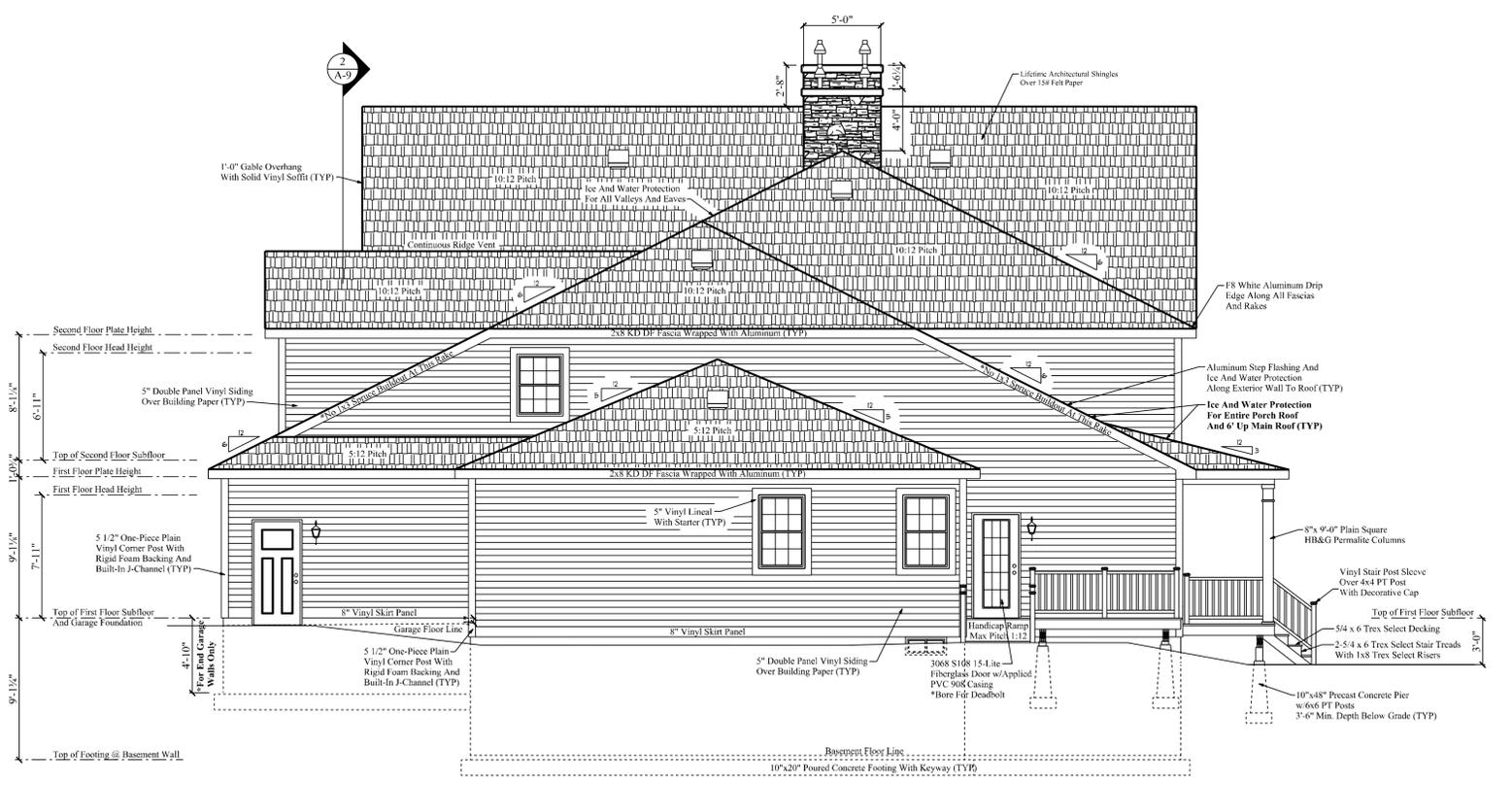
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A-2



Stair Section @ Type-3 Units
 SCALE: 5/16" = 1'-0"
 (These Units Have The Least Headroom Clearance)



RIGHT/SOUTHEAST ELEVATION
 SCALE: 3/16" = 1'-0"



LEFT/NORTHWEST ELEVATION
 SCALE: 3/16" = 1'-0"

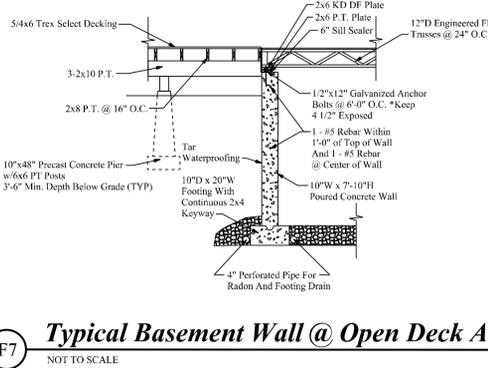
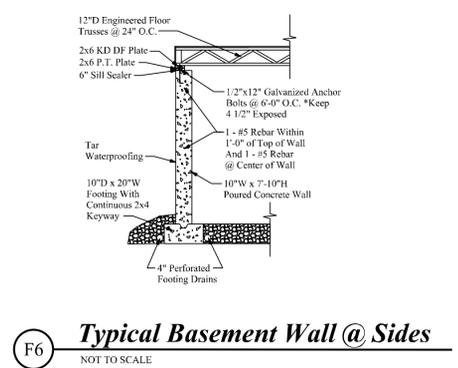
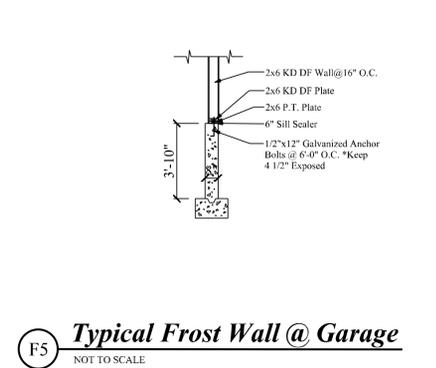
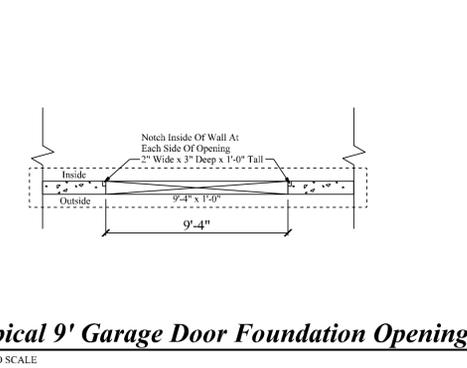
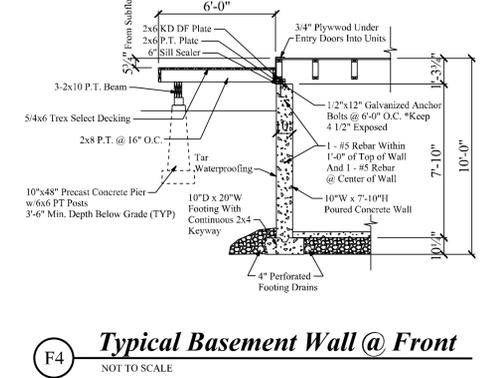
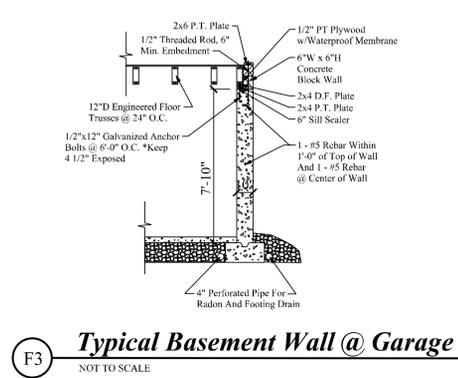
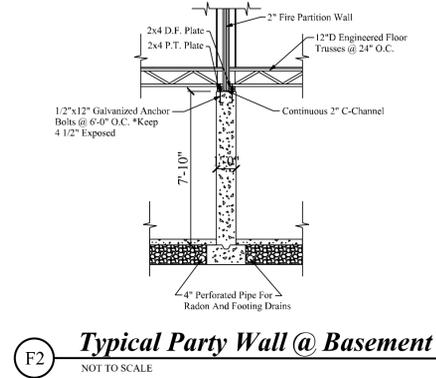
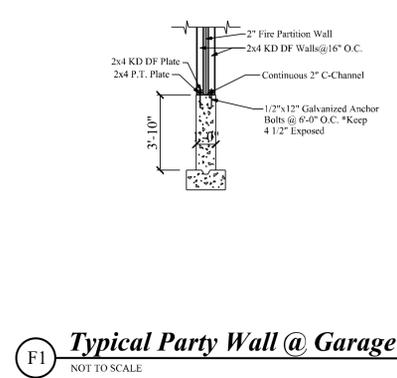
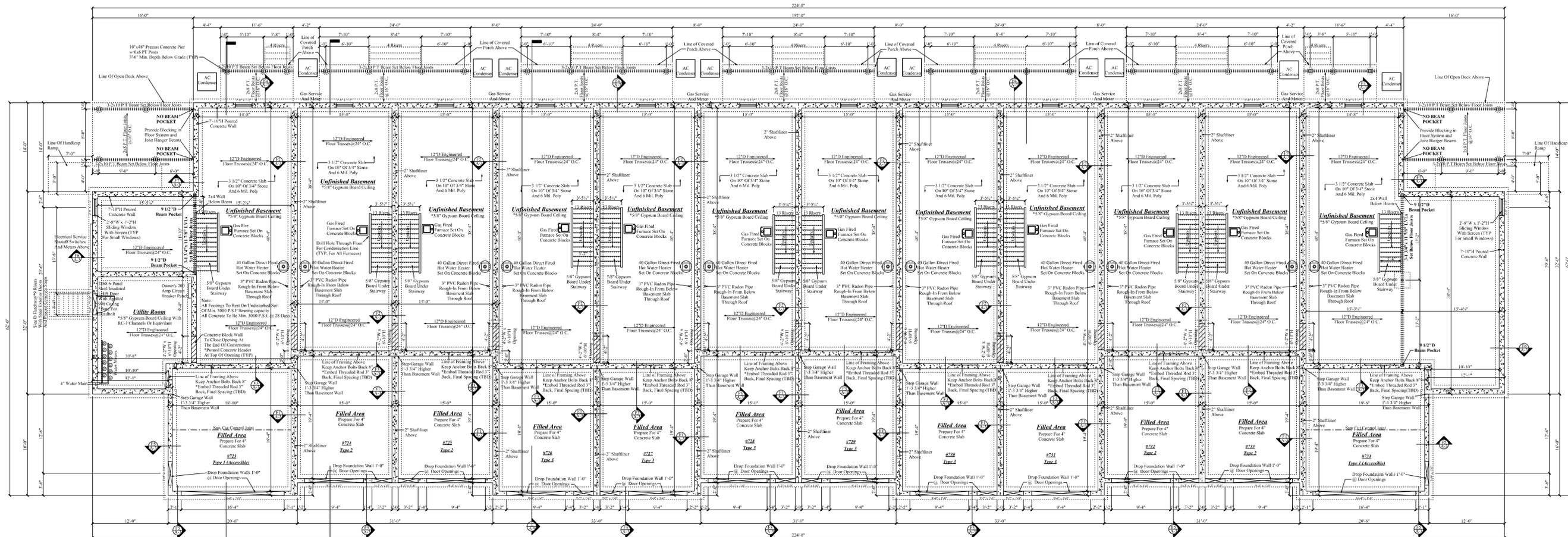
12-UNIT ACCESSIBLE DOOR SCHEDULE					
SIZE	COUNT	GRILLE	JAMB SIZE	DESCRIPTION	
3'-0" x 6'-8" LHS	6	TRANSOM ONLY	6 9/16"	Thermatru S600 3-Panel LHS Fiberglass with 1'-0" H, 3-Lite, Low-E Rectangular Transom Above, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges	
3'-0" x 6'-8" RHS	6	TRANSOM ONLY	6 9/16"	Thermatru S600 3-Panel RHS Fiberglass with 1'-0" H, 3-Lite, Low-E Rectangular Transom Above, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges	
2'-8" x 6'-8" LHS	5	NA	6 9/16"	Thermatru S600 3-Panel LHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges	
2'-8" x 6'-8" RHS	5	NA	6 9/16"	Thermatru S600 3-Panel RHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges	
3'-0" x 6'-8" LHS	1	NA	6 9/16"	Thermatru S600 3-Panel LHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges, Public Access Sill	
3'-0" x 6'-8" RHS	1	NA	6 9/16"	Thermatru S600 3-Panel RHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges, Public Access Sill	
3'-0" x 6'-8" LHS	1	15-Lite	6 9/16"	Thermatru S108 15-Lite (Low-E) LHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges, Public Access Sill	
3'-0" x 6'-8" RHS	1	15-Lite	6 9/16"	Thermatru S108 15-Lite (Low-E) RHS Fiberglass, Bore for Deadbolt, Applied PVC 908 Casing, Satin Nickel Hinges, Public Access Sill	

