

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice
Thursday, August 20, 2020, 7:30 PM

Posted 8/14/2020 SBurgas

Via Zoom Meeting

Zoom link:

<https://us02web.zoom.us/j/82959080077?pwd=ejBKcVY5MzNDdDhjchVUMDR3UkwzZz09>

Meeting ID: 829 5908 0077

Web Passcode: J7LEDU

Dial In: (646) 876-9923

Meeting ID: 829 5908 0077

Dial In Passcode: 430232

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
 - 2.2 Approval of the Minutes from the August 6, 2020 meeting
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Application**
 - 4.1 **CONTINUATION from July 16, 2020 Regular Meeting** Application [PZ 2020-08] of St. Bernard Church for site plan approval for a 2,573 sq. ft. addition to the School, the demolition of the Parish Center, and a reconfiguration with additional spaces of the existing parking areas and parking lot access. A Special permit is also requested pursuant to Section 15 of the Town of Vernon Zoning Regulations for the grading and removal of material in excess of 50 cubic yards and for the disturbance of more than one-half (1/2) acre of land. The St. Bernard Church campus is located at 25 Saint Bernard Terrace, with the School and Parrish Center located at 20 and 22 School St., respectively (Assessor ID: Map 40, Block 0110, Parcel 00004).
 - 4.2 Application [PZ-2020-03] of Santini Real Estate Trust for a Zone Change from R-22 to Comprehensive Multi-Family Dwelling Zone, for three parcels totaling +-6.27 acres located at 195 South St. (Assessor ID: Map 39, Block 065B, Parcel 00019), 209 South St. (Assessor ID: Map 39, Block 065B, Parcel 00017), and Assessor ID: Map 39, Block 065B, Parcel 0018A (no address identified). Approval of a Preliminary Plan of Development and a Special Permit for Excavation and Grading pursuant to Section 15 of the Town of Vernon Zoning Regulations are also requested, in order to develop a 56-unit, multi-family residential development project.
6. **Other Business/Discussion**
7. **Adjournment**

RECEIVED
VERNON TOWN CLERK
20 AUG 14 AM 11:17

Roland Klee, Chairman
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice
Thursday, August 6, 2020, 7:30 PM

VIA Zoom Meeting

DRAFT MINUTES

1. **Call to Order & Roll Call by Roland Klee, Chairman at 7:30 PM.**
 - Regular members present: Roland Klee, Mike Mitchell, Joseph Miller, Iris Mullan, and Jesse Schoolnik
 - Alternate Member: Robin Lockwood sitting for Susan Reudgen
 - Absent Members: Susan Reudgen and Wes Shorts
 - Staff present: George McGregor, Town Planner
 - Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #5 "Other Business" requires Commission vote

Robin Lockwood made a motion to ADOPT the agenda. Jesse Schoolnik seconded and the motion carried unanimously.

 - 2.2 Approval of the Minutes from the July 16, 2020 meeting

Robin Lockwood made a motion to APPROVE the minutes from July 16, 2020. Mike Mitchell seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**
 - 3.1 Application [**PZ-2020-09**] of Johanna Serrata (Gi Gi's Fun Bounce dba Kidzone) for a Special Permit pursuant to Section 4.9.4.11 and 17.1.1 for the serving of alcohol at 234 Talcottville Rd. (Assessor's ID: Map 10, Block 15R, Parcel 38).

George McGregor recommended a Public Hearing for Application PZ-2020-04 to be held on September 3, 2020. The Commission agreed unanimously.

4. **8-24 Referrals**
 - 4.1 Jen Drive Public Street Acceptance

Robin Lockwood MOVED that the Planning & Zoning Commission finds that the acceptance of Jen Drive and the open space parcel by the Town of Vernon is consistent with the Plan of Conservation and Development and meets the Street Acceptance procedures found in Section 9 of the Town Subdivision Regulations. Mike Mitchell seconded and the motion carried unanimously.

5. **Plan of Conservation and Development (POCD)**

5.1 Discussion of Commission Questionnaire

Milone & MacBroom, Inc. is in the data and info gathering phase of planning process. A questionnaire was submitted to The Commission to gather their future objectives pertaining to the growth, development and conservation over the next ten years.

Each question was discussed with the Commission giving their thoughts and ideas on what they would like to see for the future of the Town of Vernon.

6. **Other Business/Discussion**

NONE

7. **Adjournment**

Robin Lockwood made a motion to ADJOURN at 8:29 PM. Jesse Schoolnik seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

APPLICATION

(PZ-2020-08)



PLANNING
DEPARTMENT

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ-2020-08, 25 Saint Bernard Terrace
Application for Site Plan and Special Permit **UPDATE**

DATE: August 20, 2020

At the July 16, 2020 regular meeting, the PZC continued the public hearing until August 20, 2020, so that the Applicant could return to the Local Historic Preservation Commission (LHPC) for continued discussion related to architectural design and compatibility.

The Applicant has incorporated several of the LHPC's recommendations:

- Larger windows on the proposed addition elevation facing School St.
- Incorporation of a decorative black aluminum fence in the HVAC screening area.
- Additional landscaping elements along School St. in an effort to further screen the addition.
- Addition of a white trim board with dentil block trim to the addition.

The LHPC, at its August 13, 2020 meeting, moved to support the application with the following stipulations and or comments:

1. The LHPC appreciates the Applicant's effort to respond to the concerns expressed at the July regular meeting.
2. The LHPC supports the four enhancements as described above.
3. The LHPC recommends consideration of an additional 3-4 feet of height for the exterior walls.

Staff finds that the Application, as revised, substantially meets the Town of Vernon Zoning requirements related to Site Plans (Section 14), Special Permits (Section 15 & 17) as well as conforms to the design regulations of the Downtown Business and Residential Zoning District and the Rockville Village Overlay. The recommendations of the LHPC strive to ensure the addition and other improvements meet the highest preservation tenets. The Applicant states that any increase to the addition wall height would prove to be too costly. On balance, Staff finds the architectural modifications presented by the Church reasonably address the design concerns previously identified. **There are no outstanding Staff issues at this time related to the Site Plan or the Special Permit. Staff recommends approval of the Site Plan and Special Permit Applications.**

**PZ 2020-08, St. Bernard Church
Draft Motions and Conditions of Approval
August 20, 2020**

Draft Motions

Or

1. Moved, that the Planning and Zoning Commission APPROVE PZ 2020-08, An application of St. Bernard Church for site plan of development for a +-2,573 sq. ft. addition to the School, the demolition of the Parish Center, and a reconfiguration with additional spaces of the existing parking areas and parking lot access; and, a Special Permit pursuant to Section 15 of the Town of Vernon Zoning Regulations for the grading and removal of material in excess of 50 cubic yards and for the disturbance of more than one-half (1/2) acre of land, subject to the Conditions of Approval dated August 20, 2020, and based upon the public record and the following findings:
 - a. The Site Plan meets the requirements of Section 4.23, Section 14, and Section 24 of the Vernon Zoning regulations;
 - b. The Special permit meets the requirements of Section 15 and Section 17.3.1 and;
 - c. The Architectural Plans substantially meets the purpose and intent of the Rockville Village District Overlay and is deemed compatible with the architecture of the district.

Or

2. Moved, An ALTERNATE Motion.

Conditions of Approval, *in addition to the Standard Administrative Conditions and Restrictions, August 20, 2020*

1. The property shall be developed in substantial conformance with the Site Plan set (Sheets 1-10) dated June 1, 2020, with Sheets C-2.0, C-4.2, and L-1.0 revised July 14, 2020, prepared by Macci Engineers.
2. The property shall be developed in substantial conformance with the Architectural floor Plan set dated June 1, 2020, and the Architectural Elevations dated July 15, 2020 prepared by Friar Architecture.
3. Prior to the commencement of any site work, the applicant or his/her agent shall submit to the Town Planner an instrument of financial guarantee in a form acceptable to the PZC for Erosion and Sedimentation Control in the amount to be determined by the Town Engineer.

MAP NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED JUNE 21, 1996; AMENDED OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A PROPERTY/TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS UPON THE SUBJECT PARCEL.
- THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY. THE VERTICAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY. THE TOPOGRAPHIC FEATURES CONFORM TO A CLASS T-2 ACCURACY.

MAP NOTES (CONTINUED):

- THE PROPERTY/ BOUNDARY LINES DEPICTED HEREON ARE BASED UPON A RESURVEY OF MAP REFERENCE 'A'.
- THE NORTH ARROW AND BEARINGS ARE BASED UPON THE CONNECTICUT STATE COORDINATE SYSTEM N.A.D. 1983 (2011). THE ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING GEOID 12B. COORDINATES AND ELEVATIONS WERE DETERMINED FROM RTK GPS OBSERVATIONS MADE ON OCTOBER 22, 2019, USING THE CT DOT RTK NETWORK KNOWN AS ACORN (CTEG BASE), HAVING THE FOLLOWING VALUES:
LATITUDE = N 41° 55' 24.34700"
LONGITUDE = 72° 41' 55.88092"
ELLIPSOID HEIGHT = 30.293M

MAP NOTES (CONTINUED):

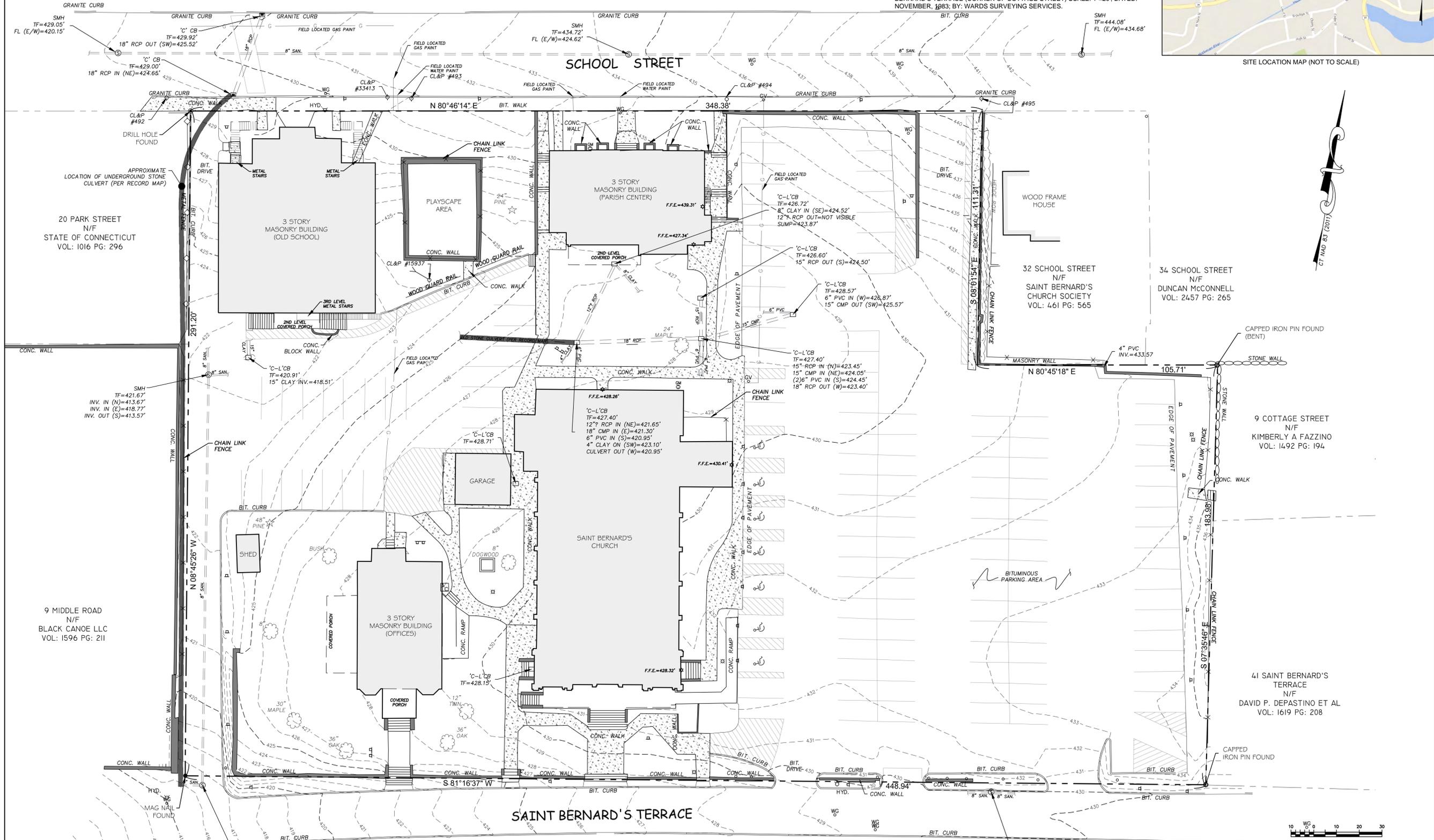
- THE TOPOGRAPHIC FEATURES DEPICTED HERE ARE THE RESULT OF A FIELD SURVEY CONDUCTED OCTOBER 22, 2019 THROUGH OCTOBER 29, 2019.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE WHICH IS UNKNOWN TO MARTIN SURVEYING ASSOCIATES, LLC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.

MAP REFERENCES:

- "BOUNDARY / TOPOGRAPHIC SURVEY PREPARED FOR SAINT BERNARD'S ROMAN CATHOLIC CHURCH, SAINT BERNARD'S TERRACE & 32 SCHOOL STREET, VERNON, CONNECTICUT" SCALE: 1"=20'; DATED: JULY 7, 2015; BY: GARDNER & PETERSON ASSOCIATES, LLC.
- "PROPOSED ROCKVILLE COURTHOUSE, VERNON, CONNECTICUT" SCALE: 1"=20'; DATED: OCTOBER 2, 1992; BY: LENARD ENGINEERING, INC.
- "C" BOUNDARY SURVEY, PREPARED FOR NAEK CONSTRUCTION COMPANY, INC., VERNON, CONNECTICUT" SCALE: 1"=20'; DATED: AUGUST 20, 1992; BY: LENARD ENGINEERING, INC.
- "MORTGAGE SURVEY FOR DONALD B. BUDNICK & EASTERN MORTGAGE COMPANY, INC. ON PROPERTY OF EILEEN M. FLAHERTY LOCATED AT 39&41 SAINT BERNARD'S TERRACE (CORNER OF COTTAGE STREET) SCALE: 1"=20'; DATED: NOVEMBER, 1983; BY: WARDS SURVEYING SERVICES.



