

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice & Agenda **REVISED**
Thursday, October 1, 2020, 7:30 PM

Posted 9/24/2020
SBurgos

Join Zoom Meeting
<https://us02web.zoom.us/j/88664231905?pwd=d2lzQ0VHcGVBUjMz0JaaDZWtGdOQQT09>

Meeting ID: 886 6423 1905

Passcode: YRFxh0

Dial by your location

(646) 876 9923

Meeting ID: 886 6423 1905

Passcode: 558570

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote
 - 2.2 Approval of the Minutes from the **September 17, 2020**
3. **New Application(s) for receipt, if any:**
4. **Public Hearing(s) and Action on Application**
 - 4.1 Application [PZ-2020-10] of APH Hairstylists (Alice and Allan House) for a Site Plan of Development and several Special Permits in order to renovate, remodel, and improve a hair salon located at 274 Talcottville Rd. (Assessor's ID: Map 10, Block 015K, Parcel 00028). The property is zoned Commercial.
 - 4.2 Application [PZ-2020-11] of CT Golf Land LLC (Steven LaMesa and Jerry Fornelli) for a modification to a Site Plan of Development and a series of Special Permits to modify and enhance a commercial recreation, family fun center located at 95 Hartford Turnpike (Assessor ID: Map 1, Block 158, Parcel 95). The property is zoned Commercial.
5. **8-24 Referrals, If any**
6. **Plan of Conservation and Development Update, if any**
7. **Other Business/Discussion**
8. **Adjournment**

RECEIVED
VERMONT TOWN CLERK
20 SEP 24 PM 2:12

Roland Klee, Chairman
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Virtual Meeting Notice
Thursday, September 17, 2020, 7:30 PM

VIA Zoom Meeting

Draft Minutes

1. **Call to Order & Roll Call by Roland Klee, Chairman at 7:31 PM.**

- Regular members present: Roland Klee, Joseph Miller arrived at 7:41 PM, Mike Mitchell, and Iris Mullan
- Alternate Member: Robin Lockwood sitting for Wes Shorts
- Absent Members: Susan Reudgen, Jesse Schoolnik and Wes Shorts
- Staff present: George McGregor, Town Planner
- Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires Commission vote

Robin Lockwood motioned to **ADOPT** the agenda. Iris Mullan seconded and the motion carried unanimously.

2.2 Approval of the Minutes from the **September 3, 2020**

Mike Mitchell made a motion to **APPROVE** the minutes with changes from the September 3, 2020 meeting. Iris Mullan seconded and the motion carried unanimously.

3. **New Application(s) for receipt, if any:**

NONE

4. **Public Hearing(s) and Action on Application**

NONE

5. **8-24 Referrals**

5.1 Town of Vernon-98 East Main St. (Parcel ID: 40-0117-0005), acquisition of property

George McGregor, Town Planner, gave a summary of the referral

Discussion ensued

Robin Lockwood made a motion that the Towns request for 8-24 referral for 98 East Main St. (Parcel ID: 40-0117-0005), acquisition of property to be found consistent with the POCD. Mike Mitchell seconded and the motion carried unanimously.

6. **Plan of Conservation and Development Update**

George McGregor, Town Planner, gave an update in regards to the questionnaire sent to all commissions and department heads.

Discussion ensued

7. **Other Business/Discussion**

NONE

8. **Adjournment**

Joseph Miller made a motion to **ADJOURN** at 7:45 PM. Robin Lockwood seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

APPLICATION
(PZ-2020-10)

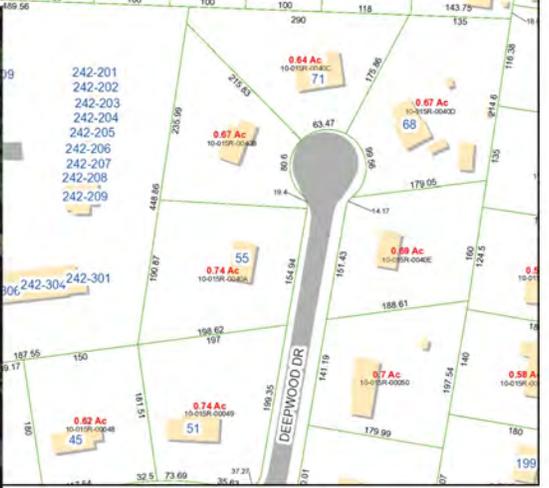
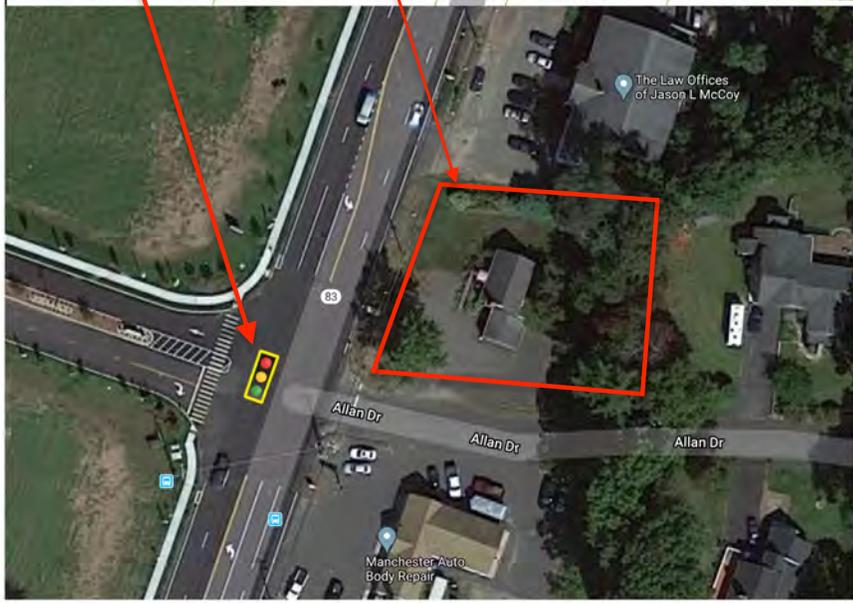
Name of Development:
APH Hair Stylist