TOTAL # OF DOORS - 26

12-UNIT ACCESSIBLE WINDOW SCHEDULE					ANDERSEN 200 SERIES LOW-E TILT-WASH DOUBLE-HUNG WITH GRG, WHITE HARDWARE AND SCREEN, UNLESS NOTED OTHERWISE				
TYPE & R.O.	SIZE	COUNT	GRILLE	JAMB SIZE	SIZE	COUNT	GRILLE	JAMB SIZE	
	6'-0"	12 Total 6 Tempered	Yes	6 9/16"	DH3060-2	12 Total 6 Tempered	Yes	6 9/16"	*Meets Min. Egress Size Requirements Clear Opening = 7.45 S.F. Clear Width = 32.56" Clear Height = 32.95"
	6'-0"	6	Yes	6 9/16"	DH3049-2	6	Yes	6 9/16"	*Meets Min. Egress Size Requirements Clear Opening = 7.45 S.F. Clear Width = 32.56" Clear Height = 25.45"
	6'-0"	6	Yes	6 9/16"	GW6036	6	Yes	6 9/16"	*Meets Min. Egress Size Requirements Clear Opening = 8.73 S.F. Clear Width = 33" Clear Height = 38.125"
	3'-0"	30	Yes	6 9/16"	DH3049	30	Yes	6 9/16"	*Meets Min. Egress Size Requirements Clear Opening = 5.76 S.F. Clear Width = 32.56" Clear Height = 25.45"
	3'-0"	6	Yes	2 With 6 9/16" 4 With None	DH3040	6	Yes	2 With 6 9/16" 4 With None	*Meets Min. Egress Size Requirements Clear Opening = 4.74 S.F. Clear Width = 33" Clear Height = 20.95"
	3'-0"	4	Yes	None	CIR30	4	Yes	None	

TOTAL # OF WINDOWS - 64

BUILDING #49
UNIT #s 723-734
12 UNIT ACCESS. BUILDING



EKE CONSTRUCTION MGMT, LLC.
1031 HARTFORD TURNPIKE
VERNON, CT 06066

THE GRAND LOFTS III
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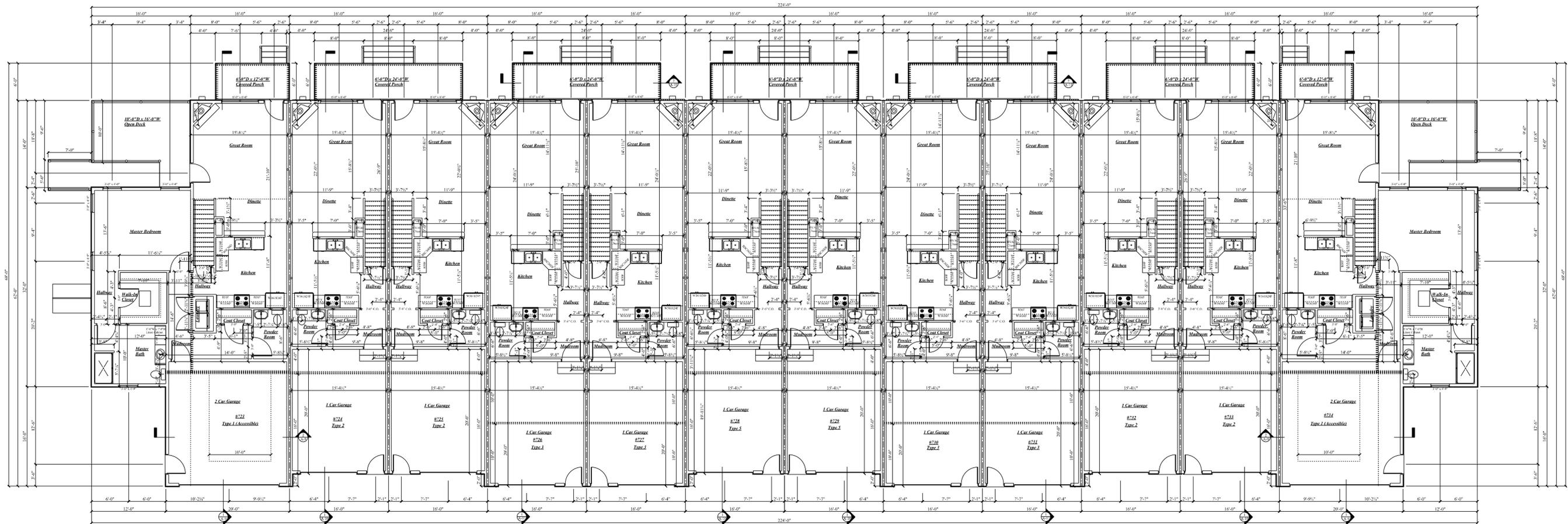
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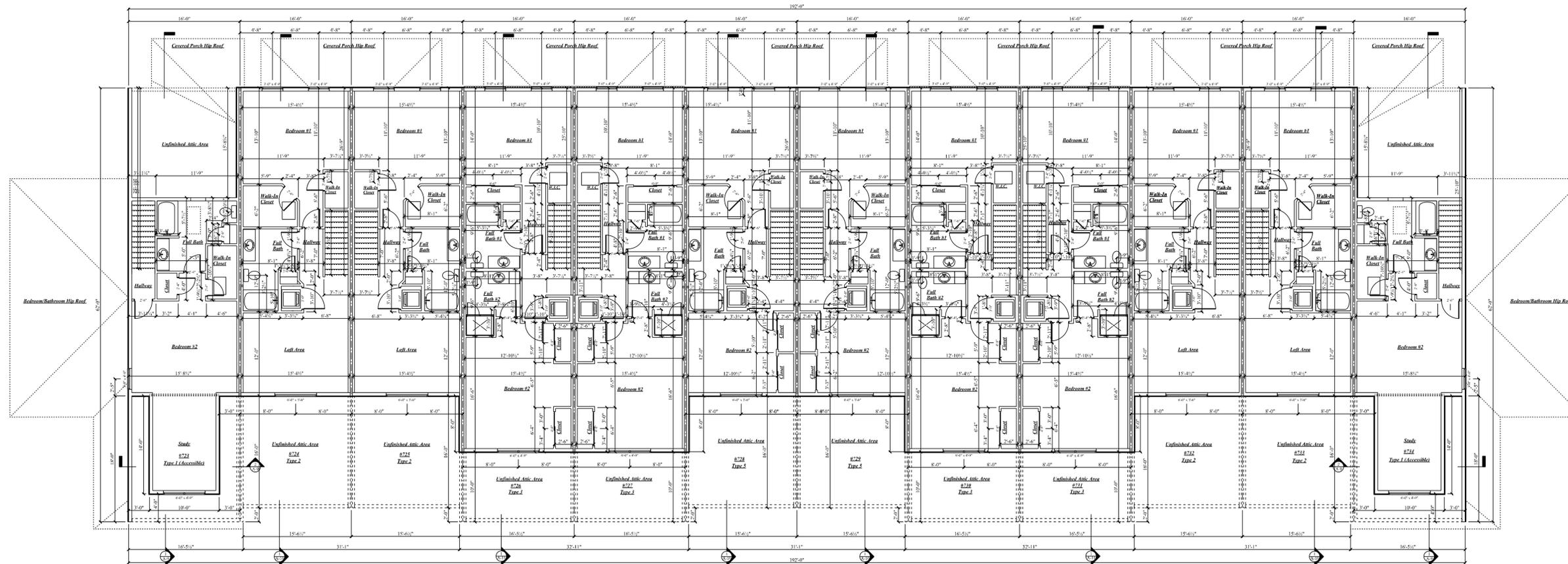
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8/15/16

SCALE
AS NOTED

DRAWING #
A-3



FIRST FLOOR PLAN-UNITS 723-734



SECOND FLOOR PLAN-UNITS 723-734

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1031 HARTFORD TURNPIKE
VERNON, CT 06066

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SECTION NUMBER
PAGE NUMBER
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March 13, 2020

Mr. Kevin W. Santini, Trustee
Santini Real Estate Trust
1031 Hartford Turnpike
Vernon, CT 06066

**Re: Revised Site Traffic Evaluation Study
Proposed Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut**

Dear Mr. Santini:

Note that this revised version of this study provides a clarifying statement on pages 6 and 7 herein regarding the possible improvement of the sight distance to and from the west of the proposed site drive location.