- LEGEND:
- IRON PIN (FOUND)
 - Rebar/Drill Hole (To Be Set)
 - MONUMENT (FOUND)
 - ⊙ MANHOLE
 - ⊕ DRAINAGE MANHOLE
 - ⊖ SANITARY MANHOLE
 - ⊗ ELEC. MANHOLE
 - ⊘ TELE. MANHOLE
 - ⊙ "C" CATCH BASIN
 - "C-L" CATCH BASIN
 - ⊙ DECIDUOUS TREES
 - ☆ EVERGREEN TREES
 - ⊙ SHRUB/BUSH
 - ⊙ FLAG POLE
 - ⊙ TRAFFIC CONTROL BOX
 - △ SIGN
 - POST
 - ☆ LIGHT POLE
 - ⊙ GUY ANCHOR
 - ⊙ UTILITY POLE
 - ⊙ WATER GATE
 - ⊙ WATER METER
 - ⊙ GAS VALVE
 - ⊙ GAS METER
 - ⊙ TRANSFORMER
 - ⊙ ELEC. METER
 - ⊙ MAIL BOX
 - ⊙ HAND HOLE
 - ⊙ BUTTON BOX
 - ⊙ A.C. UNIT
 - ⊙ TRAFFIC LIGHT POLE



- BOUNDARY LINE
- GUARD RAIL
- UNDERGROUND PIPING (San., Strm.)
- G --- U/G GAS LINE
- E --- U/G ELEC. LINE
- W --- WATER LINE
- OVERHEAD UTILITIES
- T --- U/G TELE. LINE
- CHAIN LINK FENCE
- TREE LINE



REVISIONS:

PROPERTY & TOPOGRAPHIC SURVEY
SAINT BERNARD'S
ROMAN CATHOLIC CHURCH
SAINT BERNARD'S TERRACE
VERNON, CONNECTICUT

MSA PROJECT NO: 19-104
SCALE: 1"=20'
DATE: 10/30/2019
DRAWN BY: G.S.D.
CHECKED BY: D.G.M.
SHEET:
1 OF 1

SUBJECT PARCEL
M/B/L: 40-110-4
LAND OF
SAINT BERNARD'S
ROMAN CATHOLIC CHURCH
120.697 5.F± 2.77 ACRES ±

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
DEAN MARTIN 70147
LICENSE NO.



DATE: 08/26/20
 DRAWN BY: JMK
 SCALE: As Indicated
 REVIEWED BY: MRP
 PROJECT NO.: 2019-015A

NO.	DATE	DESCRIPTION

DEMOLITION AND EROSION CONTROL PLAN

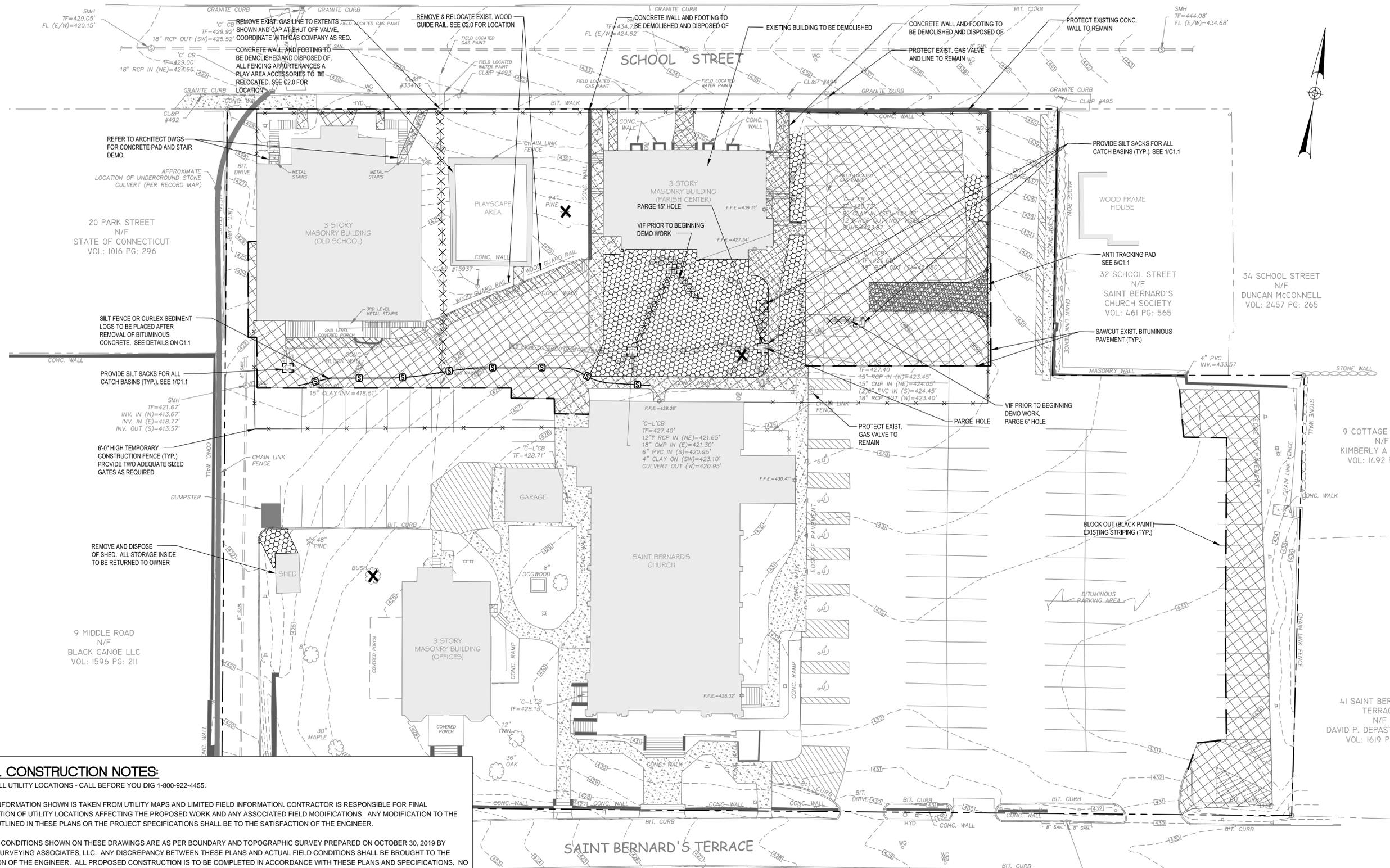
BLESSED SACRAMENT PARISH CENTER
 25 ST. BERNARD'S TERRACE
 VERNON, CT 06066

Macchi Engineers
 44 Gillett Street
 Hartford, Connecticut
 06105
 (860) 549-6190
 www.macchiengineers.com

ENGINEER'S SEAL

FRIAR
 21 Talcott Notch Road
 Farmington, CT 06032

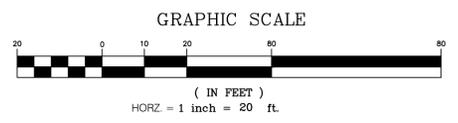
SHEET NO.
C-1.0



- GENERAL CONSTRUCTION NOTES:**
- VERIFY ALL UTILITY LOCATIONS - CALL BEFORE YOU DIG 1-800-922-4455.
 - UTILITY INFORMATION SHOWN IS TAKEN FROM UTILITY MAPS AND LIMITED FIELD INFORMATION. CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK AND ANY ASSOCIATED FIELD MODIFICATIONS. ANY MODIFICATION TO THE WORK OUTLINED IN THESE PLANS OR THE PROJECT SPECIFICATIONS SHALL BE TO THE SATISFACTION OF THE ENGINEER.
 - EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE AS PER BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED ON OCTOBER 30, 2019 BY MARTIN SURVEYING ASSOCIATES, LLC. ANY DISCREPANCY BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ALL PROPOSED CONSTRUCTION IS TO BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO CHANGES TO THE PROPOSED CONSTRUCTION SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
 - EXISTING BITUMINOUS ASPHALT OR CONCRETE PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AS REQUIRED IN THE LOCATIONS SHOWN ON THE DRAWINGS AND NEW WORK SHALL MATCH THE EXISTING GRADES AND SLOPES.
 - ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
 - EXISTING STORM DRAINAGE SYSTEM SHALL REMAIN IN OPERATION UNTIL NEW STORM DRAINAGE SYSTEM HAS BEEN INSTALLED.
 - ALL EXISTING SIGNAGE IMPACTED BY CONSTRUCTION TO BE RELOCATED AS DIRECTED BY THE ENGINEER. RETURN ANY REMOVED SIGNS TO THE OWNER AND DISPOSE OF ANY CONCRETE SIGN FOOTINGS AS NECESSARY.
 - INDICATES TREE REMOVAL.
 - INDICATES EXTENT OF LAWN REMOVAL.
 - INDICATES EXTENT OF BITUMINOUS PAVEMENT & CONCRETE REMOVAL.
 - INDICATES REMOVAL OF EXISTING UTILITIES AND PIPING.

DEMOLITION AND EROSION CONTROL PLAN

SCALE: 1"=20'-0"



SEDIMENT AND EROSION CONTROL PLAN

1) PROJECT DESCRIPTION

THIS CONSISTS OF THE CONSTRUCTION OF A NEW ADDITION TO THE ST. BERNARD CHURCH SCHOOL, ALONG WITH THE DEMOLITION OF THE EXISTING PARISH CENTER. THE EXISTING PARKING LOTS EAST OF THE PARISH CENTER AND SOUTH OF THE SCHOOL WILL BOTH BE DEMOLISHED AND REPLACED TO CONNECT WITH A ONE WAY DRIVE AISLE SOUTH OF THE NEW ADDITION. THE EXISTING PARISH CENTER TO BE DEMOLISHED WILL BE REPLACED WITH ADDITIONAL PARKING SPACES FOR THE PROPOSED PARKING LOT.

SPECIFIC WORK INCLUDES THE FULL CONSTRUCTION OF A NEW ADDITION, DEMOLITION OF EXISTING PARKING LOTS TO THE EXTENTS SHOWN ON SITE PLANS, NEW PARKING LOT AND ACCESS ROAD CONFIGURATION, GRADING AND UTILITIES, AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED. ALL STRIPPED TOPSOIL AND SOIL SHALL BE STOCKPILED WITH THE APPROPRIATE EROSION CONTROL MEASURES IN PLACE.

A. MAINTENANCE/REPAIR OF EROSION & SEDIMENTATION CONTROL MEASURES

DURING ALL STAGES OF CONSTRUCTION, AS WELL AS AFTER CONSTRUCTION IS COMPLETE, MAINTENANCE AND REPAIR OF EROSION & SEDIMENTATION CONTROL DEVICES IS ESSENTIAL. THE FOLLOWING ARE MINIMUM REQUIREMENTS:

PRE-CONSTRUCTION

1) A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

DURING CONSTRUCTION

- INSPECTION OF EROSION PRONE AREAS SHOULD OCCUR WITHIN 12 HOURS AFTER RAINFALL EVENTS IN EXCESS OF ONE INCH PER HOUR INTENSITY OR A RAINFALL EVENT WITH A TOTAL PRECIPITATION OF 1/2 INCH OR MORE. NOTE THAT THIS WILL REQUIRE THE INSTALLATION OF A RAINFALL GAUGE ON THE SITE, WHICH SHOULD BE MONITORED AND A RECORD KEPT OF EACH RAINFALL EVENT. CONCERNS SHOULD BE LOGGED AND REPAIRS SHOULD BE MADE IMMEDIATELY. FOR RAINFALL EVENTS OVER A PERIOD OF MORE THAN ONE DAY, INSPECTIONS AS DESCRIBED ABOVE SHOULD BE PERFORMED EACH DAY.
- WEEKLY INSPECTIONS OF ALL EROSION & SEDIMENTATION CONTROL DEVICES, EROSION PRONE AREAS OR OTHER AREAS OF CONCERN SHOULD BE PERFORMED. INSPECTIONS SHOULD INCLUDE ALL SILT FENCING, HAY BALES, SILT SACKS, CATCH BASIN SUMPS, HAY SLOPE MATTING, ETC. AND REPAIRS SHOULD BE MADE AS NECESSARY.
- LOSS OF ALL INSPECTIONS AND REPAIRS SHOULD BE KEPT ON SITE, INCLUDING DATES & CONCERNS NOTED DURING INSPECTIONS, TIMING OF REPAIRS & ACTIONS TO BE TAKEN, DATES OF ACTUAL ACTIONS & RESPONSES, AND INITIALS OF THOSE INVOLVED.
- ALL SILT FENCING, HAY MATTING AND OTHER EROSION CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

POST CONSTRUCTION

- EROSION PRONE AREAS—INSPECT MONTHLY FOR THE FIRST SIX (6) MONTHS, AND BI-MONTHLY FOR THE SECOND SIX (6) MONTHS AFTER CONSTRUCTION IS COMPLETE. ALL SILT FENCING AND EROSION CONTROL DEVICES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- PARKING AREAS AND ACCESS DRIVES SHOULD BE SWEEP CLEAN ANNUALLY EACH SPRING IMMEDIATELY AFTER WINTER SANDING IS NO LONGER NEEDED.
- SEDIMENT FROM CATCH BASIN SUMPS AND MANHOLES SHOULD BE PERFORMED YEARLY AFTER WINTER SANDING IS COMPLETE.
- ANY ERODED AREAS, OR MALFUNCTIONING COMPONENTS OF THE DRAINAGE SYSTEM, SHOULD BE REPAIRED IMMEDIATELY.

B. STANDARDS & GUIDELINES

- CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CT DEEP), GENERAL PERMIT FOR GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DETERIORATING WASTEWATERS FROM CONSTRUCTION ACTIVITIES
- FOR WORK WITHIN PUBLIC STREETS: TOWN OF TOLLAND APPLICABLE CONSTRUCTION AND DEVELOPMENT STANDARDS INCLUDING THE PLANNING, ZONING, SUBDIVISION AND WETLANDS REGULATIONS.
- REQUIREMENTS, SPECIFICATIONS, DETAILS AND INSTRUCTIONS AS SET FORTH IN THESE DOCUMENTS.
- CONNECTICUT GUIDELINES FOR SOIL EROSION & SEDIMENT CONTROL (2002), AS AMENDED, AND THE CONNECTICUT D.O.T. "ON SITE MITIGATION FOR CONSTRUCTION ACTIVITIES".
- CONNECTICUT D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM B17 SHALL BE USED FOR MATERIAL REQUIREMENTS, TECHNICAL SPECIFICATIONS AND CONSTRUCTION METHODS.