274 Talcottville Rd

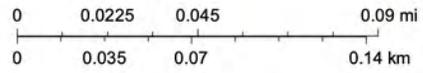


274 Talcottville Rd
a/k/a 1 Allan Dr

Recently Installed
Traffic Light
& Turning Lanes

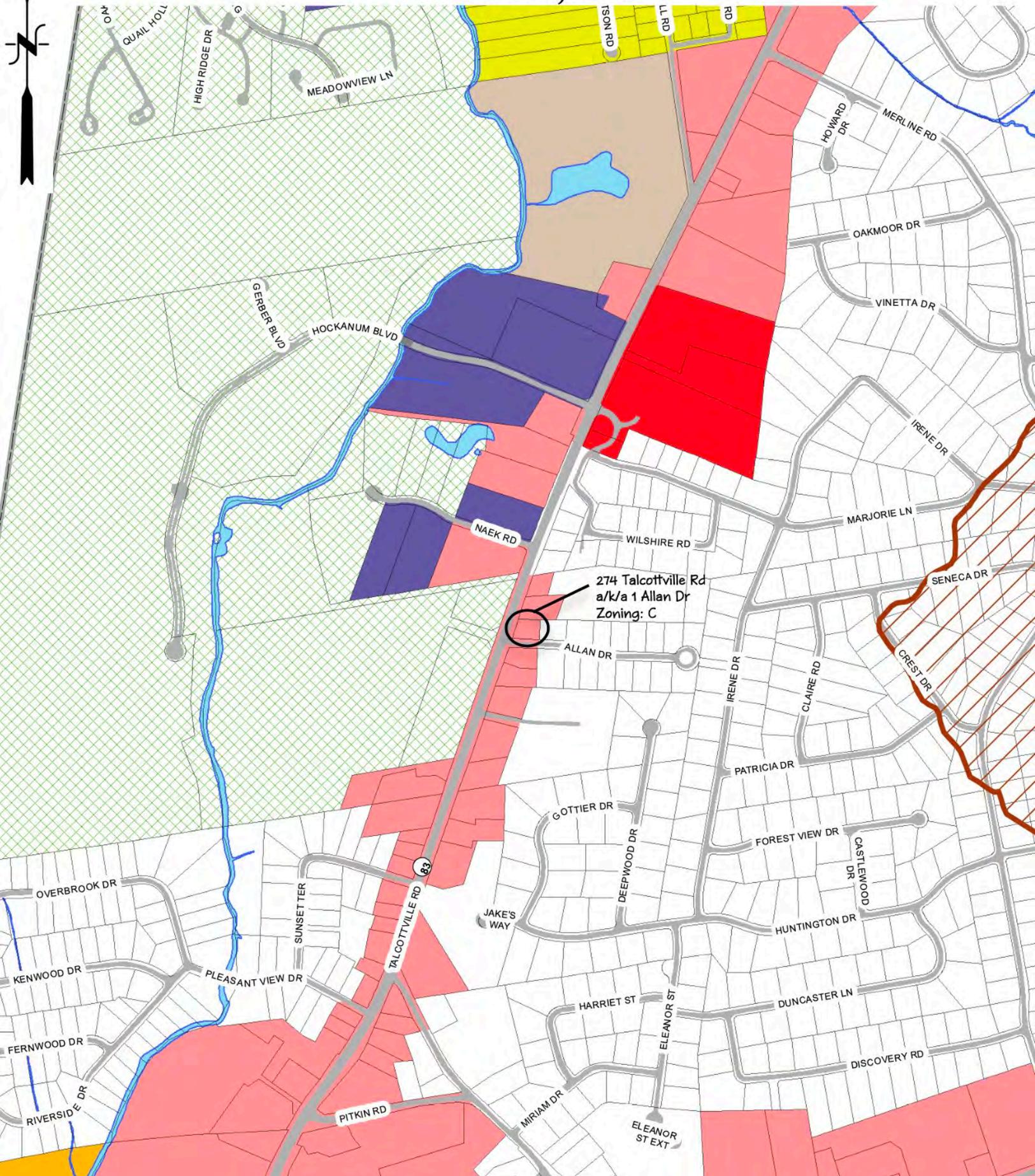


1:2,010



Zoning Map

Vernon, CT



TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Alice P. House & Allen A. House

Title: Owners

Company: APH Hair Stylist, LLC

Address: 155 Windermere Ave. Unit 2203

Ellington, CT 06029

Alice's Cell: 860-643-5225

Telephone: Allen's Cell: 860-944-4201

Fax: _____

Alice's Email: shamrock.house64@gmail.com

E-mail: Allen's Email: houseall@cox.net

II. PROPERTY OWNER (S):

Name: APH Hair Stylist, LLC

Title: Managing Member, Alice P. House

Company: APH Hair Stylist, LLC

Address: 155 Windermere Ave. Unit 2203

Ellington, CT 06029

Alice's Cell: 860-643-5225

Telephone: Allen's Cell: 860-944-4201 Fax _____

E-mail: Alice's Email: shamrock.house64@gmail.com

Allen's Email: houseall@cox.net

III. PROPERTY

Address: 274 Talcottville Rd, Vernon, CT 06066

Assessor's ID Code: Map # Block # Lot/Parcel # 10-015K-00028

Land Record Reference to Deed Description: Volume: 2636 Page 273

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No Yes

No work will be done in regulated area
 Work will be done in the regulated area

IWC application has been submitted
 IWC application has not been submitted

Zoning District Current: Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

No
 Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

Located in historic district:

- Rockville
- Talcottville

Individual historic property

IV. PROJECT

Project Name: APH Hair Stylist Salon Suites

Project Contact Person:

Name: Alice & Allen House

Title: Managing Member, Alice House of APH Hair Stylist LLC

Company: APH Hair Stylist, LLC

Address: 155 Windermere Ave. Unit 2203
Ellington, CT 06029

Telephone: Alice's Cell: 860-643-5225
Allen's Cell: 860-944-4201 Fax:

E-mail: Alice's Email: shamrock.house64@gmail.com
Allen's Email: houseall@cox.net

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Renovate Hair Salon and Expand Parking

General Activities: Demolition of existing 1/2 story/garage/breezeway/wood HC ramp, remodel remaining 768 sq. ft., building construction of 958 sq. ft. addition, utility service installation, site grading and LID drainage, gravity wall installation, reconfigure and resurface parking lot, sidewalks, construct curbs and planting beds, place top soil, seed green spaces, landscape planting beds, install signage.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 x Site Plan of Development (POD) (ZR Sec. 14)

- x POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 x Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- x Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Other Special Permit(s). Cite ZR Section and describe activity:

4.9.4.15.2 The proposed structure is within two-hundred (200) feet of a residential structure. Applying to allow 113 feet from proposed structure and residential structure on east boundary property line. Hardship: Existing lot configuration.

4.9.4.15.3 The proposed development has any off-street parking or loading spaces within one-hundred (100) feet of a residential structure. Applying to allow 72 feet from proposed parking spaces and residential structure on east boundary property line. Hardship: Existing lot configuration. Note: The installation of gravity wall and lot elevation difference help to mitigate the possibility of residential disturbance.

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

Zoning:

Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Alice P. House
Signature
Allen House
Signature

8/18/2020
Date
8/18/2020
Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

Return to:
APH Hair Stylist, LLC
274 Talcottville Road
Vernon, CT 06066

WARRANTEE DEED

To all People to whom these Presents shall come, Greeting:

KNOW YE, THAT **AMERICAN JOINT VENTURES, LLC**, a Connecticut limited liability company having its principal place of business at 274 Talcottville Road, in the Town of Vernon, County of Tolland and State of Connecticut (Hereinafter "Grantor"), for the consideration of **THREE HUNDRED THOUSAND (\$300,000.00) DOLLARS**; received to its full satisfaction of **APH HAIR STYLIST, LLC**, a Connecticut limited liability company having its principal place of business at 155 Windermere Avenue, Unit 2203 in the Town of Ellington, County of Tolland and State of Connecticut (Hereinafter "Grantee") does give, grant, bargain, sell and confirm unto the said **APH HAIR STYLIST, LLC**

A certain piece or parcel of land known as 274 Talcottville Road, with all buildings and improvements thereon, situated, lying and being in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

Being Lot No. 1 on a map or plan entitled "Map showing property of Albert Litvinchyk in the Town of Vernon, Tolland County, Conn., containing 9.7 acres. Scale of map 1" = 50' April 1952, Class A2", and drawn by H.F. Rosenberger, Jr., which said map is on file in the Office of the Town Clerk of said Town of Vernon, reference to which is hereby made for further description. Said Lot No. 1 is bounded:

Northerly by land now or formerly of Michael Ference, One hundred twenty-seven and 63/100 (127.63) feet;

Easterly by Lot No. 3 on said map, One hundred thirteen and 84/100 (113.84) feet;

Southerly by proposed roadway shown on said map as Allen Drive, One hundred sixty-two and 46/100 (162.46) feet; and

Westerly by highway known as Route #83, between Rockville and Talcottville, One hundred seventeen and 24/100 (117.24) feet.