Reference is made to the proposal to develop a 56-unit apartment complex consisting of one and two bedroom units on the parcel of land located on the south side of South Street at no. 209, between Knollwood Drive to the west and Bancroft Road to the east, in the Town of Vernon, Connecticut.

Please refer to Exhibit 1 of the Appendix which locates this site with respect to the surrounding roadway network.

Introduction

The proposed apartment complex will consist of 56 apartment units housed in five buildings which we have assumed will be fully occupied by 2022, or two years hence. Access and egress for this development will be provided via one full access/egress site drive at the west end of the site intersecting the south side of South Street, about 320 feet east of Knollwood Drive, and about 305 feet west of Bancroft Road. The development will be served by a total of 140 parking spaces, of which 78 spaces will be located outdoors in various paved parking areas, and 62 spaces will be located in individual garages.

Please refer to Exhibit 2 of the Appendix which provides a copy of the site plan for the proposed development. Please refer to Table A on the next page of this study which summarizes the development parameters for the subject development.

Table A
Development Parameters
Santini Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut

Number of Units:	Total:	56 apartments
Parking Spaces:	Outdoor:	78 spaces
	Garage:	62 spaces
	-----	-----
	Total:	140 spaces

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March 2020

Given the nature of this development and the manner in which it will interface with the surrounding roadway network, the selected study area for the proposed development consists of the following intersections shown in the location maps included as Exhibit 1 of the Appendix:

- South Street at Knollwood Drive:

This is a 3-way, unsignalized intersection with South Street running east-west and Knollwood drive as the south leg. This intersection is located about 320 feet west of the proposed site drive. All approaches to this intersection are one lane wide, and the Knollwood Drive northbound approach is controlled by a Stop sign.

- South Street at proposed Site Drive:

This will be a 3-way, unsignalized intersection with South Street running east-west and the proposed Site Drive as the south leg. This intersection will be located about 320 feet east of Knollwood Drive and about 305 feet west of Bancroft Road. All approaches to this intersection will be one lane wide, and the proposed Site Drive northbound (outbound) approach will be controlled by a Stop sign.

- South Street at Bancroft Road:

This is a 3-way, unsignalized intersection with South Street running east-west and Bancroft Road as the north leg. This intersection is located about 305 feet east of the proposed site drive. All approaches to this intersection are one lane wide, and the Bancroft Road southbound approach is controlled by a Stop sign.

- South Street at Vernon Avenue:

This is a 4-way, unsignalized intersection with South Street running east-west and Vernon Avenue running north-south. This intersection is located about 775 feet east of Bancroft Road. All approaches to this intersection are one lane wide and are controlled by Stop signs.

Background Traffic Volumes

For the purposes of establishing background traffic volumes for the subject study area, weekday am and pm peak period manual turning movement counts were conducted in mid-February 2020 at the existing study intersections. These counts were conducted from 7:00 and 9:00 am in the morning and again between 4:00 and 6:00 pm in the late afternoon.

Please refer to Exhibits 3 and 4 of the Appendix that represent the existing 2020 weekday commuter am and pm peak hour traffic volumes derived from the foregoing traffic counting exercise.

Please refer to Exhibits 5 and 6 of the Appendix that represent the background (no-build) 2022 weekday commuter am and pm peak hour traffic volumes when it is anticipated that the subject development will be fully built and occupied. Exhibits 5 and 6 were developed by applying a 2 percent per year expansion factor to the existing traffic volumes shown in Exhibits 3 and 4 for two years (i.e., between the 2020 counts and the anticipated 2022 full occupancy date), or expanded by a factor of 1.04 (i.e., a 4 percent increase over existing 2020 levels), to represent normal growth trends for this study area from information suggested by a review of data from the Connecticut Department of Transportation's (CTDOT's) Division of Policy and Planning.

Site-Generated Traffic Volumes and Distributions

For the purpose of estimating site-generated traffic volumes associated with the subject development, we utilized the data made available for this purpose and published in the latest 2018 10th edition of the Trip Generation Manual prepared by the Institute of Transportation Engineers (ITE). This data source compiles information from throughout the nation for actual trip generation measurements at various land uses. In the case of apartment dwelling uses comparable to the proposed use, trip generation estimates are based on the number of dwelling units proposed, which in this case would be 56 units.

Please refer to Table B on the next page of this study which summarizes the trip generation estimates for the subject proposal based on the ITE trip generation calculations shown in Exhibit 7 of the Appendix. A trip is defined as a one-way vehicular movement traveling either to or from the site. A review of Table B shows that the subject 56-unit apartment complex will generate from 26 to 31 trips per hour during the weekday commuter am and pm peaks, which is considered a relatively low trip generation.

For the purpose of estimating the likely distribution of site-generated traffic on the surrounding roadway network for the proposed development, we assumed that site-generated traffic will be distributed in a similar manner to the current traffic at the immediate study intersections along South Street, as follows:

- To and from the west via South Street west of the site: 40 percent
- To and from the north via Vernon Avenue north of South Street: 8 percent
- To and from the east via South Street east of Vernon Avenue: 40 percent
- To and from the south via Vernon Avenue south of South Street: 12 percent

In addition, given the relative location of proposed site drive, it is anticipated that site-generated traffic will be distributed 40 percent to and from the west, and 60 percent to and from the east of the site drive.

Please refer to Table B which also shows the likely distribution of site-generated traffic on the surrounding roadway network.

Table B
Estimated Trip Generation and Distribution
Santini Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut

		<u>Trip Distribution</u>			
		To/From WEST via South Street <u>40%</u>	To/From NORTH via Vernon Avenue <u>8%</u>	To/From EAST via South Street <u>40%</u>	To/From SOUTH via Vernon Avenue <u>12%</u>
<u>Trip Generation</u>					
<u>Weekday AM Peak</u>					
	<u>Total</u>				
In	6	2	1	2	1
<u>Out</u>	<u>20</u>	<u>8</u>	<u>2</u>	<u>8</u>	<u>2</u>
Total	26	10	3	10	3
<u>Weekday PM Peak</u>					
In	20	8	2	8	2
<u>Out</u>	<u>11</u>	<u>4</u>	<u>1</u>	<u>4</u>	<u>2</u>
Total	31	12	3	12	4

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March 2020

For the purpose of estimating the likely distribution of site-generated traffic on the surrounding roadway network for the proposed development, we assumed that site-generated traffic will be distributed in a similar manner to the current traffic at the immediate study intersections along South Street, as follows:

- To and from the west via South Street west of the site: 40 percent
- To and from the north via Vernon Avenue north of South Street: 8 percent
- To and from the east via South Street east of Vernon Avenue: 40 percent
- To and from the south via Vernon Avenue south of South Street: 12 percent

In addition, given the relative location of proposed site drive, it is anticipated that site-generated traffic will be distributed 40 percent to and from the west, and 60 percent to and from the east of the site drive.

Please refer to Table B which also shows the likely distribution of site-generated traffic on the surrounding roadway network.

Please refer to Exhibits 8 and 9 of the Appendix for graphical representations of the 2022 site-generated weekday am and pm peak hour traffic volumes for the subject development, derived from Exhibit 7 of the Appendix and Table B on the foregoing page of this study.

Operations Analysis

2020 existing weekday am and pm commuter peak analyses, representing existing conditions, are based on the peak hour traffic volumes shown as Exhibits 3 and 4 of the Appendix.

2022 background (no-build) weekday am and pm commuter peak analyses, representing no-build conditions in the year when the proposed development is anticipated will be fully occupied, but without the development's traffic, are based on the peak hour traffic volumes shown as Exhibits 5 and 6 of the Appendix.

2022 combined (build) weekday am and pm commuter peak analyses, representing conditions when the proposed development is expected to be open for use, are based on the peak hour traffic volumes shown as Exhibits 10 and 11 of the Appendix. Exhibits 10 and 11 were developed by combining the background (no-build) peak hour traffic volumes from Exhibits 5 and 6 with the site-generated traffic volumes from Exhibits 8 and 9.

Intersection operational analyses were performed for the defined study intersections utilizing the methodology described in the latest edition of Highway Capacity Manual, Special Report 209, Transportation Research Board, 1985, updated to 2012. Application of this methodology was facilitated by use of Synchro Analysis Software, developed by the Trafficware Corporation, Version 10, 2018. Operational analyses are utilized to determine a Level of Service (LOS) for a given intersection operating under either signalized or unsignalized control.

In the case of unsignalized intersections similar to the study intersections, Level of Service (LOS) is defined in terms of the average control delay for the approach or movement evaluated. Control delay involves movements at slower speeds and stops on intersection approaches as vehicles move up in the queue or slow down upstream of an intersection. The delay experienced by a motorist is comprised of factors that relate to control, geometrics, traffic, and incidents. Total delay is the difference between the travel time actually experienced and the reference time that would result during base conditions in the absence of incident, control, traffic, or geometric delay. Control delay includes initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay. At two-way stop-controlled and all-way stop-controlled intersections, control delay is the total elapsed time from a vehicle joining the queue until its departure from the stopped position at the head of the queue. The control delay also includes the time required to decelerate to a stop and to accelerate to the free-flow speed. Level of Service for a one-way or two-way stop-controlled intersection is determined by the computed or measured control delay and is defined for each minor movement. LOS for a one-way or two-way stop-controlled intersection is **not defined** for the intersection as a whole. In today's environment, Levels of Service D to F are common and are often experienced on minor street approaches to major streets carrying relatively high traffic volumes.

Please refer to Exhibit 12 in the Appendix, which provides details on the definitions of Levels of Service for unsignalized intersections.

The results of the operational analyses, which compare 2020 existing, 2022 background (no-build), and 2022 combined (build) conditions, are summarized in Table C on the next page of this study.