C. GENERAL NOTES

- GRADING & CLEARING: THE SEQUENCE OF GRADING AND CONSTRUCTION ACTIVITIES MAY BE MODIFIED TO SUIT ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD DURING CONSTRUCTION WHEN APPROVED BY THE ENGINEER. OTHERWISE THE FOLLOWING SEQUENCE OF EROSION & SEDIMENTATION CONTROL WILL BE IMPLEMENTED FOR EACH PROPOSED PHASE OF CONSTRUCTION. THE FOLLOWING NOTES WILL APPLY SEPARATELY TO EACH OF THE PROPOSED PHASES AND CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- LIMIT CLEARING OF VEGETATION AND TOPSOIL TO AREAS DESIGNATED FOR IMMEDIATE CONSTRUCTION. AREAS TO BE LEFT EXPOSED TO EROSION FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY SEEDED AFTER ROUGH GRADING AS MAY BE SHOWN ON THE CONSTRUCTION PLANS.
- KEEP SOIL EXPOSED TO EROSION AT A MINIMUM IN AREA AND TIME.
- MAINTAIN THE MAXIMUM ATTAINABLE BUFFER BETWEEN CONSTRUCTION ACTIVITIES AND WETLANDS AND WATERCOURSES. MINIMUM BUFFER ZONES SHALL BE ADHERED TO UNLESS PREVIOUSLY APPROVED OR PERMITTED.
- CLEAN DEPOSITED MATERIAL AS REQUIRED. THIS TYPICALLY SHALL MEAN WHEN SILT REACHES ONE-FOOT DEEP IN THE SUMP OF A CATCH BASIN, AND HALF THE HEIGHT OF AN EROSION AND SEDIMENT CONTROL DEVICE.
- EXPOSED AREA IN FINAL GRADED SHAPE SHOULD BE DRESSED WITH TOPSOIL AND SEEDED, SEASON PERMITTING OR MULCHED FOR EROSION PROTECTION.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROLS UNTIL SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND THE CESSATION OF EROSION.
- HAY BALE BARRIERS MAY REMAIN IN PLACE AFTER SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND THE CESSATION OF EROSION WHEN THE REMOVAL OF SUCH BARRIERS MAY RESULT IN ADDITIONAL SOIL EROSION UP SLOPE OF WETLANDS, WATERCOURSES OR STORM DRAIN INLETS. ADDITIONALLY, THE BALES MAY ONLY BE RETAINED IN PLACE TO DEGRADE NATURALLY WHEN THE BARRIER WILL NOT RESTRICT THE FLOW OF CONCENTRATED RUNOFF OR INTERFERE WITH THE FUNCTIONING OF STORM DRAINAGE AND OTHER CONSTRUCTED OR EXISTING COMPONENTS OF THE PROPOSED DEVELOPMENT. THE ENGINEER OR TOWN MUST APPROVE OF THE LOCATIONS WHERE HAY BALES MAY BE LEFT IN PLACE.
- AFTER SUCCESSFUL RE-ESTABLISHMENT OF VEGETATIVE COVER AND CESSATION OF EROSION, AND IF NOT LEFT IN PLACE AS NOTED ABOVE, HAY BALES MAY BE BROKEN UP BY HAND AND SPREAD IN THE GENERAL AREA INITIALLY INSTALLED.
- STOCKPILE AREAS (LOCATION TO BE APPROVED BY THE ENGINEER): THE FOLLOWING SEQUENCE FOR USE OF STOCKPILE AREAS SHALL BE USED.
 - AREA TO BE USED SHALL BE IDENTIFIED WITH FLAGGING IN THE FIELD & SHALL BE LOCATED OUTSIDE OF ALL WETLANDS AND REGULATED BUFFER ZONES.
 - AREA SHALL THEN BE CLEARED AND GRUBBED AND GENERALLY BE MADE READY FOR USE.
 - THE STOCKPILE AREA SHALL BE IMMEDIATELY SURROUNDED WITH TWO ROWS OF SILT FENCE.
 - DURING USE, THE CONTRACTOR SHALL INSURE THAT THE GENERAL STOCKPILE USE AREA IS MAINTAINED SUCH THAT THERE IS NO SEDIMENTATION OF SURROUNDING LAND AREA. THE STOCKPILES SHALL BE COVERED AND/OR TEMPORARILY SEEDED TO PREVENT RUNOFF AND SEDIMENTATION IF NECESSARY.
 - IMMEDIATELY UPON COMPLETION OF USE AS A STOCKPILE AREA, THE LAND SHALL BE RESTORED.

- ALL ROADWAYS IN THE VICINITY OF THE PROPOSED PROJECT SHALL BE KEPT FREE OF DUST AND SEDIMENT, AND SHALL BE CLEANED PERIODICALLY AS REQUIRED BY CONSTRUCTION ACTIVITIES AND PRIOR TO ANY RAINFALL AND RUNOFF EVENT AS DIRECTED BY THE TOWN. METHODS USED TO MEET THIS REQUIREMENT SHALL CONFORM TO THE ENVIRONMENTAL MANAGEMENT SPECIFICATIONS AND THE SECTIONS ON STANDARDS & GUIDELINES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND REPAIR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL STORM EVENTS AS REQUIRED TO PREVENT DAMAGE OR SEDIMENTATION TO ADJACENT LAND, STREAMS AND PROPERTY.
- CONTRACTOR SHALL MAKE ANY REPAIRS OR RESTORATION TO PROPERTY OR ENVIRONMENT CAUSED BY SEDIMENTATION.
- ALL WORK AND ALL ACTIVITIES SHALL FIRST BE IN COMPLIANCE WITH APPLICABLE PERMITS FOR THIS PROJECT. SECOND ALL WORK AND ACTIVITIES SHALL CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL MANAGEMENT SPECIFICATIONS WHICH ARE PART OF THESE PLANS. LASTLY, WORK AND ACTIVITIES SHALL BE CONSISTENT WITH THESE EROSION AND SEDIMENT CONTROL PLANS AS A MINIMUM.

D. EROSION AND SEDIMENT CONTROL NOTES

- LIMITED CLEARING AND GRUBBING ACTIVITIES SHALL COMMENCE FIRST TO ENABLE THE INSTALLATION/CONSTRUCTION OF PERIMETER HAY BALE DIKES, CONSTRUCTION ENTRANCES SEDIMENT ANTI-TRACKING PAD, STAGING AREAS AND THE INSTALLATION OF CRUSHED STONE BERMS AT PROPOSED STORM DRAIN OUTFALL AREAS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION WHICH SHOULD BE CLEARLY MARKED BY FLORESCENT SURVEY FLAGGING OR FENCING BEFORE CLEARING AND GRUBBING TAKES PLACE.
- DURING ALL PHASES, PERMANENT AND/OR TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED AT PROPOSED STORM DRAINAGE INLETS AND/OR OUTFALLS. AT OUTFALLS A DOUBLE STAGGERED ROW OF HAY BALES SHALL BE INSTALLED DOWN SLOPE OF THE OUTFALLS OF ANY TEMPORARY BASINS AND A CRUSHED STONE SEDIMENT FILTER BERM SHALL BE INSTALLED JUST UP SLOPE OF THE DOUBLE STAGGERED ROW OF HAY BALES.
- UPON INSTALLATION OF THE ABOVE MEASURES, A CONSTRUCTION ENTRANCE ANTI-TRACKING PAD SHALL BE INSTALLED (LOCATION TO BE APPROVED BY THE ENGINEER PRIOR TO THE CLEARING AND GRUBBING FOR THE PROPOSED CONSTRUCTION ACTIVITIES MAY COMMENCE. TEMPORARY DIVERSION BERMS/DITCHES SHALL BE CONSTRUCTED AS NECESSARY FOR INTERMEDIATE EXCAVATION STAGES. DIVERSIONS AND OTHER TEMPORARY INTERMEDIATE MEASURES SHALL BE APPROVED BY THE TOWN IN ADVANCE AND SHALL OUTLET RUNOFF TO SWALES WITH CHECK HAY BALE DAMS AND/OR TO TEMPORARY SEDIMENT BASINS.

- EXCAVATION FOR CONSTRUCTION OF THE PROPOSED ROADWAY SHALL NOT COMMENCE UNTIL ASSOCIATED DRAINAGE & SEDIMENTATION DEVICES FOR THE AREA ARE IN PLACE. IT SHOULD BE NOTED THAT EXTENSIVE EXCAVATION WITHIN THE LIMITS OF THE CUT AND FILL LINE INDICATED ON THE PLANS MAY REQUIRE ADDITIONAL TEMPORARY SWALES AND DIVERSION IN ORDER TO DIVERT AND DIRECT RUNOFF AND SEEPAGE TO THE PROPOSED DISCHARGE POINTS UNTIL THE PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED. THESE TEMPORARY MEASURES MUST BE APPROVED IN ADVANCE AND SHOULD BE INSPECTED REGULARLY FOR OPERATIONAL EFFICIENCY BY THE CONTRACTOR. UTILIZATION OF TEMPORARY INLETS AND DIVERSION SWALES UNTIL THE DRAINAGE SYSTEM IS COMPLETE IS EXPECTED. THESE INLETS/DIVERSIONS SHALL BE CONSTRUCTED SO AS TO PREVENT EROSION AND SEDIMENTATION.
- MEASURES TO CONTROL CONSTRUCTION DEBRIS AND DUST SHALL BE IMPLEMENTED ON AN AS NEEDED BASIS AND AS DIRECTED BY THE ENGINEER. DUST SHALL BE CONTROLLED BY LIMITING THE AREA OF SOIL EXPOSED AND BY WATERING WITHOUT CHEMICAL ADDITIVES. CONSTRUCTION DEBRIS SHALL BE COLLECTED AS NECESSARY AND AT LEAST PRIOR TO THE END OF WORK EACH WEEK.
- IF REQUIRED SOIL & ROCK STOCK PILE AREAS SHALL BE APPROVED IN ADVANCE AND HAY BALE AND/OR SILT FENCE BARRIERS SHOULD BE INSTALLED AROUND STOCK PILES AND DOWN SLOPE OF THESE AREA PRIOR TO STOCKPILING MATERIAL. ANY SOIL TO BE STORED FOR MORE THAN A MONTH SHOULD BE COVERED OR SEEDED AND/OR MULCHED AFTER BEING PLACED.
- THE BASE MATERIAL FOR THE DRIVES AND PARKING AREAS SHALL BE PLACED AND WATERED AS REQUIRED BY CONDITIONS OR REQUESTED BY THE DEEP TO CONTROL DUST AS NOTED ABOVE.
- ONCE UTILITIES ARE INSTALLED AND THE PROPOSED SITE IS IN FINAL GRADED SHAPE, PAVING OPERATIONS SHALL TAKE PLACE. UPON PLACEMENT OF THE FIRST LAYER OF PAVEMENT AND CURBING, TOPSOIL AND SEEDING SHOULD COMMENCE ALONG WITH THE INSTALLATION OF NEW CHECK HAY BALE BARRIERS AS REQUIRED. IF THE ROAD IS NOT TO BE PAVED IMMEDIATELY, CONSTRUCTION TRAFFIC SHOULD BE RUN ON APPROVED SUBBASE, WITH RUNOFF, EROSION & DUST CONTROLLED AS NECESSARY.
- THESE EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE IN COMPLIANCE WITH PERMITS ISSUED AND IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
- RESPONSIBLE PERSONS:
 - DURING CONSTRUCTION - TO BE DESIGNATED BY THE CONTRACTOR.
 - LONG TERM MAINTENANCE - TO BE DESIGNATED BY THE TOWN.

E. EARTH SLOPES

- ALL EARTH SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE COVERED WITH EROSION CONTROL BLANKET UNTIL VEGETATION IS ESTABLISHED.
- ALL EARTH SLOPES (REGARDLESS OF GRADE) WHERE THE TOE OF SLOPE IS WITHIN 25' OF A WETLAND SHALL BE COVERED WITH EROSION CONTROL BLANKET UNTIL VEGETATION IS ESTABLISHED.

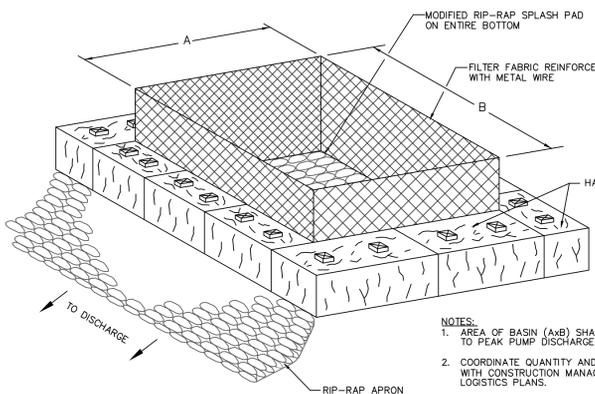
F. SEEDING

SEE THE LANDSCAPING PLANS AND SPECIFICATIONS FOR SEEDING REQUIREMENTS AND ADDITIONAL INFORMATION.

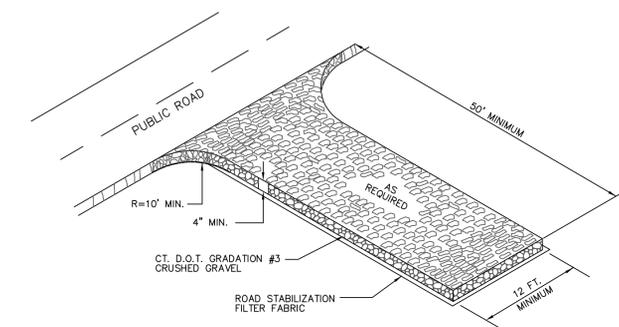
G. RECORDS

EROSION AND SEDIMENTATION CONTROL RECORDS SHALL BE KEPT BY THE CONTRACTOR. INSTALLATION, INSPECTION, APPROVAL AND MAINTENANCE OF INSTALLATION RECORDS SHALL INDICATE THE FOLLOWING:

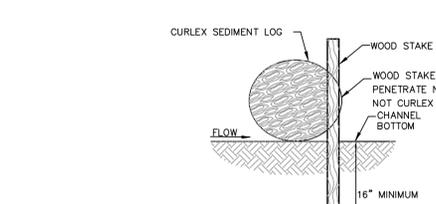
- LOCATION OF THE EROSION AND SEDIMENTATION CONTROL MEASURE.
- INSTALLED BY (PRINT NAME AND SIGNATURE) AND DATE OF INSTALLATION.
- APPROVAL BY DEEP OF THE INSTALLED MEASURE (PRINT NAME AND SIGNATURE) AND DATE OF APPROVAL.
- SUBSEQUENT INSPECTIONS, DATE OF INSPECTION & REASON FOR INSPECTION.
- RESULTS OF SUBSEQUENT INSPECTION, ACTION TO BE TAKEN BY THE CONTRACTOR SPECIFIC REQUIREMENTS OF THIS PLAN.