Said premises are subject to any and all provisions of any ordinance, municipal, state and/or federal regulations or public or private law, building, building line and zoning restrictions, covenants and easements as of record appear.

CONVEYANCE TAX RECEIVED
STATE \$ \$3,750.00
LOCAL \$ \$750.00
KAREN C. DAIGLE
TOWN CLERK OF VERNON



August 18, 2020

George McGregor, Town Planner
Vernon Planning and Zoning Commission
55 West Street
Vernon, CT 06066

Re: Site Plan of Development and Special Permits
APH Hair Stylist, LLC
274 Talcottville Road a/k/a 1 Allan Drive
Vernon, CT 06066

Plan of Development (POD) Narrative

The applicant proposes to renovate an existing hair salon previously operated as the Hair Gallery, upon the 274 Talcottville Road parcel. All non-conforming portions of the existing structure will be taken down and a 1,162 sq. ft. addition added to the remaining 768 sq. ft. first story structure. Two lot set back variances and demolition permit have been approved for the POD. See attached ZBA-2020-02 certificate and demo permit DP-2020-0006. The salon capacity is increasing from 4 to 8 operator stations and the parking lot from 8 spaces to 19 spaces. The finished hair salon will be reconnected to public utilities; WPCA sanitary sewer, CWC water, Eversource Electric and Gas, Comcast Business, and a state-of-the-art CT net metering solar array installed on the flat roof to reduce carbon emissions.

Also included with the application are location improvement A2 survey sheets containing details for existing conditions and proposed site grading, LID drainage, gravity wall, driveway, parking spaces, landscaping, erosion and sediment control, architectural renderings, building elevations, lighting, and waste management plans.

Special Permits

In connection with its proposed development, the Applicant also seeks three special permits. (1) Per Section 15 of the Regulations, for excavation involving more than 50 cubic yards. The sole purpose of the excavation is to prepare the site and complete hair salon renovations in accordance with the POD. (2) Per Section 4.9 of the Regulations, for reduced thresholds of proposed hair salon structure and parking spaces within (200) feet and (100) feet of a residential structure on the east boundary property line. Hardship: Existing lot conditions. Note: The installation of gravity wall and lot elevation difference help to mitigate the possibility of residential disturbance.





Traffic Impact Statement

The applicant is proposing a plan of development to increase the capacity of an existing hair salon. The hair salon will remain to be accessed by the existing curb cut off of Allan Dr and there are no proposed changes to the curb cut. During the first quarter of 2020 Vernon LTA and CT OSTA/DOT installed a state-of-the-art traffic light at the intersection of Route 83, Allan Dr, and Trail Run Apartment Complex. Customers will use the Route 83 traffic light to access the salon parking lot entrance/exit off of Allan Dr. This corner lot parcel is a direct beneficiary of the advanced traffic light signaling to control safe ingress and egress access to Allan Dr curb cut. The proposed parking lot design implements a one-way drive loop around the building with a redesigned arrangement of 19 parking spaces. In my opinion, taking into account the traffic light and proposed parking lot improvements, the increase in daily customer activity generated at the site will not have a major impact to traffic and can be safely accommodated.

Salon business hours are 8am – 7pm on Tues, Weds, Thurs, and 8am – 5pm on Fri, Sat.

Existing and proposed traffic pattern summary.

	Existing	Proposed
Salon Square Footage	880 sq. ft.	1,727 sq. ft.
Parking Spaces	8	19
Number of salon operator stations	4	8
Avg number of customers per hour	4	8