The computer-generated worksheets for these operational analyses are included as Exhibits 13 through 18 of the Appendix as follows:

- Exhibit 13 – 2020 Existing AM Peak
- Exhibit 14 – 2020 Existing PM Peak
- Exhibit 15 – 2022 Background (no-build) AM Peak
- Exhibit 16 – 2022 Background (no-build) PM Peak
- Exhibit 17 – 2022 Combined (build) AM Peak
- Exhibit 18 – 2022 Combined (build) PM Peak

A review of Table C shows that levels of service in the year 2022 when the subject development is expected to be in place will remain at virtually the same levels as would otherwise exist without this development.

The unsignalized, 3-way, intersection of South Street at Knollwood Drive will continue to experience level of service A (considered excellent) for all the approaching movements to this intersection.

Table C
Traffic Operations Analyses
Levels of Service
Santini Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut

	2020 Existing		2022 Background (No-Build)		2022 Combined (Build)	
	AM Peak	PM Peak	AM Peak	PM Peak	AM Peak	PM Peak
<u>South Street at Knollwood Drive</u>						
South Street eastbound approach	LOS A					
Eastbound approach average delay (seconds)	0.0	0.0	0.0	0.0	0.0	0.0
South Street westbound approach	LOS A					
Westbound approach average delay (seconds)	7.4	7.5	7.4	7.5	7.4	7.5
Knollwood Drive northbound approach	LOS A					
Northbound approach average delay (seconds)	8.8	9.5	8.9	9.5	8.9	9.6
<u>South Street at Proposed Site Drive</u>						
South Street eastbound approach	-----	-----	-----	-----	LOS A	LOS A
Eastbound approach average delay (seconds)	-----	-----	-----	-----	0.0	0.0
South Street westbound approach	-----	-----	-----	-----	LOS A	LOS A
Westbound approach average delay (seconds)	-----	-----	-----	-----	7.4	7.6
Proposed Site Drive northbound approach	-----	-----	-----	-----	LOS A	LOS A
Northbound approach average delay (seconds)	-----	-----	-----	-----	9.2	9.5
<u>South Street at Bancroft Road</u>						
South Street eastbound approach	LOS A					
Eastbound approach average delay (seconds)	7.3	7.5	7.3	7.5	7.3	7.5
South Street westbound approach	LOS A					
Westbound approach average delay (seconds)	0.0	0.0	0.0	0.0	0.0	0.0
Bancroft Road southbound approach	LOS A	LOS B	LOS A	LOS B	LOS A	LOS B
Southbound approach average delay (seconds)	9.4	10.0	9.5	10.1	9.5	10.2
<u>South Street at Vernon Avenue</u>						
South Street eastbound approach	LOS A					
Eastbound approach average delay (seconds)	8.5	9.3	8.6	9.5	8.8	9.6
South Street westbound approach	LOS A					
Westbound approach average delay (seconds)	8.5	9.3	8.6	9.5	8.7	9.6
Vernon Avenue northbound approach	LOS A	LOS A	LOS A	LOS B	LOS A	LOS B
Northbound approach average delay (seconds)	8.3	9.9	8.3	10.1	8.4	10.3
Vernon Avenue southbound approach	LOS A					
Southbound approach average delay (seconds)	9.2	9.5	9.3	9.7	9.4	9.8
Overall Level of Service:	- LOS A - - LOS A -	- LOS A - - LOS A -	- LOS A - - LOS A -	- LOS A - - LOS A -	- LOS A - - LOS A -	- LOS A - - LOS A -
Average Delay (seconds):	8.7	9.5	8.8	9.7	8.9	9.9

The unsignalized, 3-way, intersection of South Street at the proposed Site Drive will experience level of service A (considered excellent) for all the approaching movements to this intersection.

The unsignalized, 3-way, intersection of South Street at Bancroft Road will continue to experience level of service A (considered excellent) for all the approaching movements on South Street, and level of service A (considered excellent) to level of service B (considered very good) for all of the exiting movements from Bancroft Road.

The unsignalized 4-way intersection of South Street at Vernon Avenue will continue to experience level of service A (considered excellent) to level of service B (considered very good) for all the approaching movements on all four legs of the intersection, as well as overall level of service A (considered excellent) for the entire intersection taken as a whole.

Therefore, the proposed development will not have an adverse impact on traffic operations that would otherwise exist within the defined study area without the subject development.

Sight Line Evaluation

Available sight lines to and from the proposed site drive intersection on South Street were evaluated utilizing the guidelines set forth by the Connecticut Department of Transportation (CTDOT) for this purpose.

Please refer to Table D on the next page which summarizes the results of the sight line evaluation based on measurements provided by your site engineer and speed measurements conducted by us.

A review of Table D shows that the posted speed limit for South Street in both directions is 30 miles per hour. Automatic traffic measurements we recently conducted on South Street in the vicinity of the site drive indicated motorists are traveling at average speeds of about 35 miles per hour and 85th percentile speeds of about 39 miles per hour. This suggests a design speed of 40 miles per hour (i.e., the next highest 5-mph increment based on CTDOT's guidelines), and a minimum sight line distance of 445 feet.

A review of Table D shows that the available sight line distance to and from the east of the site drive for approaching westbound traffic is well over 1,000 feet, measured at a distance of 15 feet back of the nearside edge of South Street. Therefore, no remedial action is necessary.

A review of Table D shows that the available sight line distance to and from the west of the site drive for approaching traffic is only 355 feet measured at a distance of 10 feet back of the nearside edge of South Street, which is satisfactory for the posted speed limit of 30 miles per hour on South Street. To enhance this situation, the site engineer has proposed to regrade the front area

**Table D
Sight Line Evaluation
Santini Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut**

<u>Speed Parameter</u>	<u>Eastbound</u>	<u>Westbound</u>
Posted Speed	30 mph	30 mph
Average Speed	35 mph	35 mph
85th Percentile Speed	39 mph	39 mph
Design Speed	40 mph	40 mph
Minimum Suggested Sight Distance	335 feet at 30 mph speed limit 445 feet at 40 mph design speed	335 feet at 30 mph speed limit 445 feet at 40 mph design speed
Available Sight Distance	355 feet measured at 10 feet back with no regrading of South Street	> 1000 feet to and from the east to Vernon Avenue measured at 15 feet back
Status	Satisfactory for posted speed limit	Satisfactory for 85th percentile speed
Possible Modified Sight Distance	445 feet measured at 10 feet back with proposed regrading of South Street if allowed at 215 South Street	
Status	Satisfactory for 85th percentile speed	

Source: Automatic traffic recorder measurements, State Traffic Administration and CTDOT Design Manual

**Bubaris Traffic Associates
March 2020**

of the abutting property at no. 215 South Street west of the site drive to achieve a sight distance of 445 feet, which would be satisfactory for approaching eastbound speeds of 40 miles per hour. This improvement, however, would require that the owner of the property at no. 215 grant this developer the permission for him to do so, which will be attempted. To date, the abutting property owner has not agreed to allow the area at the front of his property to be regraded.

Therefore, available sight line distances from the proposed site drive location on South Street are deemed satisfactory given the proposed regrading of the area in front of no. 215 South Street to the west of the site drive described above.

As a minimum, however, sight distances to accommodate at least the posted speed limit of South Street are achievable.

Traffic Crash Experience

A review was made of the most recent available five-year (i.e., 2015 through 2019) traffic crash experience summary for the subject study area as compiled by the University of Connecticut in its Traffic Crash Depository from information made available by the Connecticut Department of Transportation and the Town's Police Department.

Please refer to Table E on the next page which summarizes the available traffic crash data for the subject study area which includes South Street from Knollwood Drive to Vernon Avenue.

A review of Table E shows that all three existing South Street study intersections, at Knollwood Drive, at Bancroft Road, and at Vernon Avenue, have experienced very favorable traffic crash experiences, with no recurring problems requiring correction or that may be exacerbated by the proposed development.

Recommended Improvements

Other than the provision of a regrading as proposed for South Street to the west of the proposed site drive to achieve satisfactory eastbound sight distance on South Street approaching the proposed site drive, there are no other traffic control and/or geometric improvements deemed necessary at this time to either correct existing traffic concerns and/or to mitigate potential traffic impacts.

Conclusions

It is the professional opinion of Bubaris Traffic Associates that the proposed Grand Lofts apartment complex, to be located at the south side of South Street between Knollwood Drive to the west and Bancroft Road to the east, with access to / egress from the surrounding roadway network via one two-way site drive, should not adversely impact traffic operations on the surrounding roadway

Table E
Summary of Traffic Crash Experience
5 Years, 2015-2019
Santini Grand Lofts Apartments Expansion
209 South Street
Vernon, Connecticut

<u>Intersection</u>	<u>Rear End Crashes</u>			<u>Right Angle Crashes</u>			<u>Head-On Crashes</u>			<u>Fixed Object</u>			<u>GRAND TOTAL</u>	
	<u>EB/EB</u>	<u>WB/WB</u>	<u>NB/NB</u>	<u>SB/SB</u>	<u>Total</u>	<u>EB/NB</u>	<u>WB/NB</u>	<u>WB/SB</u>	<u>Total</u>	<u>EB/EB</u>	<u>WB/WB</u>	<u>NB/SB</u>		<u>Total</u>
<u>South Street at Knollwood Drive</u>					0				0				0	0
<u>South Street at Bancroft Road</u>					0				0	1			1	1
<u>South Street at Vernon Avenue</u>		1		1	2		1		1	2	1		3	6
<u>Totals:</u>	0	0	1	1	2	0	1	0	1	0	3	1	4	7

The proposed full-build development will generate from 26 to 31 trips per hour during the weekday commuter am and pm peak hours, which is considered a relatively low trip generation.

Operational analyses indicate that the full-build development should not have an adverse impact on the traffic operations that would otherwise exist without this development, with levels of service remaining at level of service A (considered excellent) to level of service B (considered very good).

Available sight line distances to and from the proposed site drive on South Street were found to be, or can be improved to be, satisfactory.

The traffic crash experience for the subject study area is satisfactory, with no recurring problems that need to be corrected, or that may be exacerbated by the proposed partial development.

The proposed development will require review and approval by the Office of State Traffic Administration (OSTA) as an expansion of the Grand Lofts apartment development previously reviewed and approved by OSTA as a major traffic generator.

Please let us know if you have any questions or require additional information regarding this matter.



Very truly yours,
Bubaris Traffic Associates

A handwritten signature in black ink that reads "James G. Bubaris".