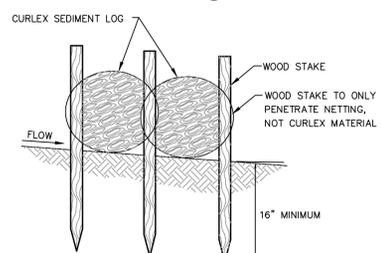
3 C1.1 TYPICAL TEMPORARY SEDIMENT BASIN FOR DEWATERING DISCHARGE N.T.S.



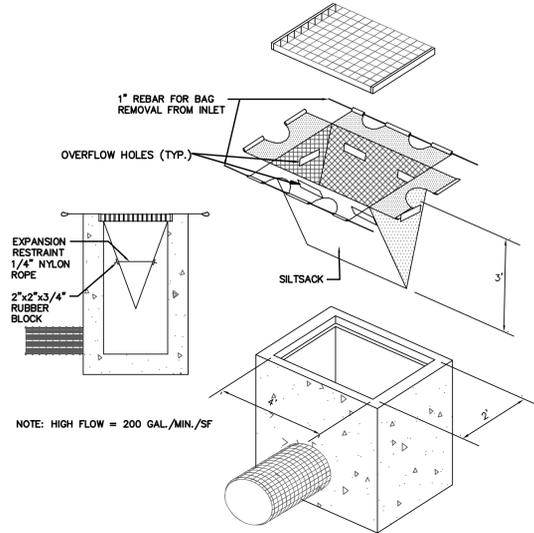
6 C1.1 TYPICAL ANTI-TRACKING PAD N.T.S.



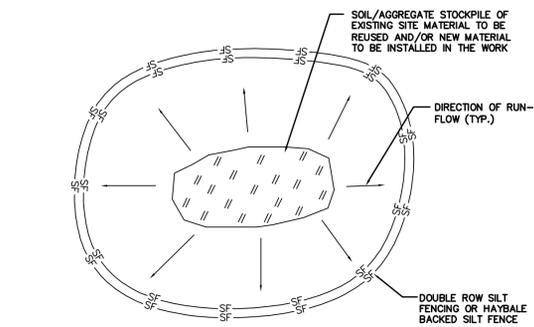
9 C1.1 STAKE DETAIL N.T.S.



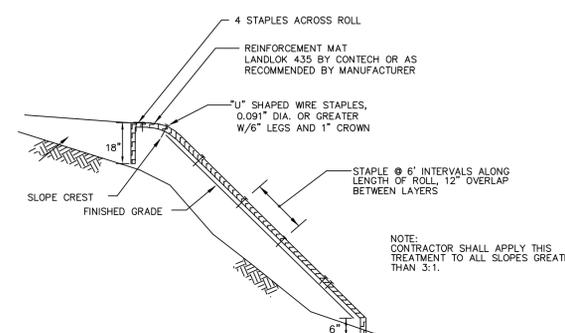
10 C1.1 STAKE DETAIL N.T.S.



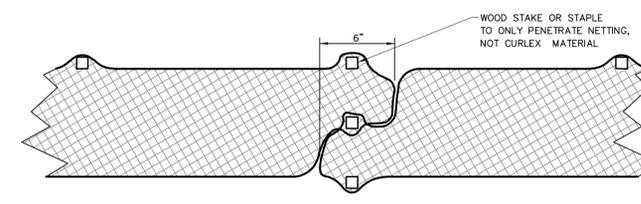
1 C1.1 TYPICAL SILT SACK DETAIL N.T.S.



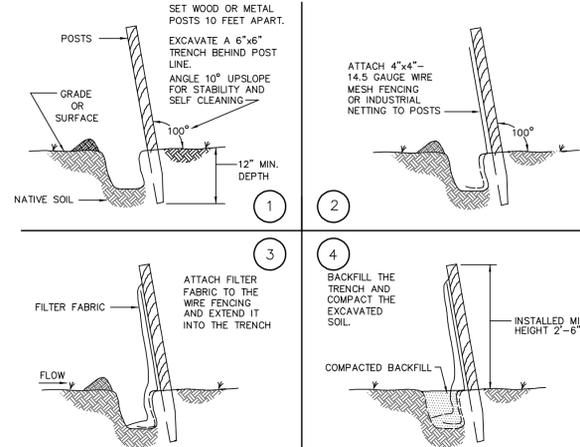
4 C1.1 STOCKPILE DETAIL N.T.S.



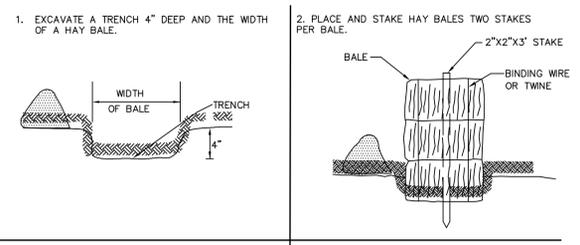
7 C1.1 STEEP SLOPE TREATMENT DETAIL N.T.S.



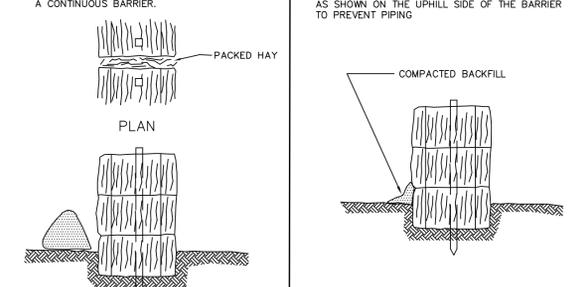
11 C1.1 ANCHOR DETAIL (PLAN VIEW) OPTIONAL OVERLAPPING JOINT N.T.S.



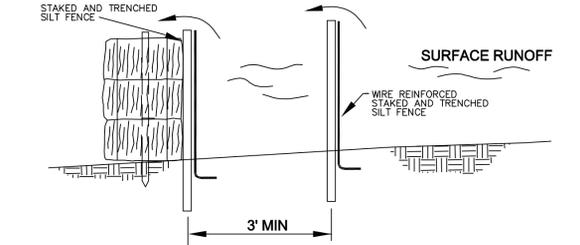
2 C1.1 FILTER FABRIC SILT FENCE PLACEMENT AND CONSTRUCTION N.T.S.



5 C1.1 HAY BALE BARRIER PLACEMENT AND CONSTRUCTION N.T.S.



8 C1.1 DOUBLE ROW FILTER FABRIC SILT FENCE W/ HAY BALE BACKUP N.T.S.



DATE:	08/26/20
DRAWN BY:	JWK
SCALE:	As Indicated
REVIEWED BY:	JMR
PROJECT NO.:	2019-015A

NO.	DATE	DESCRIPTION

EROSION CONTROL NOTES & DETAILS

BLESSED SACRAMENT PARISH CENTER
25 ST. BERNARD'S TERRACE
VERNON, CT 06066

Macchi Engineers
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Hartford, Connecticut
06105
(860) 549-6190
www.macchiengineers.com

ENGINEER'S SEAL

FRIAR
21 Talcott Notch Road
Farmington, CT 06032

SHEET NO.
C1.1

DATE: 08/26/20
 DRAWN BY: JWK
 SCALE: As Indicated
 REVIEWED BY: MRP
 PROJECT NO.: 2019-015A

NO.	DATE	DESCRIPTION
1	7/14/2020	RESPONSE TO STAFF AND COMMISSION COMMENTS

SITE MATERIAL LAYOUT PLAN

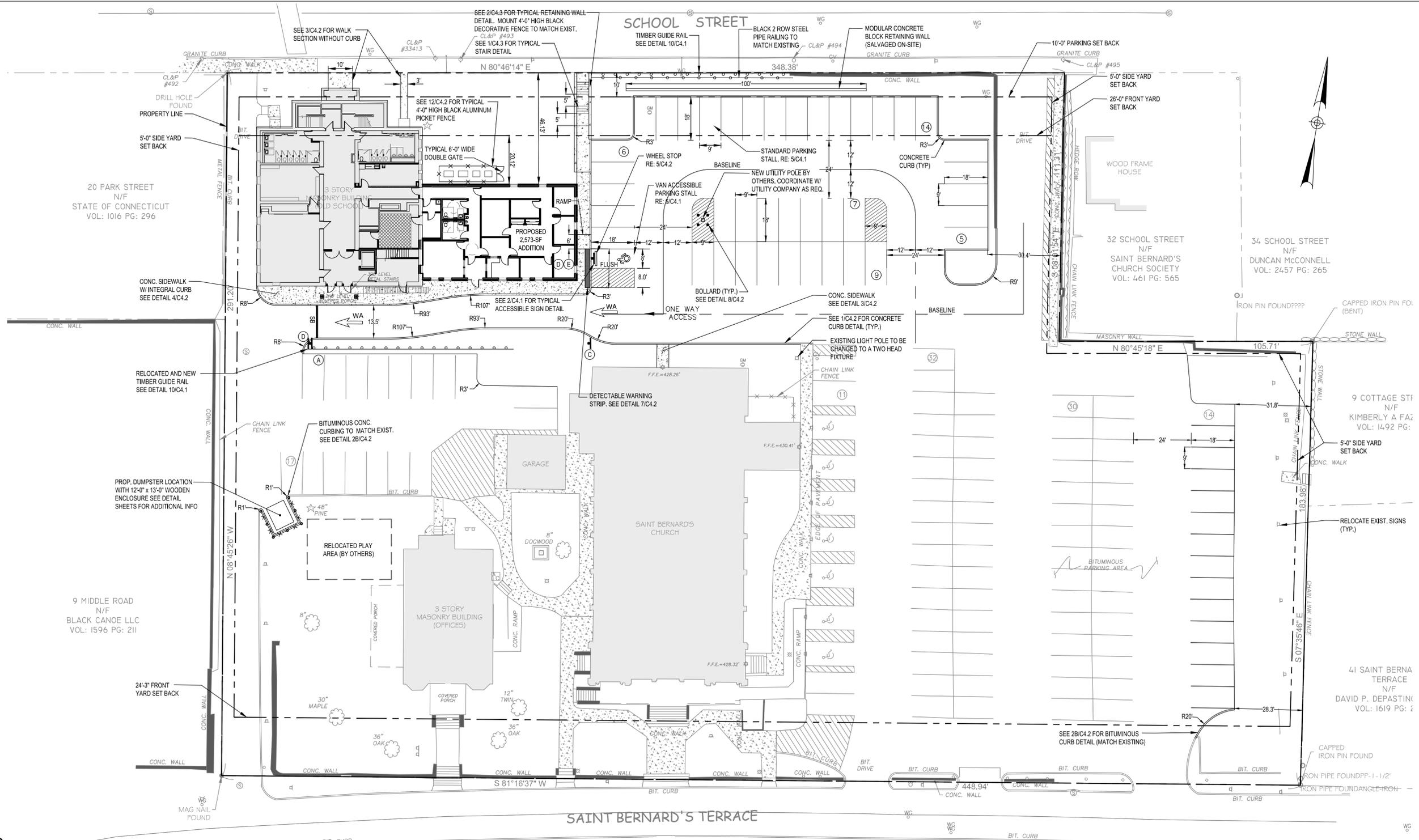
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SHEET NO.
C-2.0



LEGEND
 WA INDICATES WHITE ARROW; SEE DETAIL 3/C4.1
 SB INDICATES 12" WIDE WHITE LINE

LAYOUT AND MATERIAL PLAN

SCALE: 1"=20'-0"

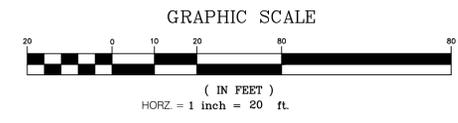
- LAYOUT AND MATERIALS NOTES:**
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
 - ALL LINE AND GRADE WORK PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR SURVEYOR ENGAGED BY THE CONTRACTOR.
 - STORAGE AREAS FOR THE CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
 - THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL FIELD CONDITIONS TO THE ENGINEER.
 - AT ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY, OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
 - WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
 - ALL DISTURBED AREAS WITH THE CONTRACT LIMIT LINES OTHER THAN PAVED AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED UNLESS OTHERWISE NOTED. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION. DISTURBED AREAS WITHIN EXISTING PAVEMENT WHERE LIGHT POLE BASES ARE TO BE REMOVED SHALL BE PATCHED WITH BITUMINOUS PAVEMENT, THICKNESS TO MATCH EXISTING.
 - ALL PROPOSED CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THESE DRAWINGS, THE PROJECT MANUAL AND CT DOT FORM 817. NO CHANGES IN THE PROPOSED CONSTRUCTION SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. NO UNAUTHORIZED CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT.

PLANNING AND ZONING		
	REQUIRED	PROVIDED
MIN. LOT AREA	5000 SF	120,700 SF
MIN. LOT WIDTH	50 FT	348.38 FT
MIN. FRONT YARD (=> AVG. FRONT YARD OF LOT ON EITHER SIDE)	*SCHOOL ST. = 26'-0" **ST. BERNARD'S TERRACE = 24'-3"	SCHOOL ST. = 26'-0" ST. BERNARD'S TERRACE = > 24'-3"
MIN. REAR YARD	N/A	N/A
MIN. SIDE YARD	5'-0"	> 5'-0"
MIN. FLOOR AREA	1000 SF	33,044 SF
LOT COVERAGE (MAX.)	<80%	76%
ZONE	DBR (DOWNTOWN BUSINESS & RESIDENTIAL) AND ROCKVILLE VILLAGE DISTRICT	
*FRONT YARD NOTE 1	SIDE LOT: 32 SCHOOL ST. = 26'-0"	
**FRONT YARD NOTE 2	SIDE LOT: 41 ST. BERNARDS TER. = 24'-3"	

PARKING TABLE	
EXISTING PARKING	133
PROPOSED PARKING	145
NET ADD SPACES	12

HANDICAP PARKING TABLE	
MIN. NUMBER OF REQ. ACCESSIBLE SPACES	5
PROPOSED HANDICAP SPACES	8

IMPERVIOUS AREA SUMMARY	
TOTAL EXISTING	91,691 SQ. FT.
TOTAL PROPOSED	91,654 SQ. FT.
TOTAL NET DECREASE	37 SQ. FT.