Sincerely,

Jake Le Brun
LLC Managing Member











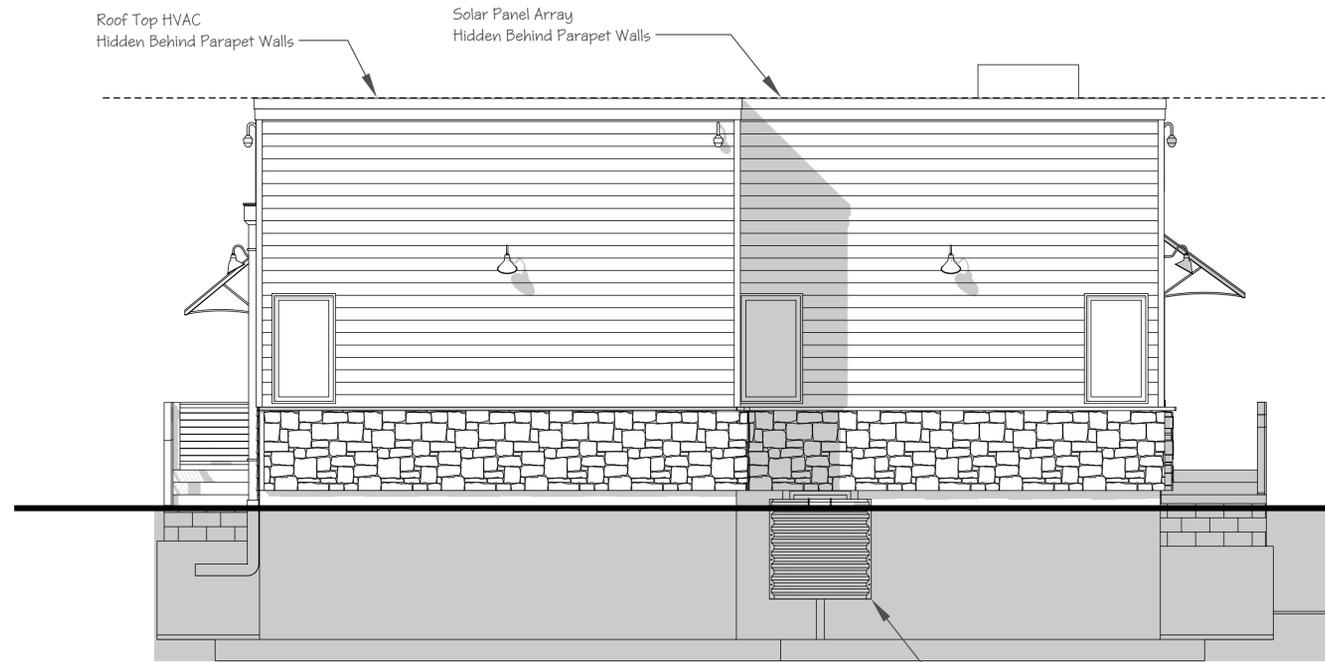




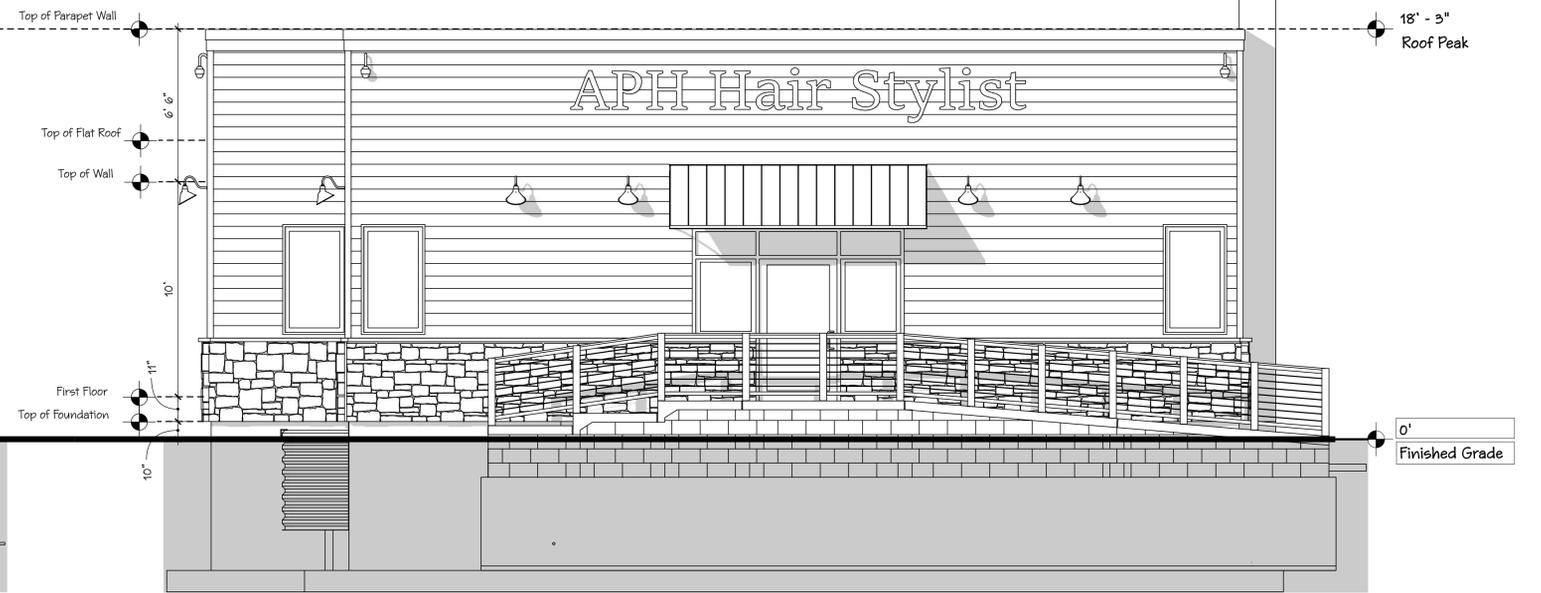




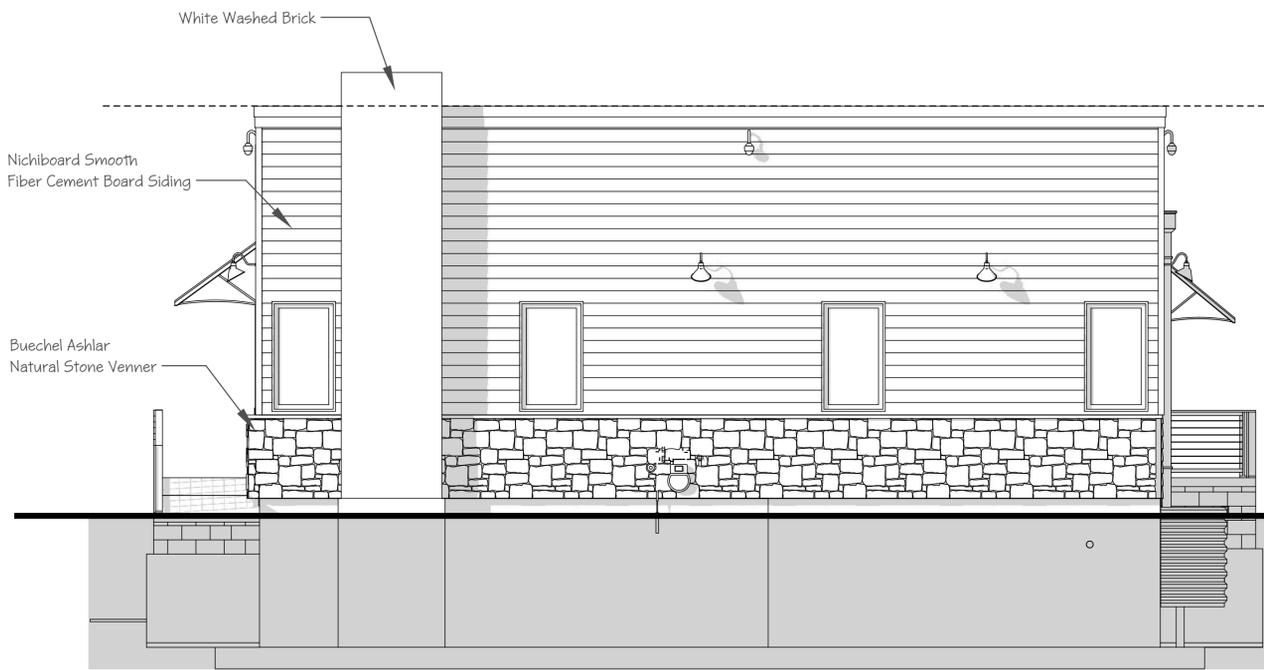




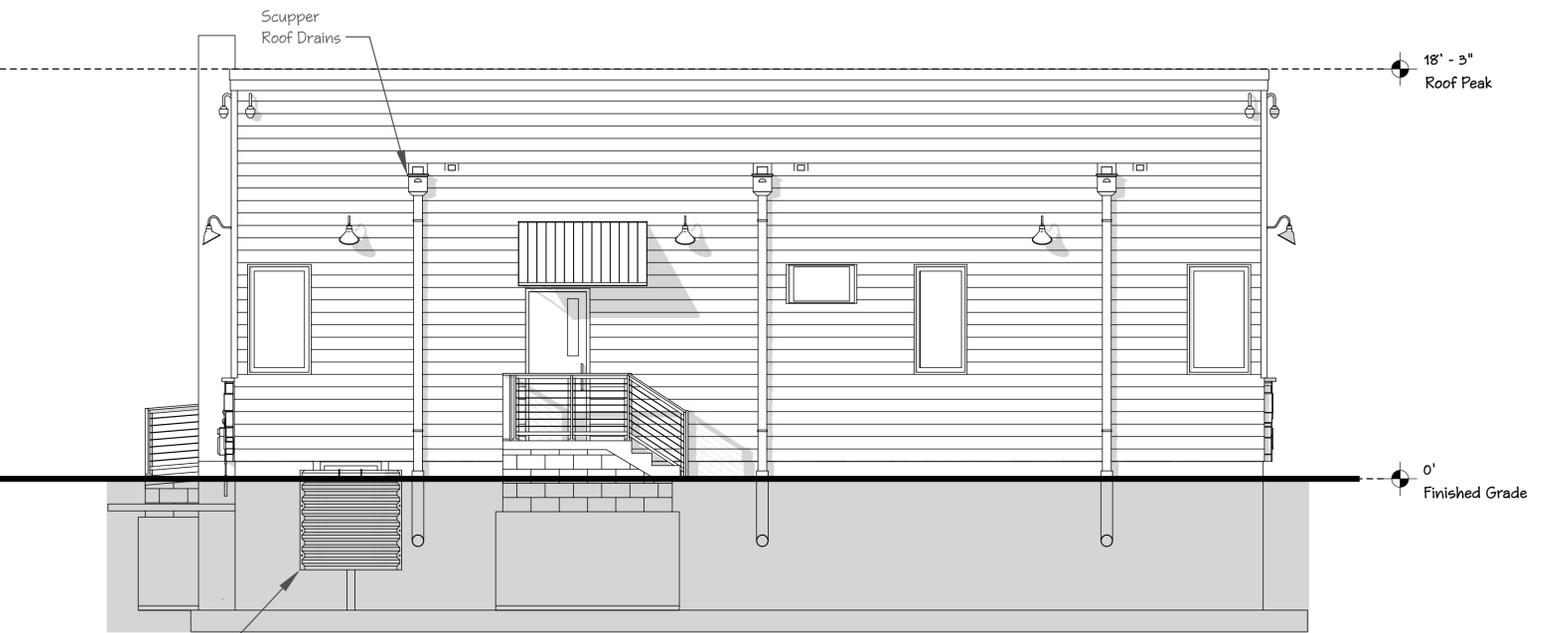
1 NORTH ELEVATION - #280 SIDE
SCALE :: 1/4" = 1'-0"