James G. Bubaris, P.E.
Conn. Reg. No. 9203
Principal

cc:

Mr. Eric Peterson, P.E., P.L.S.
Project Manager
Gardner & Peterson Associates, LLC
178 Hartford Turnpike
Tolland, CT 06084

STAFF COMMENTS
(PZ-2020-03)



TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066
(860) 870-3640
gmcgregor@vernon-ct-gov

PLANNING
DEPARTMENT

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ-2020-03- Application of Santini Real Estate Trust for a zone change, special permit, and a preliminary plan of development

DATE: August 20, 2020

Proposal



This is an Application [PZ-2020-03] of Santini Real Estate Trust for a Zone Change from R-22 to Comprehensive Multi-Family Dwelling Zone (CMFZ), for three parcels totaling +6.27 acres located at 195 South St. (Assessor ID: Map 39, Block 065B, Parcel 00019), 209 South St. (Assessor ID: Map 39, Block 065B, Parcel 00017), and Assessor ID: Map 39, Block 065B, Parcel 0018A (no address identified). Approval of a Preliminary Plan of Development and a Special Permit for Excavation and Grading pursuant to Section 15

of the Town of Vernon Zoning Regulations are also requested, in order to develop a 56-unit multi-family development project.

Zone Change

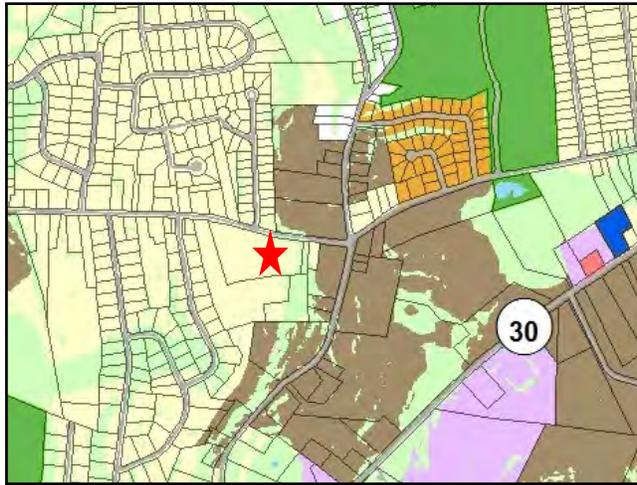
The Applicant proposes to rezone 6.27 acres from its current R-22 designation to CMFZ. R-22 permits single-family and two-family residential uses as a matter of right, on lots with a minimum square footage of 22,000 s.f. The CMFZ is intended where the Planning and



Zoning Commission deems multi-family uses appropriate; it allows a process where the zone change (map above) and preliminary plan of development, including site and design related details, are reviewed *simultaneously*. The zone change map is above.

Plan of Conservation and Development

Section 8-3(b) of the Connecticut General Statutes requires that a zoning commission take into consideration the Plan of Conservation and Development (POCD) when deciding on a proposed zone change. The commission must state its findings on consistency of the proposed change with the POCD.



The Town of Vernon POCD Future Land Use Map recommends this area for moderately dense residential uses around 3 units per acre (left, shown in pale yellow, pg. 118-119). This future planning area directly abuts the Multi-Family Special Zone (shown in brown) immediately to the north and east—areas intended to develop with multi-family uses (and Mobile Home Parks). To the west, the POCD recommends residential development at moderate densities.

The POCD addresses land use decision-making for multi-family development. The Plan states that we should “ensure that new multi-family is

appropriately located and contributes to community structure” and that “*there are areas in Vernon where well-planned multi-family can contribute positively...*” (pg. 78).

The language of the POCD also highlights the importance of single family residential in the community as well as the effort to encourage homeownership opportunities (pg. 80).

The POCD recognizes the thematic conflict between single-family residential uses and multi-family apartments in the Town of Vernon: “some residents have a concern that Vernon has too much of this type of development” (pg. 78). The POCD suggests the Town could develop policy to consider efforts to rebalance our housing type mix.

According to the US Census American and the CT Partnership for Strong Communities (2018), Vernon has approximately 14,124 total residential units, 7,185 owner-occupied, 5,992 renter-occupied, and 947 vacant. Of the occupied units, 53% are single-family and 45% are multi-family. With the recent apartment development activity, including 312 unit Trail Run development, the multi-family to single-family housing balance is expected to draw closer. The Town of Vernon Housing Needs Assessment, published in 2019, reported that some 950 new multi-family units have been constructed since 2000.

The POCD is a policy guide to assist the Planning and Zoning Commission when making land use decisions. In this case, the subject property is an infill location squarely between single-family uses on one side and multi-family uses on the other. A zone change from single-family to multi-family could be consistent with the POCD if the Commission found that the location was appropriate and contributing to the community structure of Vernon. In addition, the proximity to the special zone future land use could be deemed a factor in decision-making.

In the alternative, the Commission could find that the request is not consistent with the POCD, that the protection of the single-family character is paramount, and that residential uses of a moderate density, such as the existing R-22 zoning, are preferred in this location.

Conformity to the Comprehensive Plan

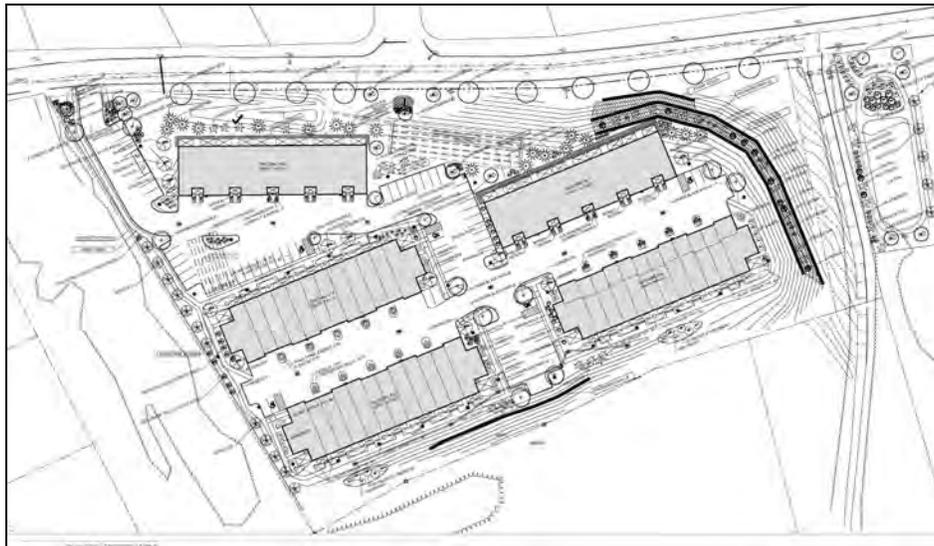
Section 8-2 of the General Statutes provides that zoning regulations “shall be made in accordance with a comprehensive plan.” The basic purpose in requiring conformity with a comprehensive plan is to prevent the arbitrary, unreasonable and discriminatory exercise of the zoning power. The requirement of conformity to a comprehensive plan serves as an effective brake upon spot zoning.¹

A community’s comprehensive plan evolves from the history of zoning in the town by the zoning commission, as reflected in the zoning regulations and zoning map. It is not to be confused with the plan of conservation and development, which is a planning concept within the exclusive control of the planning commission and is a blueprint for recommended future development of the community.²

Existing land use pattern is a factor. The property is an infill location, bounded by single-family residential uses to the north and west and by several multi-family projects to the north and east. Approving the proposed zone change would be in conformity with the way this section of town has been developed and an extension of the multi-family pattern to the east. On the other hand, maintaining the single-family zoning pattern is also consistent with this area’s pattern of development and similar to the single-family pattern to the west.

Preliminary Plan of Development

The Applicant proposes to develop 56 multi-family residential units, required parking, landscaping, and open space elements with access to and from South St.:



PZ 2020-03 Preliminary Plan w/Landscaping

¹ Connecticut Land Use Law and Practice, Third Edition, Volume 9, 2007, § 4:3, pp. 62 & 63.

² Connecticut Land Use Law and Practice, Third Edition, Volume 9, 2007, § 4:4, pp. 65 & 66.

The proposed Preliminary Plan meets the minimum lot area, lot width, and yard setbacks and other underlying zoning requirements. The minimum parking is established with both garage and surface spaces. The proposed plan, as revised, also meets the minimum area requirements in sec. 4.7.5 and the livability requirements of Sec. 4.7.6. Staff recommended additional open space; the applicant revised the plan to include a community open space area on the eastern edge of the project. The Town engineer requested additional engineering solutions related to stormwater run-off; the applicant included this in the April revision. A change to the CMFZ district requires a "Preliminary Plan of Development" and then a return to the Planning and Zoning Commission prior to the final approval of the Plan of Development.

The Applicant has submitted a residential architectural design rendering similar to their product developed at the Grand Lofts on Hartford Tpke:



Rendering: View from South St.

Relevant Technical Staff Reviews Related to the Site Plan

Town Planner-The Town Planner and Zoning Officer recommended the Applicant consider the specific livability and open space design concepts for the adjacent parcel (approximately 16,000 sq.ft.) to the east under the same ownership. The Applicant responded with a revised design incorporating these elements (green space, walking trail).

Town Engineer-The Town Engineer identified design concerns related to stormwater runoff at along the frontage of the property on South St. due to the steep grade. The Applicant has responded with SWM changes along the front, South St. segment of the property. In addition, the Applicant's original traffic study suggested a potential site distance improvement along South St. which would regrade a portion of the road. This is no longer proposed, nor warranted. The Applicant will attempt to work with an

adjacent landowner to regrade a portion of off-site private property to enhance site distance at the drive-way entrance. The Town Engineer and the Traffic Authority (comments attached) found the site distance on South St. at the entrance was acceptable and recommended no change in speed limit nor any regrading of South St. The Applicant agreed to pursue off-site improvements outside of the right-of-way (such as shaving down the hill) with the adjoining property owner.

There are no technical Staff outstanding issues related to the *preliminary site plan*.

Other Reviews

This proposal has been referred to the Design Review Commission and the Traffic Authority. The Design Review Committee recommended approval, as submitted, at their meeting on March 4, 2020. The Traffic Authority also recommended approval of the project, without conditions, on March 12, 2020 (see discussion in preceding paragraph).