DATE: 08/26/20
 DRAWN BY: JMK
 SCALE: As Indicated
 REVIEWED BY: MRP
 PROJECT NO. 2019-015A

NO.	DATE	DESCRIPTION

SITE GRADING AND UTILITY PLAN

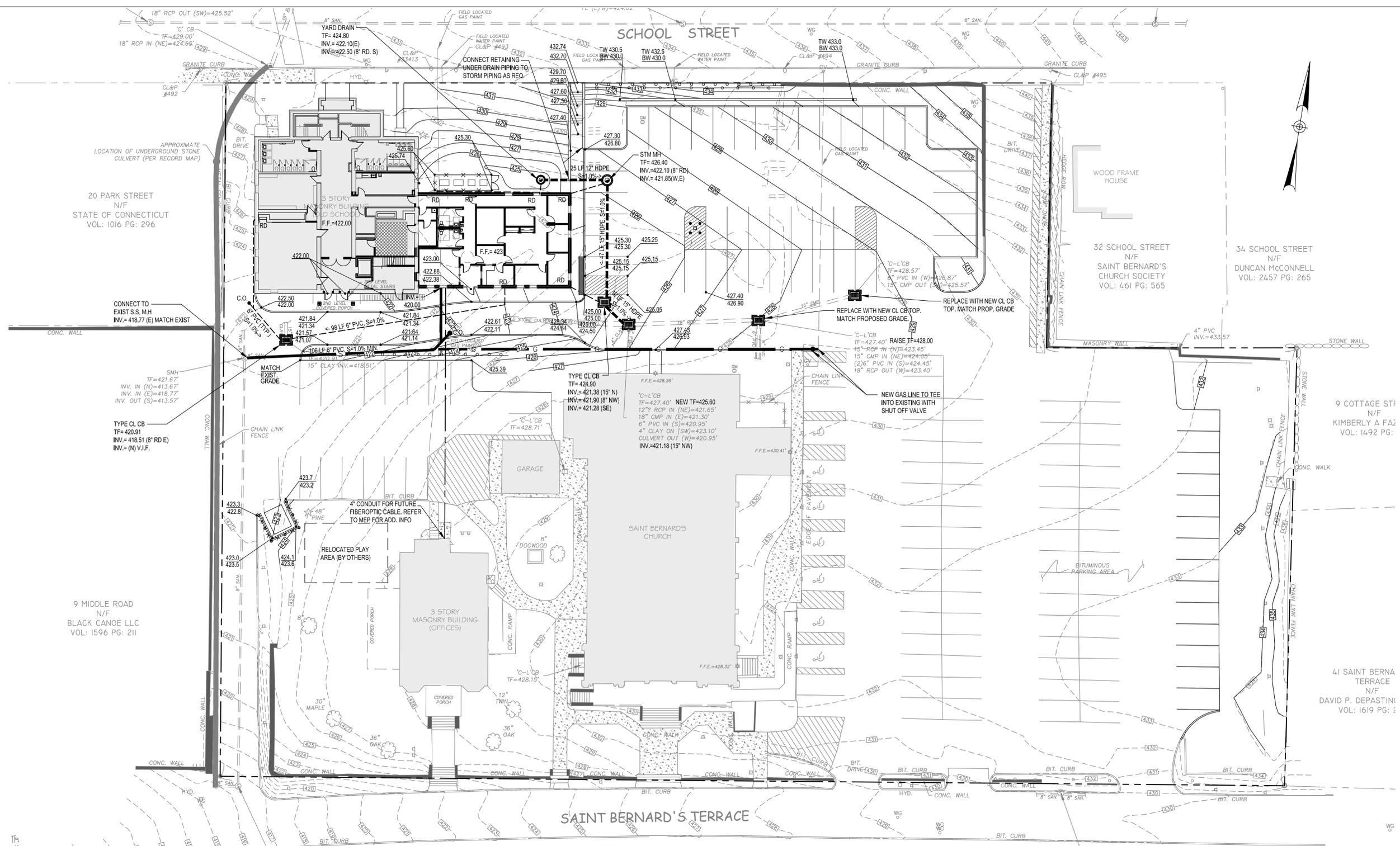
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SHEET NO.
C-3.0



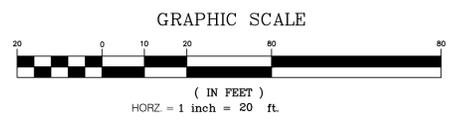
SITE GRADING AND UTILITY PLAN SCALE: 1"=20'-0"

UTILITY NOTES:

- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH EACH UTILITY COMPANY'S REGULATIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANY (TOWN OF VERNON, EVERSOURCE, FRONTIER, ETC.)
- UTILITY INFORMATION SHOWN IS TAKEN FROM UTILITY MAPS AND LIMITED FIELD INFORMATION. CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK AND ANY ASSOCIATED FIELD MODIFICATIONS. TEST PITS ARE REQUIRED AND SHALL BE INCLUDED. ANY MODIFICATION TO THE WORK OUTLINED IN THESE PLANS OR THE PROJECT SPECIFICATIONS SHALL BE TO THE SATISFACTION OF THE ENGINEER.
- THE SITE CONTRACTOR SHALL PROVIDE ALL PLUMBING CONNECTION APPURTENANCES, (FITTINGS, REDUCERS, ENLARGERS, WYES, TEES, ETC.) AS REQUIRED TO MAKE THE NECESSARY CONNECTIONS. REFER TO BUILDING PLUMBING PLANS FOR ADDITIONAL UTILITY INFORMATION.
- SITE ELECTRICAL AND LIGHTING IS SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTACT CALL BEFORE YOU DIG (811) AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION AND AS EACH UTILITY IS TO BE INSTALLED. IN THE EVENT CALL BEFORE YOU DIG IS UNABLE TO LOCATE THE UTILITIES IT SHALL BE THE CONTRACTOR'S REASONABILITY TO HIRE A PRIVATE UTILITY LOCATING COMPANY AT NO COST TO THE OWNER.
- ALL EXISTING MANHOLE FRAMES AND COVERS, UTILITY BOXES AND VALVE COVERS SHALL BE ADJUSTED TO FINAL GRADE AS REQUIRED.
- ALL EXISTING UTILITIES SYSTEMS SHALL REMAIN IN OPERATION UNTIL THE PROPOSED UTILITIES ARE INSTALLED AND FUNCTIONING.
- COORDINATE GAS UTILITY WORK WITH EVERSOURCE. PROVIDE ALL TRENCHING, BACKFILLING, AND SURFACE RESTORATION AS REQUIRED.

GRADING NOTES:

- PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF ALL BUILDINGS.
- PRIOR TO COMMENCING EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH "DIG SAFE" NOTIFICATION PROCEDURES PROMOTED BY RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING EARTHWORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER PRIOR TO STARTING WORK.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF ONE-EIGHTH INCH (1/8") PER FOOT.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW ONE.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OF STRUCTURE INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB UNLESS SHOWN OTHERWISE.



NO.	DATE	DESCRIPTION

SITE DETAILS

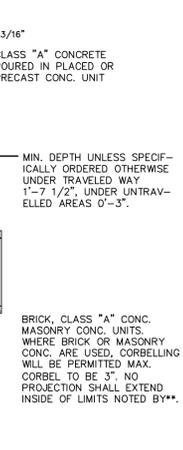
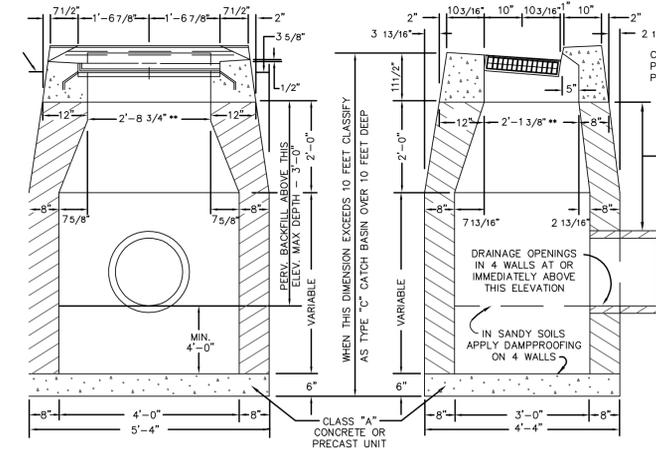
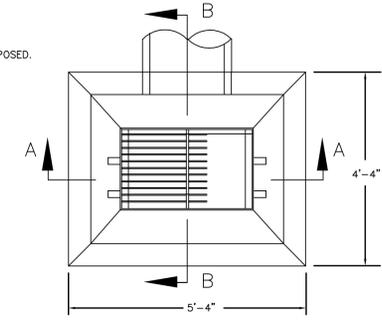
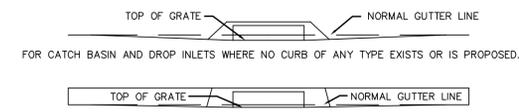
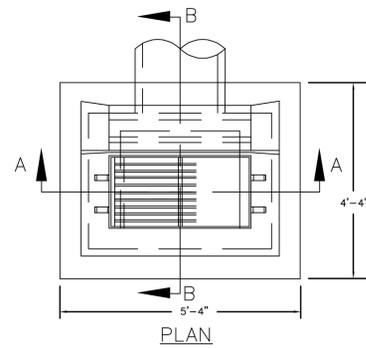
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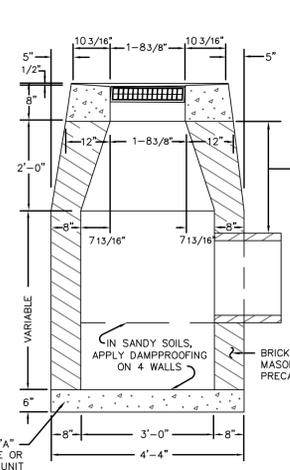
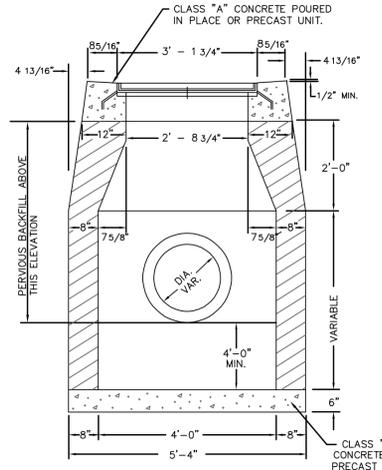


WHERE PRECAST CONC. UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUT LETTING FROM THE CATCH BASIN
SECTION A-A **SECTION B-B**

NOTE:
 DRAINAGE OPENINGS IN 4 WALLS AT OR IMMEDIATELY ABOVE THE BOTTOM OF THE PERVIOUS BACKFILL.

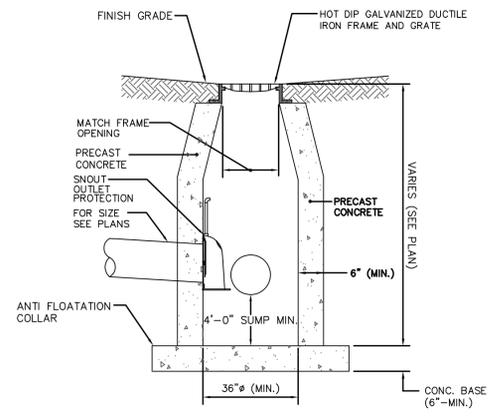
1 TYPE 'C' CATCH BASIN
 N.T.S.

ALL CATCH BASINS AND CONCRETE YARD DRAINS, SHALL HAVE FOUR FOOT MIN. SUMP AND OUTLET PROTECTION

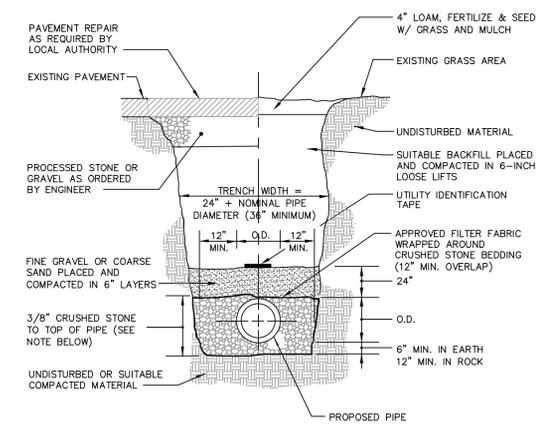


SECTION A-A **SECTION B-B**

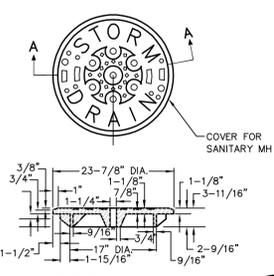
2 TYPE 'C-L' CATCH BASIN
 N.T.S.



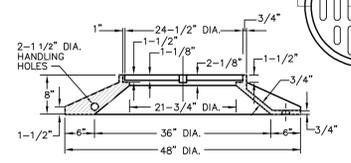
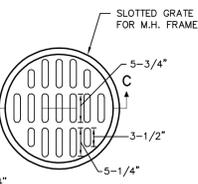
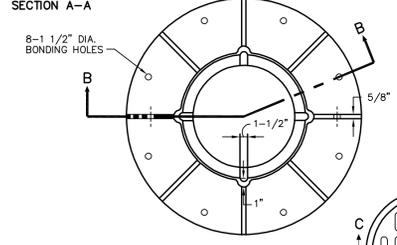
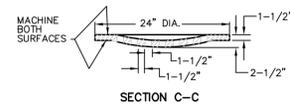
3 YARD DRAIN DETAIL
 N.T.S.



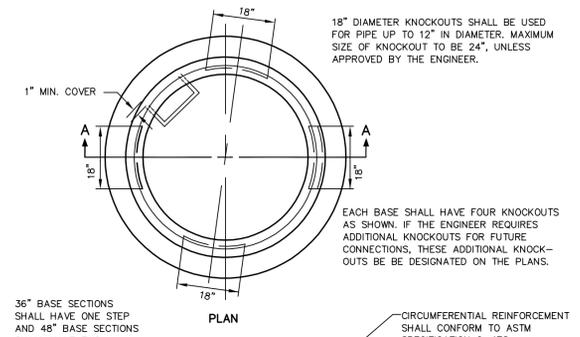
4 STORM AND SANITARY SEWER TRENCH DETAIL
 N.T.S.