2 WEST ELEVATION - FRONT
SCALE :: 1/4" = 1'-0"



3 SOUTH ELEVATION - ALLAN DR. SIDE
SCALE :: 1/4" = 1'-0"



4 EAST ELEVATION - BACK
SCALE :: 1/4" = 1'-0"



FLOOR PLAN
Scale: 1/4" = 1'

Finished Space	
Foyer	121.1 sq. ft.
Waiting/Dryer POD 1	16.2 sq. ft.
Waiting/Dryer POD 1	16.2 sq. ft.
Suite 1	122.6 sq. ft.
Suite 2	120.0 sq. ft.
Suite 3	128.9 sq. ft.
Suite 4	128.9 sq. ft.
Suite 5	120.3 sq. ft.
Suite 6	120.3 sq. ft.
Suite 7	120.5 sq. ft.
Suite 8	132.0 sq. ft.
Bath Rm 1	62.0 sq. ft.
Bath Rm 2	41.7 sq. ft.
Break Rm	92.6 sq. ft.
Utility Rm	25.8 sq. ft.
Close	8.6 sq. ft.
Hallway 1	168.7 sq. ft.
Hallway 2	159.9 sq. ft.
Stairs	40.9 sq. ft.
Total	1,726.9 sq. ft.

Unfinished Space	
Existing Basement	695.1 sq. ft.
Addition Basement	1060.3 sq. ft.
Total	1,755.4 sq. ft.

Proposed Lighting Plan

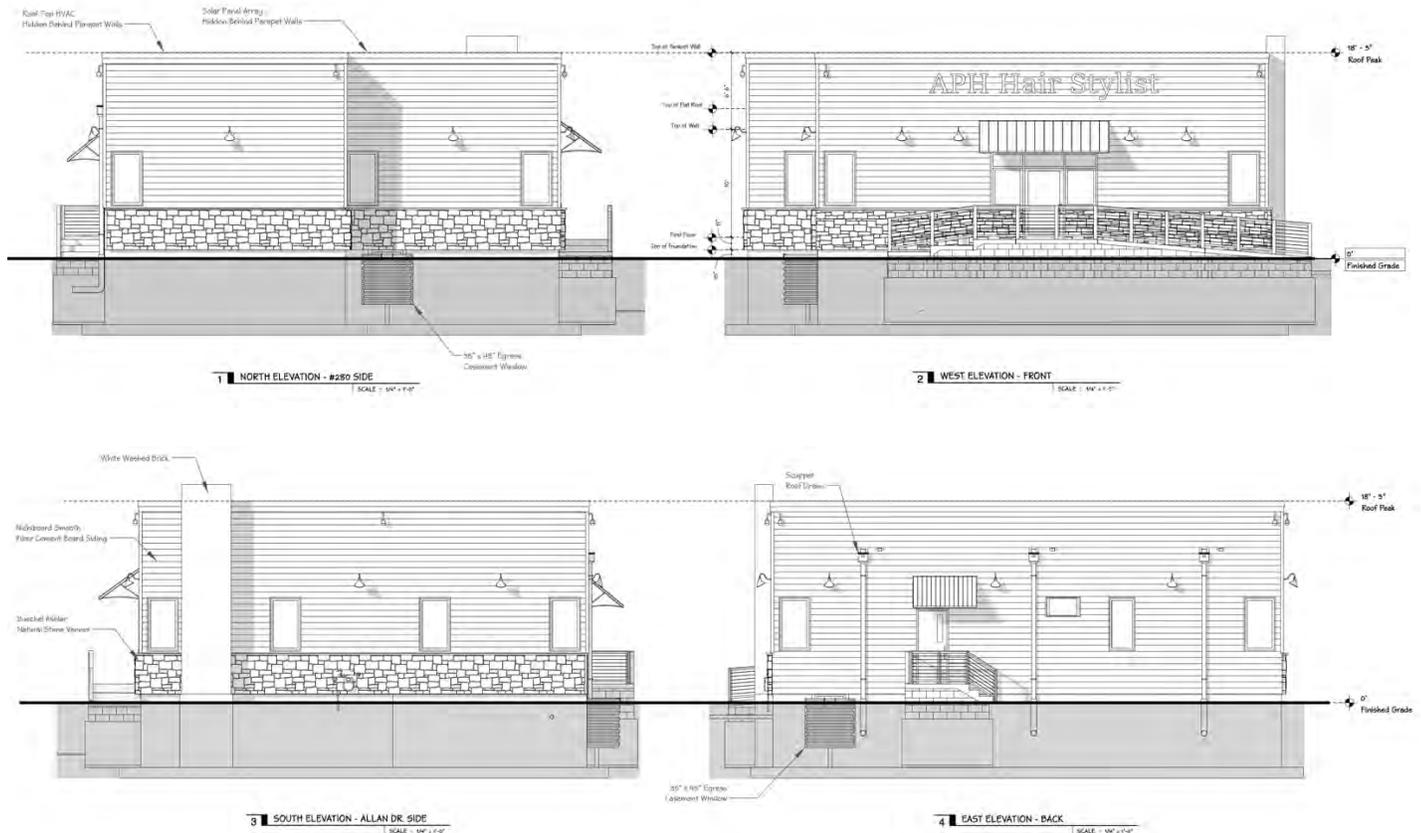
Name of Development: APH Hair Stylist

Site: 274 Talcottville Rd, Vernon, CT

Exterior Building Lighting

The Millennium RAS12-GA-RNG15 R Series Gooseneck wall mount light fixture has been selected to illuminate sidewalks, parking, and landscaping around the building. The fixture options are configured with 12" round angled shade and 14.5" gooseneck. Fixture and bulb technical specification sheets are included at end of this plan document.