Special Permit for Grading and Excavation-Section 15

In addition to the special permit for outdoor display discussed on page one of this report, a special permit approval is required from the PZC when grading, fill, excavation or removal of earth, loam, topsoil, sand, gravel, clay peat, humus or stone exceeds either 50 cubic yards or when more than one half acre is disturbed. This threshold is often exceeded for major projects. The Applicant has identified all areas of grading and site work.

In order to approve a special permit, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

- 17.3.1.1 It shall not create a hazardous condition relative to public health and safety;
- 17.3.1.2 It shall be compatible with neighboring uses;
- 17.3.1.3 It shall not create a nuisance;
- 17.3.1.4 It shall not hinder the future sound development of the community;
- 17.3.1.5 It shall conform to all applicable sections of this ordinance;

For the Special Permit related to Section 15 (grading), *Staff finds that the criteria have been met*, subject to recommended standard administrative conditions detailing specific activity and timing.

There are no technical Staff outstanding issues related to the *special permit request*.

Analysis

For consideration is whether multi-family land uses should extend west along South St., instead of the existing lower density residential zoning district (R-22). R-22 permits, as a matter of right, both single family and two-family residential uses. Other, more intense uses, such as nursing homes, funeral homes, and public institutional uses are permitted in this zone upon special permit review and approval.

Under CT state law, the PZC must *consider* the POCD in its decision-making process and state its findings on the record. The POCD is a policy guide for land use decision-making and is not necessarily dispositive.

The subject property is an infill location squarely between single-family uses on one side and multi-family uses on the other. A zone change from single/two-family to multi-family could be consistent with the POCD if the Commission found that the location was appropriate and contributing to the community structure of Vernon. The CMFDZ requires a simultaneous review of the preliminary plan which assists the PZC in making this determination. This is not typically required in most other zoning districts. In addition, the proximity to the special zone future land use to the east (which supports higher densities) could be deemed a factor in decision-making.

On the other hand, the Commission could find that the request is not consistent with the POCD, and that residential uses of a moderate density, such as the existing R-22 zoning, are designated and preferred for this location.

We recommend the Commission focus on land use compatibility: determining whether the location is more favorable to the existing R-22 zoning and single-family style lower densities or whether it favors an extension of higher-density land uses, based upon the preliminary plan of development submitted by the Applicant, as appropriate along South St.

Attach.



David A. Smith, P.E., L.S.
Town Engineer

Vernon-ct.gov

Memo

To: George McGregor, Vernon Town Planner
From: David Smith, Vernon Town Engineer
Date: August 12, 2020
Re: Follow up comments, Santini Project, South Street

As you will recall, we received advanced copies of the plans and supporting documents for this project back in March. I reviewed this material and made a few comments for further consideration, but the application was delayed by the Developer, and I never officially followed up on those comments.

This memo has been prepared to document that my earlier request for a French Drain to be installed below the stormwater recharge system has been shown and detailed on the current plan set.

Additionally, there was some concern that the first issue of the Traffic Report suggested that South Street could be regraded to provide an enhanced sight distance looking to the west. The revised Report indicates that some regrading on the adjacent parcel would improve the sight distance. Regardless, it should be noted that the sight distance currently provided at the project's point of entry/exit does meet the requirements for the posted speed limit of 30mph. I believe that the Vernon Traffic Authority concurs with this.

Please let me know if you have any questions or concerns regarding this memo.

Thank you

Town of Vernon
Vernon Traffic Authority
Thursday, March 12, 2020, 6:00 p.m.
Community Room Vernon Police Department
725 Hartford Turnpike
Vernon, CT 06066

DRAFT MINUTES

Chief James Kenny called the meeting to order at 6:00 p.m. Also in attendance were Commission members Robert O’Gara, Daniel Wasilewski, Jon Paul Roden, and Charlie Bettinger.

1. Approval of minutes from September 12, 2019, meeting

Charlie Bettinger made a motion seconded by Chief Kenny to approve the September 12, 2019, minutes as presented. Motion carried unanimously with one abstention.

2. Application for Zone Change, Special Permit, and Preliminary Plan of Development – 195 South Street; MBL 39-065B-0018A – Santini Real Estate Trust

In attendance representing the Application were Dorian Famiglietti, Attorney Kahan Kerensky Capossela; Jim Bubaris, President Bubaris Traffic Associates; Eric Peterson, Gardner & Peterson Associates; Eric Santini and Kevin Santini, Applicants.

Attorney Famiglietti introduced the plan and location of development.

Chief Kenny advised the Commission that he met with Kevin Santini previous to the meeting to discuss the driveway placement due to site issues.

Eric Peterson explained the new curb cut and site line. He explained the development plan, parking spaces, drive aisles, turn templates for large vehicle accessibility, stop bars, stop signs, location of dumpster, width and grade of driveway, snow removal, and sidewalks.

An email from David Smith, Town Engineer to Chief Kenny dated March 11, 2020, regarding re-grading of South Street was referenced.

Jim Bubaris, traffic engineer, explained the traffic study that was completed at the proposed development site. Questions were asked and answered regarding lighting, handicap and visitor parking, stop sign/bar in driveway, and building numbering. Discussion took place.

Charlie Bettinger made a motion seconded by Jon Paul Roden to accept the Application as presented. Motion carried unanimously.

3. Old Business

Chief Kenny explained that the state has granted the town the right to put in a traffic light at Trail Run Apartments and Diane Drive. Discussion also took place regarding previous applications: Rich Hayes, Hyde Apartments plans near completed; dog park; Dart Hill Road Bridge.

4. Adjournment

Charlie Bettinger made a motion seconded by Jon Paul Roden to adjourn at 6:31 p.m. Motion carried unanimously.

Respectfully Submitted

Susan Hewett

Susan Hewett
Recording Secretary



AVON • BLOOMFIELD • BOLTON • BRISTOL • BURLINGTON • CANTON • COVENTRY • EAST GRANBY • EAST WINDSOR • EAST HARTFORD • ELLINGTON
ENFIELD • FARMINGTON • GLASTONBURY • GRANBY • HARTFORD • MANCHESTER • PLAINVILLE • SIMSBURY • SOMERS • SOUTH WINDSOR
STAFFORD • SUFFIELD • WEST HARTFORD • WETHERSFIELD • TOLLAND • VERNON • WILLINGTON • WINDSOR • WINDSOR LOCKS

Date: April 9, 2020

To: George K. McGregor, AICP, Town Planner
Town of Vernon Planning & Zoning Commission

From: Barbara Kelly, Program Coordinator
Registered Soil Scientist, SSSSNE *Barbara Kelly*
Certified Erosion Control Professional CPESC #2180

Re: Erosion & Sedimentation Control Review and Certification for "Improvement Location Survey,
Preliminary Plan of Development, The Grand Lofts West, 209 South Street, Vernon, Connecticut"

This review is conducted pursuant to Section 18 of the Town of Vernon Zoning Regulations. The review is limited to certification of the erosion control plan, based on compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines).

District staff inspected the site on March 25, 2020. Staff reviewed a plan titled "Improvement Location Survey, Preliminary Plan of Development, The Grand Lofts West, 209 South Street, Vernon, Connecticut" (Plan) prepared by Gardner & Peterson Associates, LLC, and dated February 23, 2020.

The Plans show construction of five multiple-unit apartment buildings, with associated parking, utility, and stormwater management facilities on the 5.88 acre parcel. Proposed soil erosion and sediment control (E&S) measures include a construction entrance, silt fence & coir log perimeter controls, stone check dams, and erosion blanket & stone slope protection.

Background

Based on the Natural Resources Conservation Service Web Soil Survey, soils throughout the majority of the proposed construction area are mapped as Manchester gravelly sandy loam or Charlton-Chatfield complex. The erosion hazard can range from slight to severe. The steep slopes on the north and eastern perimeter of the parcel are most susceptible to erosion.

Observations & Recommendations

Details for catch basin protection are provided in the Plan, however the Plan does not show where the protection should be installed.

- Once constructed, any catch basin within the site should be protected.
- Consider adding inlet protection to catch basins located downslope/east of the construction: on both sides of the Connecticut Water Company access road; and along the south side of South Road.

In accordance with the Guidelines, General Erosion and Sediment Control Note #11 should be revised to require seeding within 7 (not 15) days.

Observations & Recommendations (cont'd)

The two stone check dams are shown on the plan will be necessary to prevent erosion on the steep slopes.

- Consider adding installation of the stone check dams to the Construction Schedule to ensure that they are in place as soon as practical and before rough grading exposes soil on the entire site.

Based on the observed site conditions, the soil erosion and sediment control measures incorporated in the Plan are adequate and appropriate. With consideration of the recommendations noted above, the District certifies that the plan complies with the **2002 Connecticut Guidelines for Soil Erosion and Sediment Control**.

Thank you for the opportunity to comment.

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 03/03/2020

APPLICANT: ESS VERNON PROPERTIES LLC

PROJECT: Santini Real Estate Trust

LOCATION: 209 SOUTH ST

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

The application appears to conform with the zoning regulations for the Comprehensive Multi-Family Dwelling Zone.

SIGNATURE: _____

DATE: _____

Public Comments Received

From: [Pegi Deitz Shea](#)
To: [McGregor, George](#)
Subject: South Street development
Date: Thursday, August 13, 2020 4:28:44 PM

Dear Mr. McGregor:

As a home-owner on Fox Hill Drive who uses South Street frequently, I am in total opposition to the re-zoning of R-22 Residential to Comprehensive Multi-family Zone as it regards the property of 195/209 South Street.

Three of the four corners of the South Street and Vernon Avenue intersection are multi-family units, with additional units creeping down Vernon Avenue and well along South Street on both directions. The same developer has already spread along Hartford Turnpike as well.

South Street has increasingly become dangerous with motor vehicle speeding. The length of South Street has numerous school bus stops, and dangerous sight lines. The South Street/Vernon Avenue intersection (also a school bus stop) is supposedly a 4-way stop. In reality, cars usually blow-through or roll-through this intersection. The South Street/West Road intersection is extremely dangerous. I, myself, was a victim of an accident when a driver making a right turn onto South, T-boned my car's driver side as I waited at the stop sign.

Residents of multi-family units have a higher turnover rate than home-owners. We need long-term residents to have "some skin in the game" when it comes to dedication to Vernon's government, civic activities, education (with several Schools of Distinction), and senior citizens' well-being. Vernon is more than just a bedroom for commuters, and a monopoly board for one development company,

Sincerely,
Pegi Deitz Shea
27 Fox Hill Drive
Rockville, CT 06066
860-878-7016

Please visit www.pegideitzshea.com for my social justice and multicultural books, awards, writing workshops, curriculum guides and editing services! NEW - links to online poetry publications. SOON to come - Information on my photography exhibits, as well as sample copyrighted photographs to order.