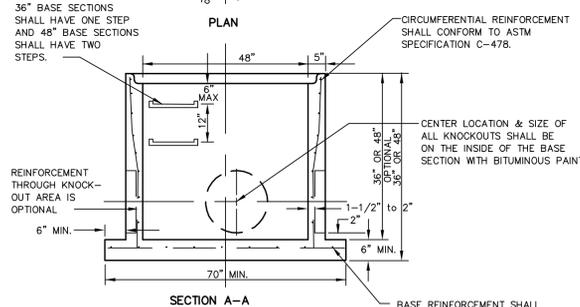
THE LOWER SURFACE OF THE COVER AND THE CORRESPONDING UPPER SURFACE OF THE FRAME SHALL BE MACHINE FINISHED TO PROVIDE A SMOOTH FLAT CONTACT OR FIT WITHOUT ANY TENDENCY FOR THE COVER OR GRATE TO ROCK OR RATTLE.



5 STANDARD FRAME AND COVER
 N.T.S.

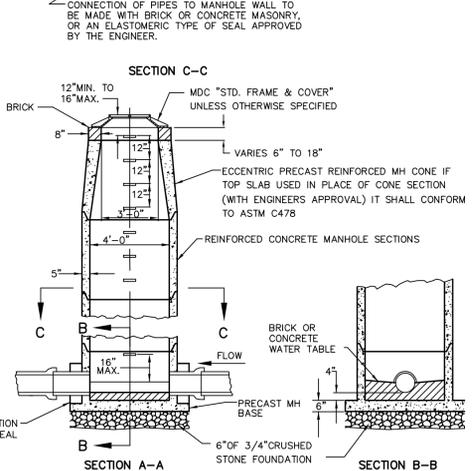
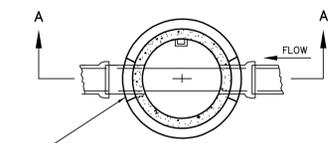


18" DIAMETER KNOCKOUTS SHALL BE USED FOR PIPE UP TO 12" IN DIAMETER. MAXIMUM SIZE OF KNOCKOUT TO BE 24", UNLESS APPROVED BY THE ENGINEER.



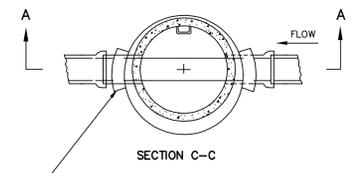
NOTE:
 ALL JOINTS REQUIRED IN THE CONSTRUCTION OF THE MANHOLE SHALL BE MADE WITH BUTYL RUBBER GASKETS. GASKET MATERIAL SHALL CONFORM TO ASTM SPEC. C-443.

6 MINIMUM REQUIREMENTS FOR 48" DIAMETER PRECAST MANHOLE BASE
 N.T.S.

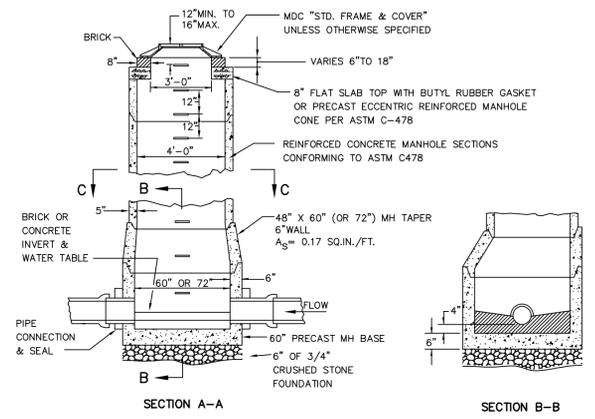


MAXIMUM SIZE OF PIPE TO BE INSTALLED IN A TYPE II MANHOLE TO BE 18"
 MAXIMUM DEPTH OF R.C. PIPE MANHOLES WITH 5" THICK WALL IS 30 FT.
 BUTYL RUBBER GASKETS USED FOR JOINTS SHALL CONFORM TO ASTM SPEC. C433
 ALL PRECAST MANHOLE BASES SHALL COMPLY WITH THE "MINIMUM REQUIREMENTS FOR 48" DIAMETER PRECAST MANHOLE BASE"

7 TYPE II MANHOLE TYPICAL PRECAST MANHOLE
 N.T.S.

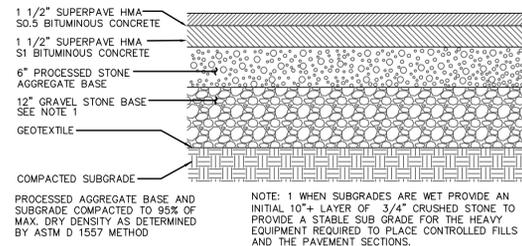


CONNECTION OF PIPES TO MANHOLE WALL TO BE MADE WITH BRICK OR CONCRETE MASONRY, OR AN ELASTOMERIC TYPE OF SEAL APPROVED BY THE ENGINEER.

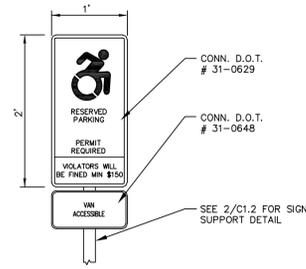


BUTYL RUBBER GASKETS USED FOR JOINTS SHALL CONFORM TO ASTM SPEC. C443

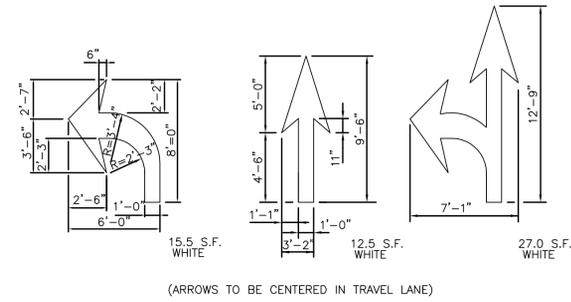
8 TYPE VI MANHOLE TYPICAL PRECAST MANHOLE
 N.T.S.



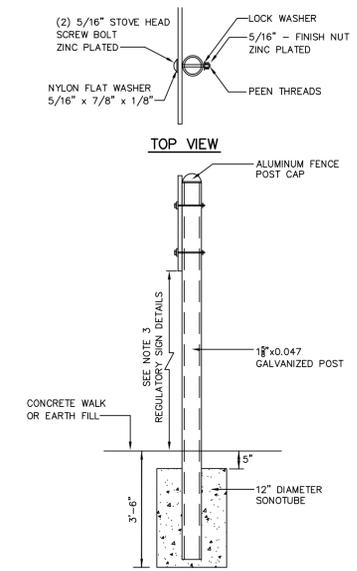
1 C4.1 REGULAR DUTY BITUMINOUS CONCRETE SECTION
N.T.S.



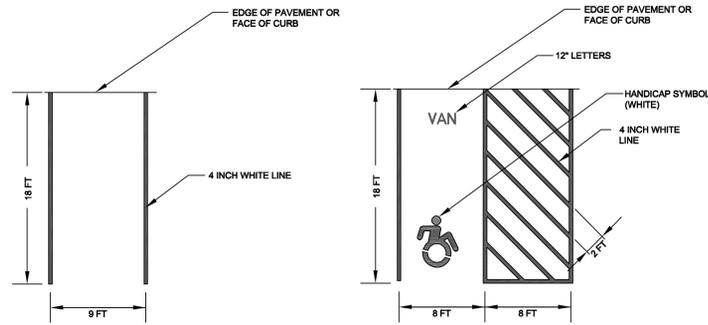
2 C4.1 TYPICAL ACCESSIBLE PARKING SIGN
N.T.S.



3 C4.1 PAINTED PAVEMENT ARROW DETAIL
N.T.S.

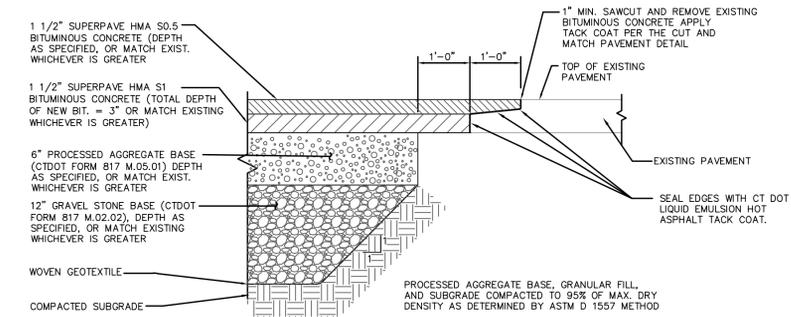


4 C4.1 TYPICAL SIGN POST DETAIL
N.T.S.



5 C4.1 STANDARD PARKING STALL
N.T.S.

6 C4.1 VAN ACCESSIBLE PARKING STALL
N.T.S.

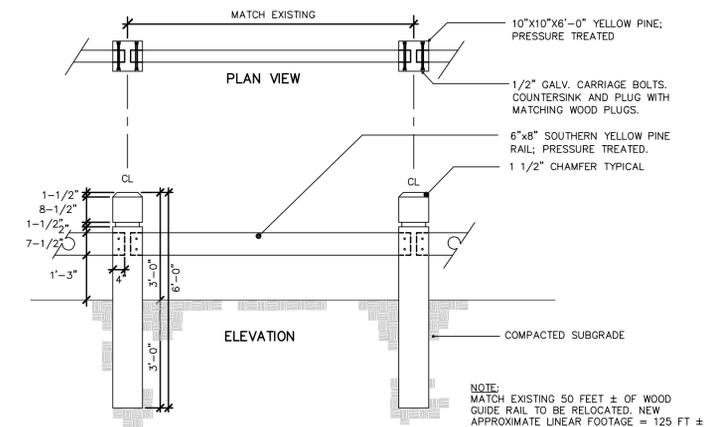


8 C4.1 CUT AND MATCH PAVEMENT DETAIL
N.T.S.

REG. #	LEGEND	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
R1-1*	STOP	3.31	24	31-0536	1 .080
R5-1	DO NOT ENTER	750x750	31-1109	1	2.0
		1200x1200	31-1111	2	2.5
		750x750	31-1119	1	2.0
		1200x1200	31-1121	2	2.5
C	ONE WAY ONLY	450x600		1	2.0
D	RESERVED PARKING	2.00	12x24	31-0629	1 .080
E	VAN ACCESSIBLE	0.50	12x6	31-0648	1 .080

- NOTE:**
- CONTRACTOR SHALL RETURN ALL EXISTING SIGNS AND POSTS TO THE OWNER.
 - CONTRACTOR SHALL PROVIDE 5 ADDITIONAL SIGNS (TYPE T.B.D. BY THE ENGINEER), POSTS, AND FOUNDATIONS, AND REMOVE AND RESET 5 OWNER PROVIDED OR SALVAGED SIGNS OTHER THAN WHAT IS SHOWN ON THE PLANS.
 - BOTTOM OF SIGN FACE SHALL BE A MINIMUM OF 5'-0" ABOVE GRADE, OR 7'-0" ABOVE GRADE AT PEDESTRIAN PATHS.

9 C4.1 REGULATORY SIGNAGE
N.T.S.



10 C4.1 TIMBER GUIDE RAIL
N.T.S.

DATE: 08/26/20
DRAWN BY: JWK
SCALE: As Indicated
REVIEWED BY: JMRP
PROJECT NO: 2019-015A

NO.	DATE	DESCRIPTION

SITE DETAILS

BLESSED SACRAMENT PARISH CENTER
25 ST. BERNARD'S TERRACE
VERNON, CT 06066

Macchi Engineers
44 Gillett Street
Hartford, Connecticut
06105
(860) 549-6190
www.macchiengineers.com

ENGINEER'S SEAL

FRIAR
21 Talcott Notch Road
Farmington, CT 06032

SHEET NO.
C4.1

NO.	DATE	DESCRIPTION

SITE DETAILS

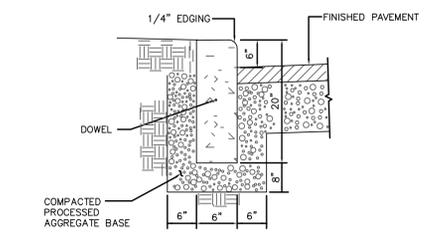
**BLESSED SACRAMENT
 PARISH CENTER**
 25 ST. BERNARD'S TERRACE
 VERNON, CT 06066

**Macchi
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 44 Gillett Street
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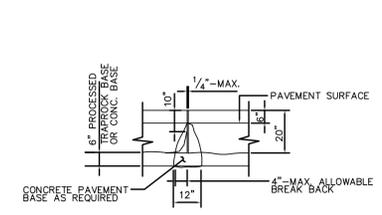
ENGINEER'S SEAL

FRIAR
 21 Talcott Notch Road
 Farmington, CT 06032

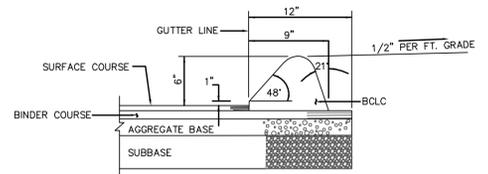
SHEET NO.
C4.2



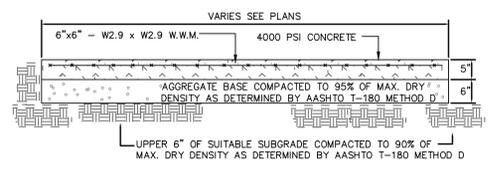
1
 C4.2 **PRECAST/CAST-IN-PLACE CONCRETE CURB**
 N.T.S.



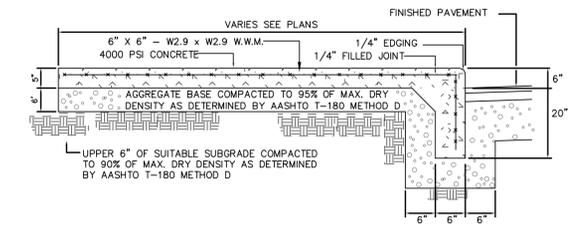
2
 C4.2 **TYPICAL JOINT DETAIL FOR PRECAST CONCRETE CURB**
 N.T.S.



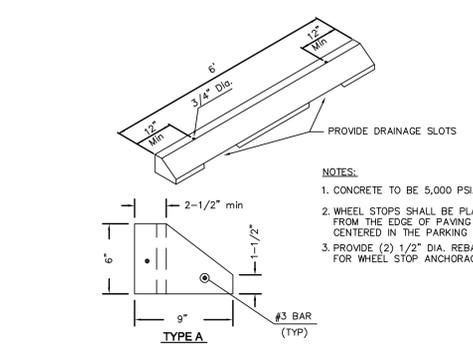
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 C4.2 **BITUMINOUS CONCRETE LIP CURBING**
 N.T.S.