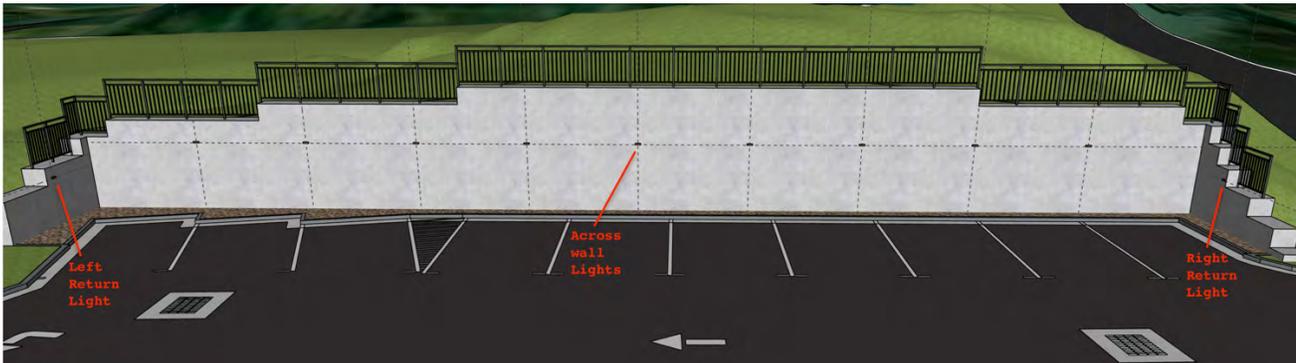
Light Location	Qty	Lumen Output	Input Power	Input Voltage	Color Temp (CCT)	Color Rendering Index (CRI)
Front Wall - East Facing Mounted 11 ft above grade	3	2550lm	22W	120V	3000K	80
Right Side Wall - South Facing Mounted 11 ft above grade	2	2550lm	22W	120V	3000K	80
Left Side Wall - North Facing Mounted 11 ft above grade	2	2550lm	22W	120V	3000K	80
Back Side Wall - East Facing Mounted 11 ft above grade	3	2550lm	22W	120V	3000K	80



Gravity Wall Lighting

The VOLT Low Voltage Landscape Lighting 6" VSH-668-4-BBZ undercover hardscape light fixture has been selected to illuminate the parking and landscaping along the gravity wall. Fixture and bulb technical specification sheets are included at end of this plan document.

Light Location	Qty	Lumen Output	Input Power	Input Voltage	Color Temp (CCT)	Color Rendering Index (CRI)
Across Gravity Wall Facing West Towards Building Mounted 6 ft above grade with a 10 ft spacing between fixture centers	9	300lm	3W	9-15V	2700K	80-85
Right Side Gravity Wall Return Mounted 4 ft above grade and 5 ft out from wall corner	1	300lm	3W	9-15V	2700K	80-85
Left Side Gravity Wall Return Mounted 4 ft above grade and 5 ft out from wall corner	1	300lm	3W	9-15V	2700K	80-85



R Series

12" Angle Shades

UL LISTED FOR WET LOCATIONS



RAS12-SG
Shade Only.
Shown with optional
RGN15-SG Goose Neck

RAS12-GA

Shade Only.
Shown with optional
RGN15-GA Goose Neck
and RWG12-GA Wire Guard



Galvanized
finishes may be
inconsistent



RAS12-SR
Shade Only.
Shown with optional
RGN15-SR Goose Neck



RAS12-SB
Shade Only.
Shown with optional
RGN15-SB Goose Neck



RAS12-ABR
Shade Only.
Shown with optional
RGN15-ABR Goose Neck
and RWG12-ABR Wire Guard

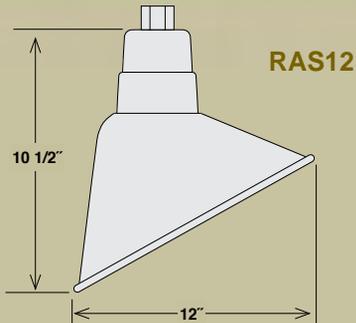


RAS12-WH
Shade Only.
Shown with optional
RGN15-WH Goose Neck

EASY TO ORDER:

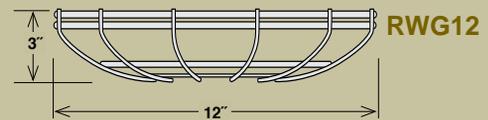
1. Choose a Shade
2. Choose a Goose Neck
3. Wire Guard Optional

Angle Shades



ITEM #	WIDTH	LAMPS	WIRE	FINISH
RAS12-ABR	12"	Med. 200W A21	100"	Architectural Bronze
RAS12-GA	12"	Med. 200W A21	100"	Galvanized
RAS12-SB	12"	Med. 200W A21	100"	Satin Black
RAS12-SG	12"	Med. 200W A21	100"	Satin Green
RAS12-SR	12"	Med. 200W A21	100"	Satin Red
RAS12-WH	12"	Med. 200W A21	100"	White

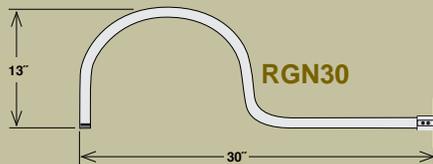
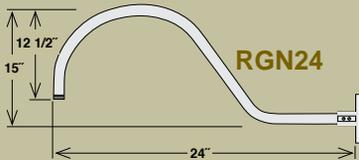
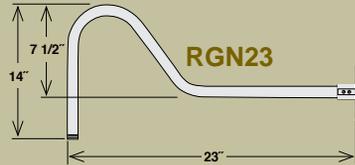
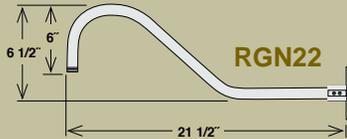
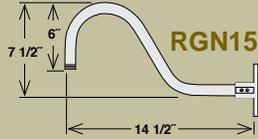
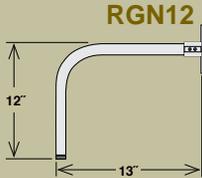
Wire Guards



ITEM #	WIDTH	FINISH
RWG12-ABR	12"	Architectural Bronze
RWG12-GA	12"	Galvanized
RWG12-SB	12"	Satin Black
RWG12-SG	12"	Satin Green
RWG12-SR	12"	Satin Red
RWG12-WH	12"	White

Goose Necks (Actual Photos Shown on Page 58)

Back Plate included with goose neck



ITEM #	ID	LENGTH	FINISH
RGN12-ABR	3/4"	13"	Architectural Bronze
RGN12-GA	3/4"	13"	Galvanized
RGN12-SB	3/4"	13"	Satin Black
RGN12-SG	3/4"	13"	Satin Green
RGN12-SR	3/4"	13"	Satin Red
RGN12-WH	3/4"	13"	White
RGN15-ABR	3/4"	14 1/2"	Architectural Bronze
RGN15-GA	3/4"	14 1/2"	Galvanized
RGN15-SB	3/4"	14 1/2"	Satin Black
RGN15-SG	3/4"	14 1/2"	Satin Green
RGN15-SR	3/4"	14 1/2"	Satin Red
RGN15-WH	3/4"	14 1/2"	White
RGN22-ABR	3/4"	21 1/2"	Architectural Bronze
RGN22-GA	3/4"	21 1/2"	Galvanized
RGN22-SB	3/4"	21 1/2"	Satin Black
RGN22-SG	3/4"	21 1/2"	Satin Green
RGN22-SR	3/4"	21 1/2"	Satin Red
RGN22-WH	3/4"	21 1/2"	White
RGN23-ABR	3/4"	23"	Architectural Bronze
RGN23-GA	3/4"	23"	Galvanized
RGN23-SB	3/4"	23"	Satin Black
RGN23-SG	3/4"	23"	Satin Green
RGN23-SR	3/4"	23"	Satin Red
RGN23-WH	3/4"	23"	White
RGN24-ABR	3/4"	24"	Architectural Bronze
RGN24-GA	3/4"	24"	Galvanized
RGN24-SB	3/4"	24"	Satin Black
RGN24-SG	3/4"	24"	Satin Green
RGN24-SR	3/4"	24"	Satin Red
RGN24-WH	3/4"	24"	White
RGN30-ABR	3/4"	30"	Architectural Bronze
RGN30-GA	3/4"	30"	Galvanized
RGN30-SB	3/4"	30"	Satin Black
RGN30-SG	3/4"	30"	Satin Green
RGN30-SR	3/4"	30"	Satin Red
RGN30-WH	3/4"	30"	White
RGN41-ABR	3/4"	41"	Architectural Bronze
RGN41-GA	3/4"	41"	Galvanized
RGN41-SB	3/4"	41"	Satin Black
RGN41-SG	3/4"	41"	Satin Green
RGN41-SR	3/4"	41"	Satin Red
RGN41-WH	3/4"	41"	White