McGregor, George

From: Joe Wadsworth <joewcenter-co@yahoo.com>
Sent: Tuesday, August 11, 2020 11:46 AM
To: McGregor, George
Subject: Proposed South St rezoning

Dear Mr McGregor,

I would like to register my opposition to the proposed rezoning of 195 and 209 South St from Residential to Comprehensive Multi-Family Zone.

This will drastically increase traffic in the area.

Also, I believe this proposal is unsafe given the speed with which the road is travelled and the grading of the hill in the proposed area.

Furthermore, Vernon has an abundance of multi family housing options already.

I ask for the rejection of this proposal.

I am the homeowner at 32 Glenstone Dr off of South St.

Thank you,

Joe Wadsworth

McGregor, George

From: ckconnor <ckconnor@yahoo.com>
Sent: Tuesday, August 11, 2020 8:31 AM
To: McGregor, George
Subject: South St near Bancroft Rd santini zoning change

Hello

I'm Craig Connor 25 Bancroft Rd and I am completely AGAINST any zoning changes to add any more apartments on any part of South St, especially the current proposed zoning change from residential to anything else.

There are several factors mainly the hundred or more autos to be entering/exiting this area causing extreme safety hazards in this area, like many will mention the speed limit is 30, no enforcement and many are going 50+ from Vernon Ave going west up the incline.

Along with this it is well known by the residents of this area that santini regularly operates his unregistered equipment on South St and Vernon Ave, backhoes, lifts, large lawn equipment. Also the way the lawns are groomed they are always blowing into the road, making unsafe for motorcycles and also clogging the storm drains. Regularly the drains are clogged at South St/Vernon ave intersection with public works having to clear these.

This property, properties that are residential NEED to stay residential or turned into open space. I strongly urge you and your staff to NOT change the zoning at this location. We need single family homes in Vernon not rentals

Thank-you Craig Connor 860-944-0533

McGregor, George

From: Lisa Perry <lisa_perry@att.net>
Sent: Monday, August 10, 2020 12:58 PM
To: McGregor, George
Subject: PZC Hearing/August 20 , 2020 RE: Santini Real Estate.

Dear Mr. McGregor,

My name is Lisa Perry I live at 36 While Street Vernon. I am writing to you to share my concerns with the Planning and Zoning Commission regarding the application by Santini Real Estate for a zoning change for the three land parcels on South Street. I am strongly opposed to this zoning change. First I echo the concerns of many regarding traffic issues and conservation.

Secondly I would also add that I feel the "luxury" housing market, most of which is owned by Santini; is saturating the housing market here in Vernon. I do not believe this type of housing brings in families that will put down roots here in town. While they attract young professionals, even young families, when it is time for them to think about buying or building houses, or enrolling their children in school they look elsewhere. This kind of cycle will do little to build a community that is attractive to families of all income levels. We must find ways to invite development that offers incremental growth to families of diverse incomes, small apartment, to larger apartment to single family home.

I would urge the PZC to reject the application. Thank you in advance for your time.

Respectfully,

Lisa Perry

McGregor, George

From: Nichole Burnham <nicholemburnham@yahoo.com>
Sent: Monday, August 10, 2020 11:04 AM
To: McGregor, George
Subject: application pz2020-03 zone change

Hello,

I am writing in opposition of the proposed application PZ2020-03 zone change from R22 to comprehensive multi family dwelling for parcels 00019, 00017, and 0018a. I live in the Bancroft rd area and this proposed change would directly impact my neighborhood. Adding an additional 56 homes to the parcels would increase the traffic on an already busy main road, making it less safe for those living in the area. Additionally the poor sight lines due to the grade in the roadway of South street would make it extremely unsafe for vehicles attempting to make a left turn into the property. Due to the grade in the roadway, you are unable to see over the hill and see oncoming cars. This type of poor sight lines will cause unnecessary accidents and injuries. Furthermore the rezoning would go against the towns plan of conservation and development which recommends more single family homes in Vernon. Additionally the towns plan calls for retaining of the zoning patterns which again this change would go against. Please consider declining the proposed application due to the reasons listed above as well as the petition of protest.

Thank you,
Nichole Burnham

McGregor, George

From: Jennifer Roy <jroy@somersct.gov>
Sent: Monday, August 10, 2020 9:21 AM
To: McGregor, George
Subject: PZ2020-03; South Street parcels

Importance: High

Good morning George;

I hope this email finds you well! I would like to submit my comments for next Thursday's PZC meeting, as I will be out of town and unable to call in.

I strongly oppose the requested zone changes, and urge the commission to consider the Plan of Conservation and Development for the **Town** of Vernon in rendering their decision. Vernon is a town. Not a city. We have at minimum 20 large complexes with a mix of luxury townhomes and regular apartment complexes.

As stated in the beginning of our Zoning Regulations:

The following regulations have been designed for the purpose of lessening congestion to the streets; to secure safety from fire, panic, flood, and other dangers; to promote health and the general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population and facilitate the adequate provision for transportation, water, sewage, schools, parks, and other public requirements.

I'd like to thank the members of the PZ Commission for their dedication to our Town.

Jennifer Roy, Homeowner
83 Phoenix St, Vernon

*Jennifer Roy, CZEO
Zoning Enforcement Officer/Land Use Technician
Town of Somers
Phone: 860-763-8220*

Carol & Lester Palifka
12 Bancroft Road
Vernon, Ct. 06066

RECEIVED

APR 27 2020

April 17, 2020

TOWN PLANNERS OFFICE

Planning and Zoning Commission
14 Park Place
Vernon Ct.

To the Planning and Zoning Commission,

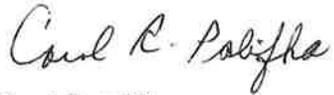
I am writing in regards to my concerns about the apartments that are being built on the 5.88 acres of land that is located directly across from Bancroft Road by Santini Real Estate Trust. The following is a list of concerns that my wife and I have. We understand that this is NOT the first time this developer has tried to put apartments on this property.

1. The addition of the apartments will cause a increase in the amount of traffic that we will see. Bancroft road is used as a thruway right now for cars going to the north side of town. The cars doing this travel at an excessive speed thru our neighborhood as it is now. These apartments will cause an increase in this traffic flow. We have small children and elderly people on this street and this will cause an undue hazard to their safety.
2. Also in regards to the traffic on South Street more traffic and less safety for us. As it is trying to get out of Bancroft onto South Street is less than ideal. I have over the years had numerous times when I have almost been hit because the line of sight onto South Street is not that good. With the addition of apartment traffic it will make it even more unsafe to exit Bancroft Road. Plus the speed limit on South Street is supposed to be 30mph but they travel considerably faster than that. The developer tried to purchase property adjacent to the proposed apartment land to flatten the land for better visibility but was unsuccessful in doing so. Thus the danger will still exist with a poor line of sight.
3. The plans show: " a single exit/entrance with poor sight lines on South Street. The developer recognizes this safety hazard; the traffic study found the line to be only "adequate"-IF cars traveld at the 30mph speed limit. How ever we all know that the cars do NOT travel at the 30mph speed limit. The study revealed the average speed of 39mph in one direction and 44mph in the other. The developer unsuccessfully tried to purchase adjoining property to flatten the road in an attempt to improve this hazard.
4. Town zoning regulations require that any application must "not hinder further sound development of the community" the increased traffic and safety problems THREATEN sound development of our beautiful community.

In closing my wife and I feel that the that a zone change to allow these apartments to be built is **NOT** consistent with Vernon's Plan of Conservation and Development (POCD) that advocates more home ownership and single family homes, and recommends Vernon retain its zoning patterns that reserve appropriate areas for single-family homeownership. According to that document, 43% of Vernon's

housing units are renter occupied and since the POCD was created, additional apartments built include Trail Run, mill conversions into apartments, and Grand Lofts, with 174 more units proposed for Hyde Ave. Pretty soon there will be more renter occupied units putting more demand on our services and raising our taxes. My wife and I are on a limited income being retired. We love Vernon, BUT more apartments and people who do not pay taxes but use our resources are not in the best interests of the fair citizens that have to support these resources. So we are asking that the zoning not to be changed and for you, the commission do what is right for the tax paying citizens of our beautiful town.

Respectfully submitted,



Carol R. Palifka



Lester G. Palifka

McGregor, George

From: NANCY STEFFENS <nancysteffens@sbcglobal.net>
Sent: Wednesday, April 1, 2020 8:58 AM
To: dchampagne@vernon-ct.gov
Cc: McGregor, George
Subject: 209 South St zone change request

Hi Mayor Champagne,

I have been a resident of 224 South Street since 1988 and I enjoy living in Vernon. The recreational opportunities and our Public Works Department are outstanding, and Valley Falls is a true gem. I also want to thank you and the entire town administration for the excellent work being done to help the residents of Vernon get through this pandemic crisis as safely as possible.

My husband and I met with Town Planner George McGregor several weeks ago, just before the Stay at Home policies went into place. We reviewed the plans submitted by the Santini group that would require a zone change from R-22 to Comprehensive Multi-Family Dwelling zone so they can build 56 apartments.

A neighborhood group and residents throughout the town strongly oppose this zone change, based on safety and traffic concerns, and because it does not conform with the town's Plan of Conservation and Development. We have two petitions that we prepared and had been collecting signatures until the Stay At Home order was issued. We do not want to go door to door at this time and violate that order or endanger residents.

George McGregor has been helpful in responding to my requests for information, so I wanted to let him (and you) know of our concerns regarding the petitions, and the state statute regarding a petition signed by at least 20 percent of the landowners within 500 feet of 209 South Street.

The email to George is below; I am hopeful the town will not hold a public hearing on the request until our group has the ability to collect signatures and present the petitions to the town. We are not against that parcel of land being developed - we do, however, feel it should be developed as R-22 residential to ensure a safe and healthy neighborhood that meets the town's land development goals.

Thank you, and stay well as we work together to get through this pandemic.

Nancy Steffens
860-614-9957
nancysteffens@sbcglobal.net

Begin forwarded message:

From: NANCY STEFFENS <nancysteffens@sbcglobal.net>
Subject: Re: A few questions
Date: April 1, 2020 at 7:08:25 AM EDT
To: "McGregor, George" <GMcGregor@vernon-ct.gov>

Good morning, George.