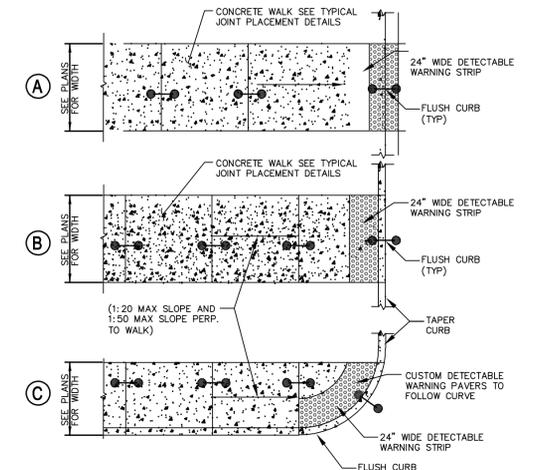
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 C4.2 **WALK SECTION WITHOUT CURB**
 N.T.S.



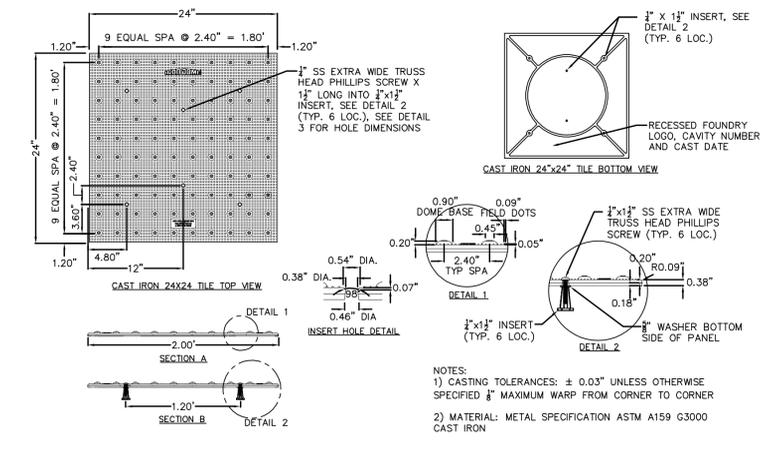
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 C4.2 **SIDEWALK WITH INTEGRAL CURB SECTION**
 N.T.S.



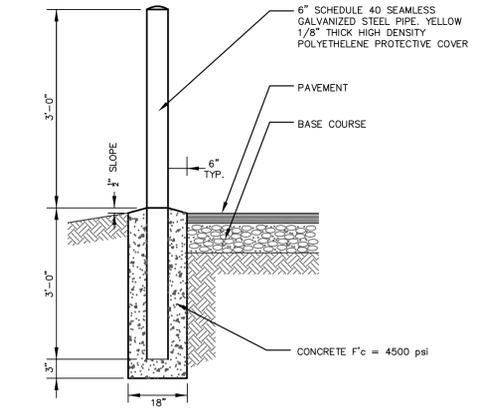
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 C4.2 **WHEEL STOPS REINFORCED CONCRETE**
 N.T.S.



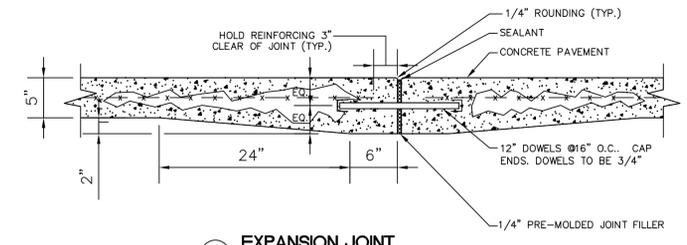
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 C4.2 **CURB RAMPS**
 N.T.S.



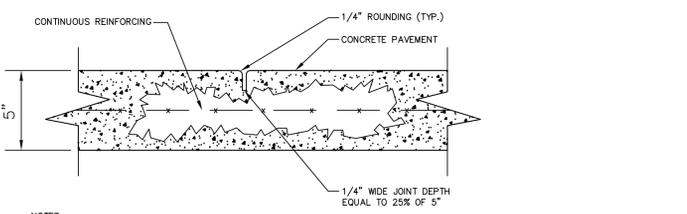
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 C4.2 **CAST IRON TACTILE WARNING STRIP**
 N.T.S.



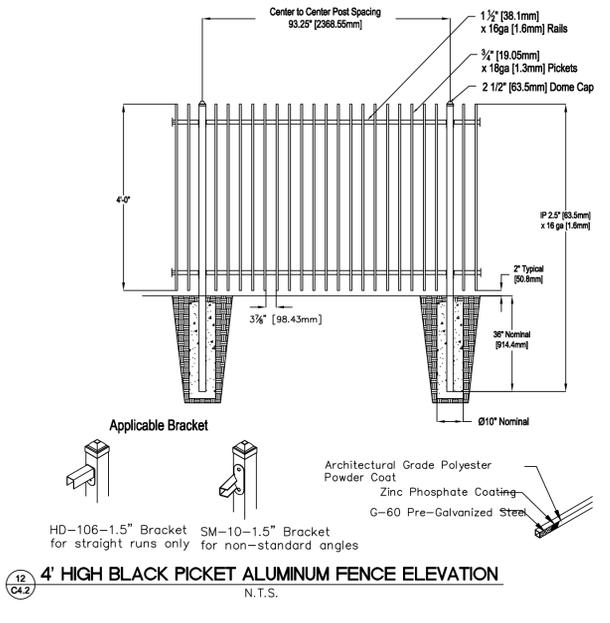
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 C4.2 **BOLLARD**
 N.T.S.



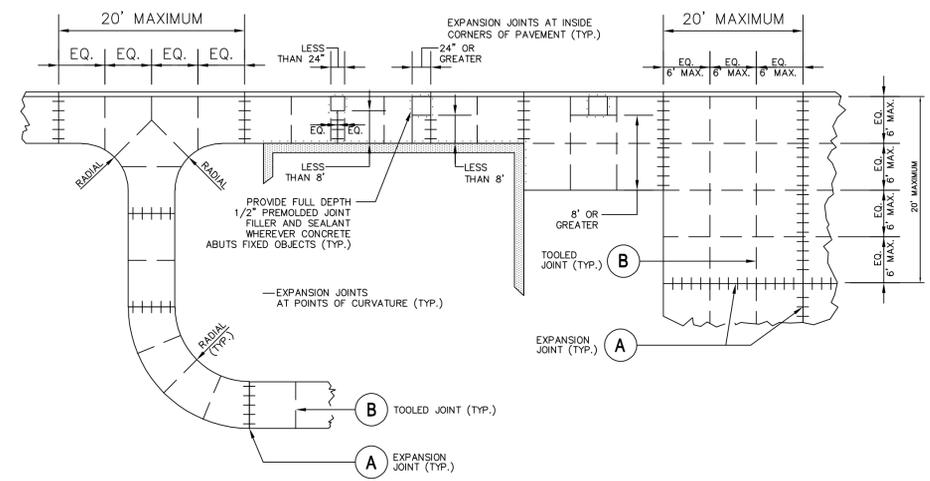
10
 C4.2 **EXPANSION JOINT**
 N.T.S.



11
 C4.2 **TOOLED JOINT**
 N.T.S.



12
 C4.2 **4' HIGH BLACK PICKET ALUMINUM FENCE ELEVATION**
 N.T.S.



13
 C4.2 **TYPICAL JOINT PLACEMENT IN CONCRETE**
 N.T.S.

DATE:	08/26/20
DRAWN BY:	JWK
SCALE:	As Indicated
REVIEWED BY:	MRP
PROJECT NO.:	2019-015A

NO.	DATE	DESCRIPTION
1	7/14/2020	RESPONSE TO STAFF AND COMMISSION COMMENTS

LANDSCAPING PLAN

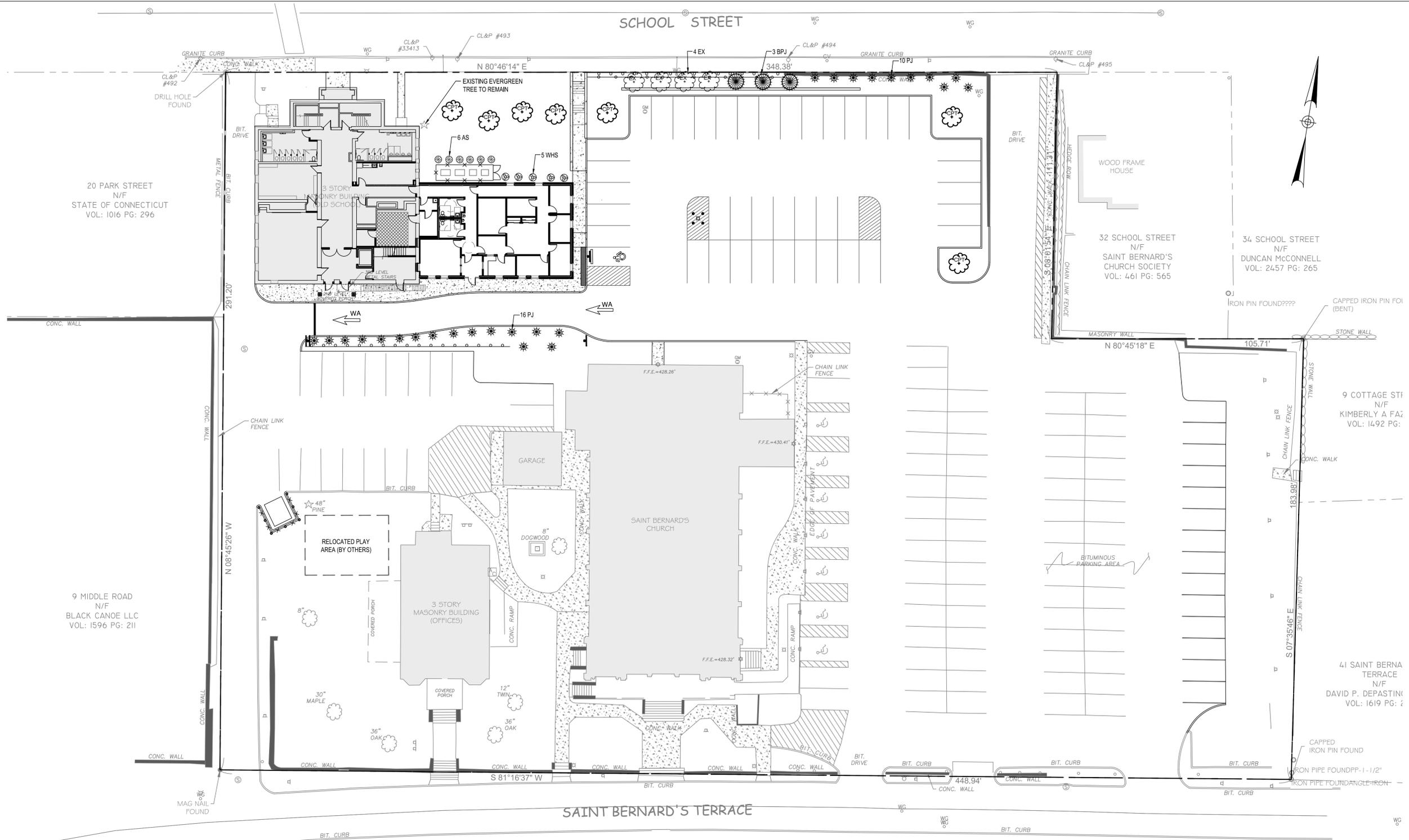
BLESSED SACRAMENT PARISH CENTER
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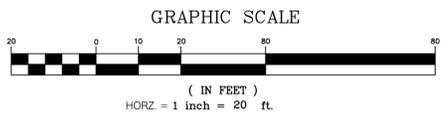
SHEET NO.
L-1.0



LANDSCAPING PLAN
SCALE: 1"=20'-0"

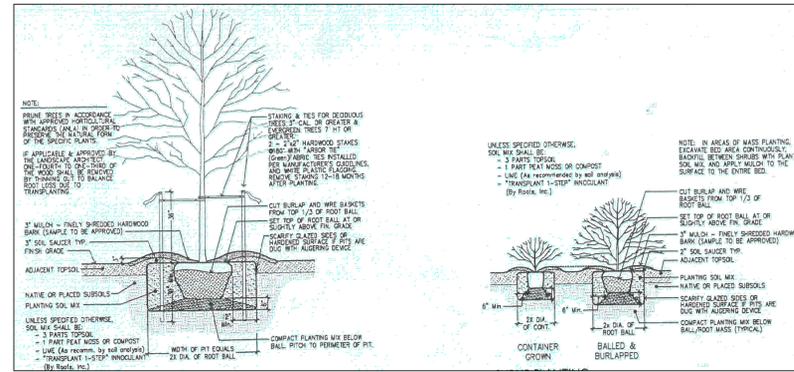
LANDSCAPE LEGEND

SYMBOL	NAME	SIZE	QUANTITY
	CHANTICLEER PEAR TREE	2" CAL.	7
	BLUE POINT JUNIPER	3 GAL.	3
	EXISTING RELOCATED	VARIES	4
	WINTERBERRY HOLLY	3 GAL.	5
	ARBORVITAE	36" HGT.	6
	PARSON'S JUNIPER	3 GAL.	16