LED EA21-22W1000eh

Bulb Class: A21



Product Description

LED EA21-22W1000eh, Omni-directional A21, replaces conventional 150 Watt incandescent bulbs delivering more brightness (lumens) for less energy (Watts). With lower energy consumption levels you will be able to experience considerable energy savings throughout the years. LED EA21-22W1000eh design reduces internal bulb heat providing greater durability and constant bulb performance. Look for EA21-22W1020eh for Warm White (2700K), EA21-22W1040eh for Bright White (4000K) and EA21-22W1050eh for Cool White (5000K). Enjoy features such as: Instant-on, dimming options, High Output, Energy Efficient, and Enclosed Fixture Suitable.



Estimated Energy Cost: \$2.64 per year

*Note: Design, features and specifications subject to change without notice. Some features may not be available on all models. Please visit www.eurilighting.com or call 1-310-787-1100 for more information.

Specifications

Input Power	Input Voltage	Lumen Output	Beam Angle	Center Beam	CCT
22 W	120V	2550 lm	210°	N/A	3000 K

CRI	Luminous Efficacy	Power Factor	Input Current	Base	Lamp Lifespan
80	115.9 lm/W	0.7	0.2 A	E26	25,000 Hrs.

Product Features



Dimmable



Enclosed Fixture Suitable



Energy Efficient

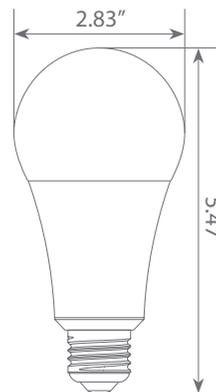


Damp Rated

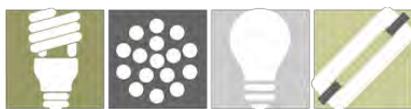
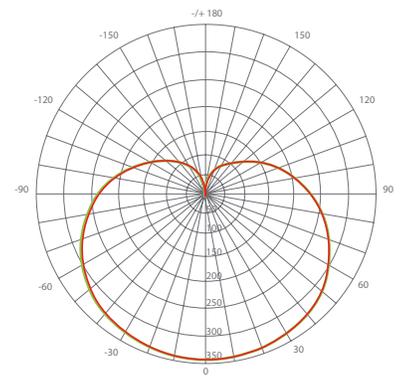


High Output

Product Dimensions



Product Photometric Data





VOLT® Low Voltage Landscape Lighting

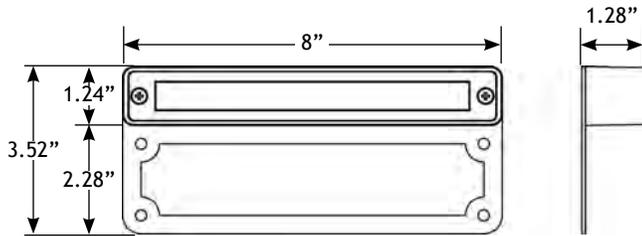
6” Undercover Hardscape Light - VHS-668-4-BBZ

Product Description

VOLT’s Undercover Hardscape light is truly a one-of-a-kind pro-grade, quality landscape lighting fixture. This low voltage light is best used in areas that require a low profile light fixture that illuminates downward. Example applications include railings, retaining walls, counter tops (for outdoor kitchens) and even property walls/fences. These luminaires are constructed of high quality solid cast brass, with premium internal components as well. This fixture is completely sealed to protect from moisture and the environment. The frosted lens provides for a beautifully even soft light that compliments any application.



Product Dimensions



Specifications

- ▶ **Construction:** Brass
- ▶ **Finish:** Bronze
- ▶ **Lead Wire:** 16AWG
- ▶ **Mounting (included):** mounting plate with 4 screw holes
- ▶ **Lens:** Frosted lens
- ▶ **Light Source (sold separately):** Bi-pin (LED or Halogen)
- ▶ **Operating Voltage:** 12VAC
- ▶ **Powered by:** VOLT’s Low Voltage Transformer

Features & Benefits

- ▶ Solid Brass Construction
- ▶ Pre-aged finish; a natural patina that does not corrode
- ▶ Beryllium copper socket - more corrosion resistant than copper
- ▶ Protective brass tube to protect lead wire from crushing when installed in stone, concrete or masonry
- ▶ Frosted lens for smooth photometric results

Warranty

Lifetime Warranty

Certifications



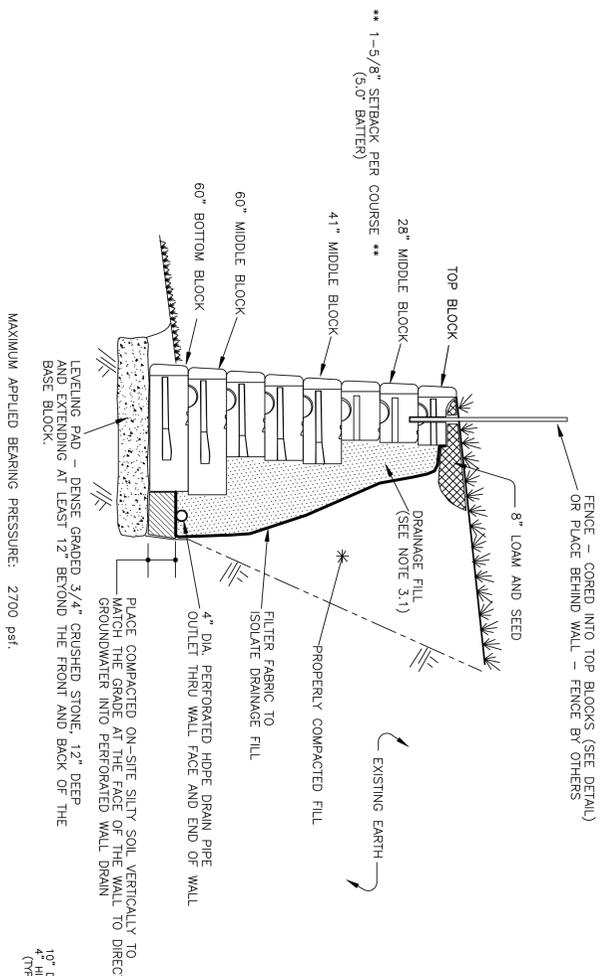
3W G4 LED Bi-Pin 2700K (20w Halogen Replacement)

Introducing VOLT®'s new 2700K line of low voltage LED G4 bi-pins. The new 2700 kelvin LED Bi-Pin fits most fixtures that can take a standard size G4 Bi-pin. This LED light bulb is specifically designed for landscape lighting and outdoor low voltage lighting. More powerful than our small G4 LED. These lamps are encapsulated to help keep moisture away from the LED diodes; with slots on the capsule to help draw heat away from the lamp to increase its lifespan. Great for applications when you are looking for a warmer light (in comparison to the 3000K).