Hope you are well. I went out of retirement last week to help at the Labor Department; the agency has a lot of challenges right now as it assists residents and I wanted to lend a hand. But I also wanted to take the time to catch up with you since the President recently extended the Stay at Home order and the request to continue practicing Social Distancing. While this is a great decision, it also means our group of South Street area residents can not collect signatures for our petitions.

As I noted in my earlier email, we have two petitions - one for those homeowners within 500 feet of 209 South Street, and a general petition for other residents. While both petitions are important, the one signed by those with property within 500 feet, per State Statute, will require that at least two-thirds of the Planning and Zoning Commission vote to approve the zone change.

I think you are aware of this State Statute, but wanted to stress again that if the Covid-19 pandemic prevents us from our rights under the law, the Public Hearing should not be held until we are able to collect all the necessary signatures. We have the petitions prepared and have compiled a list of potential residents within the 500 feet that would sign the petition.

This is the State Statute I am referring to:

if owners of 20% or more of the area of the lots within 500 feet in all directions of the property submit a signed petition against a proposed zone change, under CT State Statutes no zone change can occur unless two-thirds of the PZC members vote to change the zone (see underlined text).

Chapter 124

Sec. 8-3. Establishment and changing of zoning regulations and districts. Enforcement of regulations. Certification of building permits and certificates of occupancy. Site plans. District for water-dependent uses. (a) Such zoning commission shall provide for the manner in which regulations under section 8-2 or 8-2j and the boundaries of zoning districts shall be respectively established or changed. No such regulation or boundary shall become effective or be established or changed until after a public hearing in relation thereto, held by a majority of the members of the zoning commission or a committee thereof appointed for that purpose consisting of at least five members. Such hearing shall be held in accordance with the provisions of section 8-7d. A copy of such proposed regulation or boundary shall be filed in the office of the town, city or borough clerk, as the case may be, in such municipality, but, in the case of a district, in the offices of both the district clerk and the town clerk of the town in which such district is located, for public inspection at least ten days before such hearing, and may be published in full in such paper. The commission may require a filing fee to be deposited with the commission to defray the cost of publication of the notice required for a hearing.

(b) Such regulations and boundaries shall be established, changed or repealed only by a majority vote of all the members of the zoning commission, except as otherwise provided in this chapter. In making its decision the commission shall take into consideration the plan of conservation and development, prepared pursuant to section 8-23, and shall state on the record its findings on consistency of the proposed establishment, change or repeal of such regulations and boundaries with such plan. if a protest against a proposed change is filed at or before a hearing with the zoning commission, signed by the owners of twenty per cent or more of the area of the lots included in such proposed change or of the lots within five hundred feet in all directions of the property included in the proposed change, such change shall not be adopted except by a vote of two-thirds of all the members of the commission.

(c) All petitions (*applications*) requesting a change in the regulations or the boundaries of zoning districts shall be submitted in writing and in a form prescribed by the commission and shall be considered at a public hearing within the period of time permitted under section 8-7d. The commission shall act upon the changes requested in such petition. Whenever such commission makes any change in a regulation or boundary it shall state upon its records the reason why such change is made. No such commission shall be required to hear any petition or petitions relating to the same changes, or substantially the same changes, more than once in a period of twelve months.

(d) Zoning regulations or boundaries or changes therein shall become effective at such time as is fixed by the zoning commission, provided a copy of such regulation, boundary or change shall be filed in the office of the town, city or borough clerk, as the case may be, but, in the case of a district, in the office of both the district clerk and the town clerk of the town in which such district is located, and notice of the decision of such commission shall have been published in a newspaper having a substantial circulation in the municipality before such effective date. In any case in which such notice is not published within the fifteen-day period after a decision has been rendered, any applicant or petitioner may provide for the publication of such notice within ten days thereafter.

Thanks for the assistance you have provided to me, and I hope we can depend upon the Town of Vernon to recognize this statute and allow our group to exercise its rights. I continue to be impressed with how the town is handling the pandemic crisis, and I know we can come through this difficult time. I will also send a copy of this letter to our Mayor to ensure he is aware of our concerns.

Take care,
Nancy Steffens

On Mar 23, 2020, at 11:58 AM, NANCY STEFFENS <nancysteffens@sbcglobal.net> wrote:

Hi George,

Hoping you are doing OK during this challenging time. Our friend lost his dad to this virus this week, so we are seeing first-hand how scary this pandemic is and therefore trying our hardest to social distance and follow all recommendations set by the Governor and the Mayor.

I know you are working on getting the Traffic Commission minutes from the last meeting, and I saw in the Journal Inquirer's legal section that the town plans to hold a Teleconference Public Hearing April 2 for a request to operate a home business on Bamforth Road. Although we know the situation remains fluid, do you think that the Public Hearing on the 209 South Street zone change request will be held later in April via a Teleconference? I ask because a large number of neighbors want to voice concerns at the hearing, plus we have a petition to be signed by residents against the zone change, and a second petition for those homeowners within 500 feet of the property. If 20% or more sign that petition, the zone change can't be approved unless at least two-thirds of the PZC vote for the change.

Our concern is that we are unable to collect petition signatures at this time since we are complying with the state's request to practice social distancing. Many of our neighbors are older and taking many precautions to stay away from others. If a Public Hearing is held toward the end of April, we are afraid those who want to sign either petition will not have that opportunity.

I went through a file that kept from when the Santinis first went for a zone change on that property in the summer of 1996. The developers withdrew the application in August. Media coverage in the Journal and Courant noted the strong opposition from residents in the South Street area, and reporters also covered the concerns over a simultaneous request the Santinis were making to rezone 28.7 acres on Route 30 from Industrial to Multi-family. After withdrawing the initial request, the Santinis focused on the 28.7 acres and eventually got approval to build apartments on Route 30.

The news clips at that time also quoted Vernon's Town Planner, George Russell, who did not feel that the zone change requests were consistent with the town's Master Plan of Development. He noted that, "With more than 40% of the town's units being multi-family, there is a legitimate question as to whether more multi-family units are needed." At that time, Vernon had about 48% of rental units.

Since that time, the town has approved a Plan of Conservation and Development (POCD). In looking at the Plan, the zone change does not appear to be consistent with the POCD. The Plan, developed in 2012, notes that Vernon's housing stock has a high percentage of multi-family housing and could be balanced with more ownership and single-family housing

opportunities. The POCD also sets a goal to “Increase Homeownership Opportunities,” and to “Retain zoning patterns which reserve appropriate areas of the Town for single-family homeownership.”

I mention this because it is my understanding that the PZC must find the application consistent with the POCD in order to approve a zone change. The most recent Census (2010) showed that Vernon still had more than 48% of rental units and since that time, the town has seen an increase in new rental units, including Trail Run, multiple mill conversions, and another 174 apartments proposed for Hyde Avenue.

As neighbors, inconsistency with the POCD, along with traffic and safety problems, are big concerns and we want to make sure we have the opportunity to bring these concerns before our PZC members.

I know you are working hard for the town during this stressful time, so I appreciate all of your help and am hopeful the town will recognize the concerns of the neighborhood in the appropriate manner, and ensure any zoning changes fully reflect the vision for Vernon.

Take care,
Nancy Steffens

On Mar 16, 2020, at 1:53 PM, McGregor, George <GMcGregor@vernon-ct.gov> wrote:

Ms. Steffens

I will work on getting your requested items organized.

The situation is fluid, as you might imagine.

We have cancelled the March 19, 2020 PZC meeting.

We are reviewing our options for future meetings, pursuant to the Governor's Executive Order regarding meetings.

George

-----Original Message-----

From: NANCY STEFFENS <nancysteffens@sbcglobal.net>

Sent: Monday, March 16, 2020 1:48 PM

To: McGregor, George <GMcGregor@vernon-ct.gov>

Cc: Nancy Steffens <nancysteffens@sbcglobal.net>

Subject: A few questions

Hi George,

Thanks for talking with me and Bob last Tuesday to review and answer questions about the proposed plans that were submitted by the Santini group and the request for a zone change. Having worked in state government, I know you must be incredibly busy and my questions are the last thing you want to deal with. However, I know CT and the country will pull through this difficult time and as a result, we all be addressing the zone change proposal soon.

For many in our neighborhood, the zone change is a very important issue because we do not think changing the zone is in the best interests of the community for variety of reasons that will be outlined at the public hearing. And that is my first question. With many establishments now required to close, and with residents encouraged to social distance, I am wondering about the status of future PZC hearings. I know one is set for March 19, and the Governor's actions do allow for them to be held with residents involved off-site. Not sure how that will

work in Vernon, but I sense the meetings may need to be postponed temporarily if the virus gets worse. Regardless, we want to ensure all residents with concerns about the zone change are able to voice their opinions on an issue that has such a significant impact on our lives.

Also, it is very difficult at this time (and reckless, health wise) to gather petition signatures. I do not want to risk the health of my neighbors by going door-to-door at this time with a petition. I am hoping we will be provided ample time to submit signatures.

Lastly, several people attended the Traffic Commission meeting on Thursday and we sensed concerns from the Police Chief and others regarding the sight line. I am under the impression the Town Engineer wrote a memo regarding the sight line to the Commission and I am requesting a copy of that memo. I would also like to request a copy of the minutes from that meeting when they are ready. Email format is fine, since I assume it is not wise to or possible to visit Town Hall at this time.

Thanks again for your assistance. When the Town Hall re-opens, I am also interested in examining the "mylars" that show the various zone changes that have taken place in the town.

I have included a link to recent article from CTMirror regarding hearings that you may have already seen.

Thanks again, George, for your time and stay safe.

Nancy Steffens
860-614-9957

<https://urldefense.proofpoint.com/v2/url?u=https-3A-ctmirror.org-2020-03-14-lamont-2Dallows-2Dtowns-2Dto-2Dclose-2Dmeetings-2Dbut-2Dlocal-2Dbudget-2Dadoption-2Dposes-2Dbigger-2Dproblems-&d=DwIFaQ&c=3dldK24HquEV1jQbS8Zy4g&r=c-s8Ylypimv40-HWDC8sy3zIN0llbXKysmAORE-6AQ1E&m=NzFHOCbY6tpmTHzjSYGqrlbFV-92aQoFCT8XSFJ8BWw&s=Y4DcVIAZ5bMbmstlxDymx2PLt9P48Dc5HfgnraXUpCs&e=>