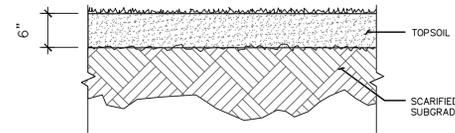
PLANTING NOTES

- 1) THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE PLAN AND GRADING AND EROSION CONTROL PLAN FOR ALL OTHER INFORMATION.
- 2) THE CONTRACTOR SHALL MAINTAIN THE NEW LANDSCAPING, INCLUDING WATERING AND WEED CONTROL UNTIL SUBSTANTIAL PROJECT COMPLETION HAS BEEN REACHED AND AGREED TO BY THE OWNER OR THEIR REPRESENTATIVES. FURTHER:
 - a. CONTRACTOR SHALL MAINTAIN ALL SEEDED AREAS IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL NO LESS THAN 120 DAYS AFTER SUBSTANTIAL COMPLETION AND LONGER AS REQUIRED TO ESTABLISH ACCEPTABLE LAWN, WILDFLOWERS OR NATIVE GRASSES AREA. IF SEEDING OCCURS IN THE FALL AND IS NOT GIVEN FULL 120 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, MAINTENANCE SHALL BE CONTINUED THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN OR GRASS STANDS ARE ESTABLISHED.
 - b. MAINTENANCE OF WOODY PLANT MATERIALS (TREES & SHRUBS) SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. MAINTENANCE REQUIREMENTS INCLUDE:
 1. PROVIDE INSPECTION OF ALL PLANT MATERIALS WITH THE OWNER PRESENT. TWO (2) INSPECTIONS (ONE EVERY 6 MONTHS) ARE REQUIRED.
 2. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, ADJUSTING, GUYING AND STAKING MATERIALS, PRUNING, FERTILIZING, MULCHING, RESETTING TO PROPER GRADE OR VERTICAL POSITION, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY.
- 3) GUARANTEE REQUIREMENTS
 - a. PERIOD REQUIRED:
 1. THE GUARANTEE PERIOD FOR ALL PLANTS WILL BEGIN UPON OWNER'S CERTIFICATION OF SUBSTANTIAL COMPLETION OF THE PLANTING.
 2. PLANT MATERIAL IS ELIGIBLE TO RECEIVE FINAL ACCEPTANCE ONE (1) YEAR FROM THE DATE OF THE CERTIFICATION OF SUBSTANTIAL COMPLETION. PLANTING DONE OUTSIDE OF THE RECOMMENDED TIME PERIOD FOR PLANTING (SEE NOTES BELOW), SHALL BE MAINTAINED AND GUARANTEED UNTIL A SECOND SPRING LEAFOUT PERIOD.
- 4) THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY.
- 5) ALL SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH SHREDDED HARDWOOD BARK MULCH.
- 6) NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE ENGINEER. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAILS ON THIS SHEET.
- 7) LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. CONSTRUCTION DEBRIS, BROKEN PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED FROM ALL AREAS TO BE LANDSCAPED (LAWNS, WILDFLOWERS, NATIVE GRASSES OR PLANTED BEDS) TO A DEPTH OF 2" FROM FINISH GRADE OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE EXCAVATED SOIL WITHIN TRAFFIC ISLANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- 8) LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. CONSTRUCTION DEBRIS, BROKEN PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED FROM ALL AREAS TO BE LANDSCAPED (LAWNS, WILDFLOWERS, NATIVE GRASSES OR PLANTED BEDS) TO A DEPTH OF 2" FROM FINISH GRADE OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE EXCAVATED SOIL WITHIN TRAFFIC ISLANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- 9) PLANTING SOIL MIXTURE FOR TREES AND SHRUBS:
 - 1 PART PEAT MOSS
 - 3 PARTS TOPSOIL
 - MYCORRHIZA INOCULANT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS.
 - FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)
- 10) PLANTING SOIL MIXTURE FOR PERENNIAL AND ORNAMENTAL GRASS BEDS:
 - 1 PART PEAT MOSS
 - 1 PART MANURE (WEED FREE)
 - 3 PARTS TOPSOIL
 - FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)
 - MILORGANITE APPLIED AT 5 LBS PER 100 S.F.
- 11) TIME OF PLANTING - UNLESS PERMITTED OTHERWISE BY THE OWNER, WOODY PLANT MATERIALS SHALL BE INSTALLED AFTER SEPTEMBER 15TH AND NO LATER THAN OCTOBER 31ST. LAWNS AND SEEDED GRASSES/ WILDFLOWERS SHALL BE SEEDED AS NOTED BELOW IN THE DESCRIPTION OF SEED MIXES.
- 12) APPROVED TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6" THROUGHOUT SEEDED LAWN OR NATIVE GRASS SEED AREAS. CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT, AND MECHANICAL (SOIL STRUCTURE) COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY AS RECOMMENDED FROM THE TOPSOIL TEST.
- 13) ALL SLOPES GREATER THAN 3:1 RECEIVING A NATIVE GRASS OR LAWN SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
- 14) ALL SEED MIXES SHALL BE APPLIED BY HYDROSEEDING AND INCLUDE HYDROMULCH MATERIALS APPROPRIATE TO THE SEED MIX. BROADCAST SEEDING WITH STRAW MULCH WILL NOT BE ACCEPTED.
- 15) ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEEDING MIXTURE.
- 16) IF SHEET IS LESS THAN 30" x 42" IT IS A REDUCED PRINT AND SHOULD BE SCALED ACCORDINGLY.

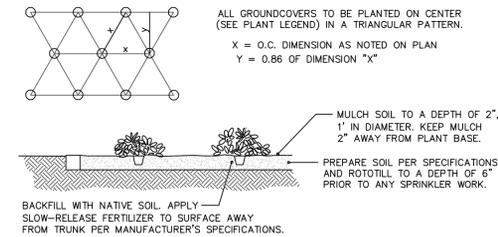


1 TREE PLANTING DETAIL
N.T.S.

2 SHRUB PLANTING DETAIL
N.T.S.



3 TOP SOIL AND SEEDED LAWN DETAIL
N.T.S.



4 GROUND COVERS AND PERENNIALS PLANTING BED
N.T.S.

DATE: 08/26/20
DRAWN BY: JWK
SCALE: As indicated
REVIEWED BY: JMRP
PROJECT NO. 2019-015A

NO.	DATE	DESCRIPTION

LANDSCAPING DETAILS

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ENGINEER'S SEAL

FRIAR
21 Talcott Notch Road
Farmington, CT 06032

SHEET NO.
L1.1

BLESSED SACRAMENT PARISH CENTER

25 ST. BERNARD'S TERRACE

VERNON, CT

SITE PLAN APPROVAL

BENEFACTORS

MAE TOBIN, FRANCES TIERNEY & ARLINE RAMSDELL

CONSTRUCTION MANAGER

GENERAL BUILDERS, LLC

530 SILAS DEANE HWY.

WETHERSFIELD, CONNECTICUT

ARCHITECT

FRIAR ARCHITECTURE

21 TALCOTT NOTCH ROAD

FARMINGTON, CONNECTICUT

CIVIL ENGINEER

MACCHI ENGINEERS, LLC

44 GILLETT STREET

HARTFORD, CT 06105

MEP/FP & STRUCTURAL ENGINEER

LOUREIRO ENGINEERING ASSOCIATES, INC.

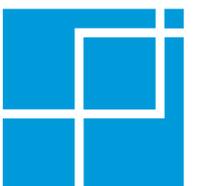
100 NORTHWEST DRIVE

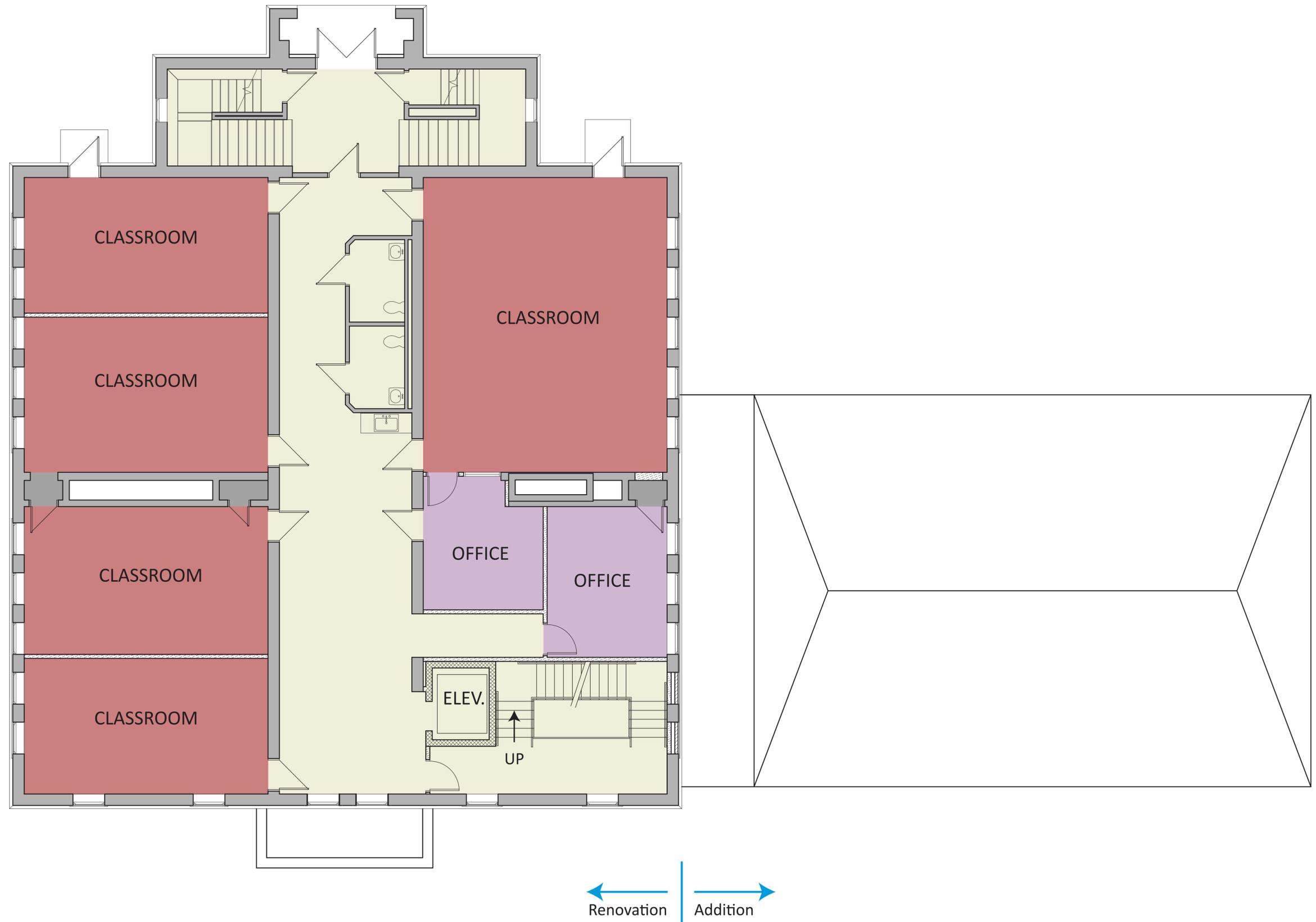
PLAINVILLE, CT 06062



BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

LOWER LEVEL FLOOR PLAN





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

STREET LEVEL FLOOR PLAN

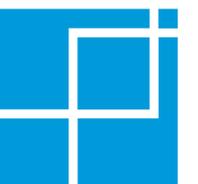
Vernon, Connecticut

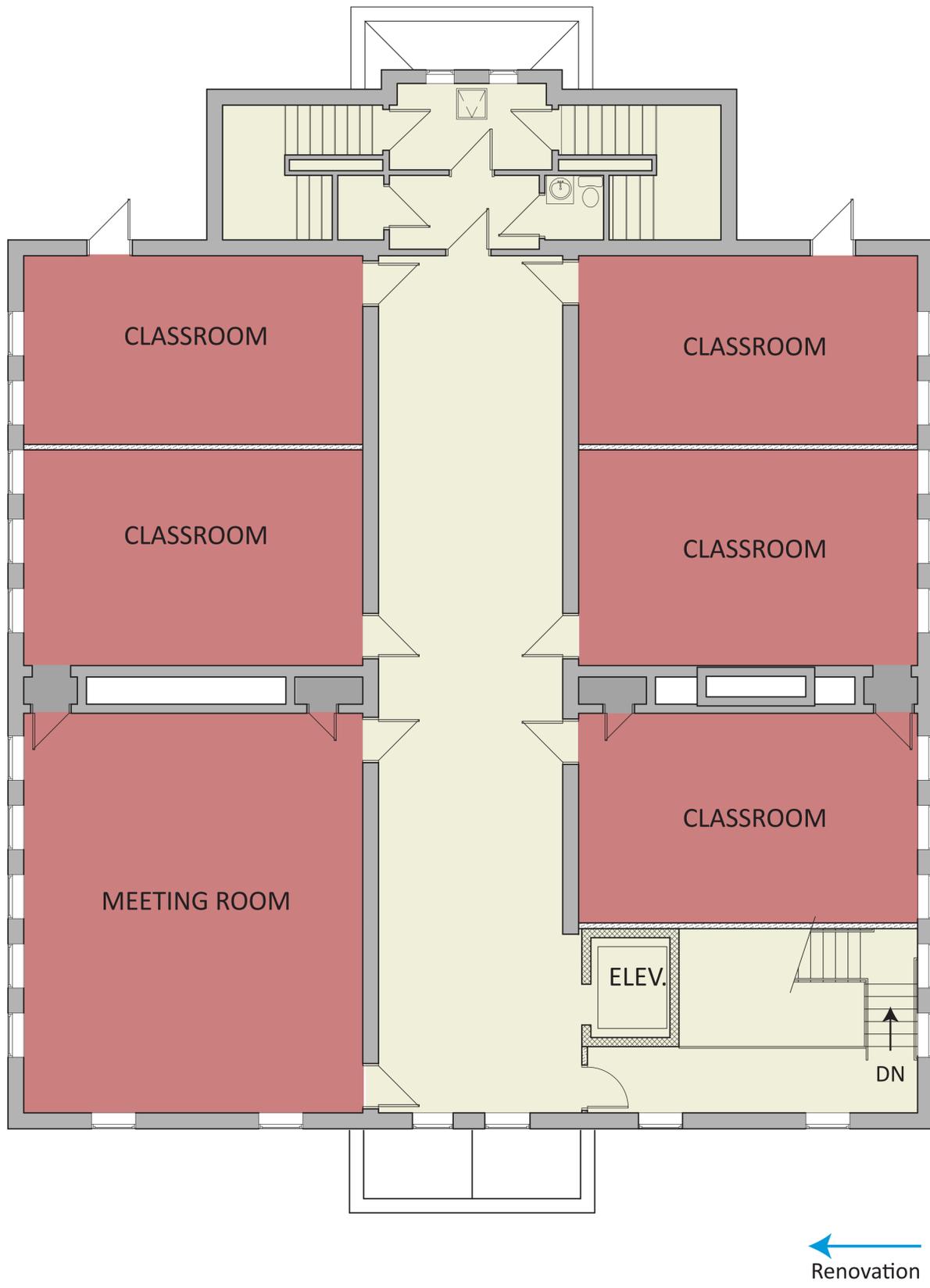


06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

UPPER LEVEL FLOOR PLAN

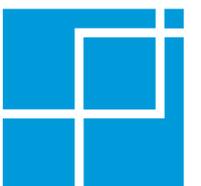
Vernon, Connecticut



06/01/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

F R I A R





BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

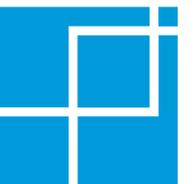
SOUTH ELEVATION

Vernon, Connecticut

07/15/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR





EAST ELEVATION



NORTH ELEVATION

BLESSED SACRAMENT PARISH CENTER - ST. BERNARD CHURCH

EAST & NORTH ELEVATION

Vernon, Connecticut

07/15/2020

ARCHITECTURE + INTERIOR DESIGN + MASTER PLANNING

FRIAR