3W G4 LED Bi-Pin 2700K (20w Halogen Replacement)

Features & Benefits:

- **Replaces 20-Watt Halogen G4 Bi-Pin Bulb**
- **Bulb Type** G4 Bi-Pin Lamp
- **Lumens:** 300
- **Input Voltage:** 9 – 15v
- **Energy Consumption:** 3 watts
- **Color Temperature:** 2700K (CCT Warm White – most popular)
- **Color Rendering Index (CRI):** 80-85
- **Light Source:** 33 SMD 2835 LED
- **Lifespan:** 40,000 hours (L70)
- **Warranty:** Lifetime Warranty (Residential), 10 Years (Commercial)
- **ETL Listed**
- *IMPORTANT *** All VOLT® LED fixtures and retrofit bulbs must be used with magnetic transformers such as our VOLT® transformers (they are not compatible with electronic transformers). They must be used with AC (they are not compatible with DC voltage). Failure to comply with any of these factors will destroy the fixture or lamp and void the warranty.*



COMPACTION NOTE: WHERE THE RETAINING WALL PASSES OVER ANY UTILITY LINES, COMPACT THE SOIL TO THE TOP OF THE WALL. THE WALL IS CRITICAL TO PREVENT SETTLEMENT OF THE UTILITY. TRENCHES WHICH PASS UNDER THIS RETAINING WALL MUST BE AT LEAST 95% OF THE MAXIMUM DENSITY OF THE FILL MATERIAL.

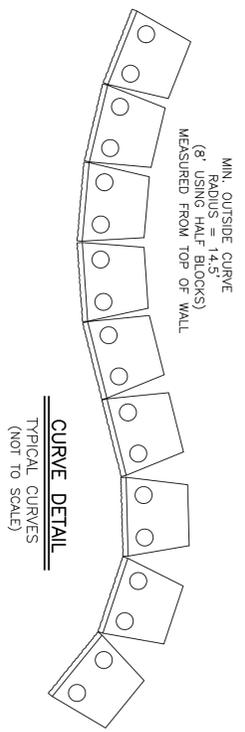
DESIGN ASSUMPTIONS	
SOIL	SOIL UNIT WEIGHT
COMPACTED FILL/BACKFILL	130
RETAINED EARTH	125
FOUNDATION SOIL	125
APPLIED SURCHARGE LOADING:	NONE
SEISMIC ACCELERATION =	0.14

DENSE GRADED 3/4" CRUSHED STONE GRADATION REQUIREMENTS	
SIERIE SIZE	% PASSING
1"	100%
3/4"	90-100%
3/8"	60-80%
1/8"	20-40%
#200	10-20%

DESIGN ASSUMPTIONS	
SOIL	SOIL UNIT WEIGHT
COMPACTED FILL/BACKFILL	130
RETAINED EARTH	125
FOUNDATION SOIL	125
APPLIED SURCHARGE LOADING:	NONE
SEISMIC ACCELERATION =	0.14

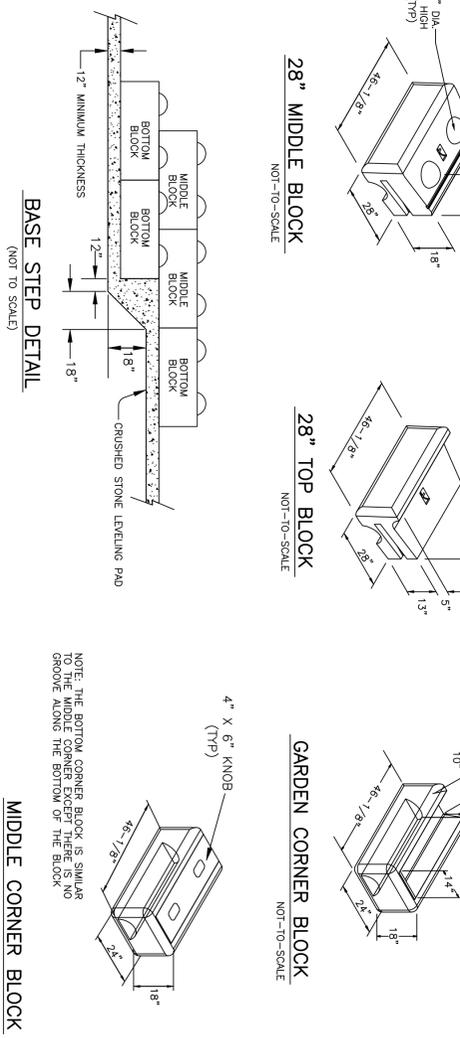
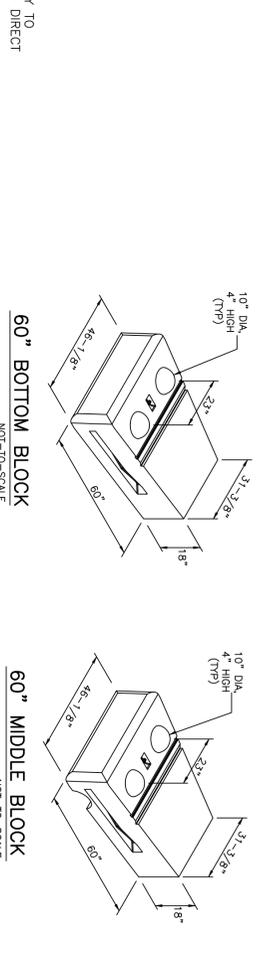
DRAINAGE FILL CT DOT M.01.01 NO. 6 STONE GRADATION REQUIREMENTS	
SIERIE SIZE	% PASSING
3/4"	100
1/2"	90 - 100
3/8"	20 - 55
#4	0 - 15
	0 - 5

MINIMUM FACTORS OF SAFETY	
OVERTURNING	1.5
SLIDING	1.5
BEARING CAPACITY	2.0



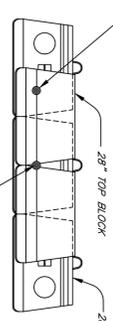
- BLOCK SPECIFICATION NOTES:**
1. ALL BLOCKS SHALL BE MANUFACTURED BY A LICENSED REDI-ROCK (TM) MANUFACTURER.
 2. BLOCKS SHALL MEET THE MINIMUM REDI-ROCK SPECIFICATIONS OF 4000 PSI WITH AN AIR CONTENT OF 4%-8%.
 3. THE REDI-ROCK UNITS MAY UTILIZE EITHER THE SPLIT LIMESTONE OR COBBLESTONE FACE CONFIGURATION AS CHOSEN BY THE OWNER OR OWNER'S REPRESENTATIVE.

NOTE: HALF-BLOCKS HAVE THE SAME FEATURES AS SHOWN HERE FOR FULL BLOCKS BUT THEY ARE 25"-1/8" WIDE, NOT THE FULL 46"-1/8" WIDE.

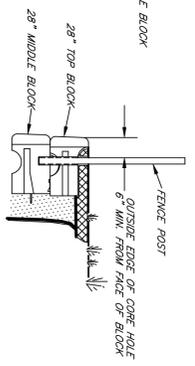


NOTE: OTHER OPTION CAN BE USED (OR USED IN COMBINATION) TO INSTALL THE FENCE POSTS.

FENCE POST LOCATION - OPTION #1: CORE THROUGH TOP BLOCK AND 6" INTO THE 28" MIDDLE BLOCK BELOW GROUT POST INTO CONE HOLE - GROUT BY FENCE SUPPLIER.



TOP VIEW



SIDE VIEW

NOTE: FENCE POSTS SHALL NOT BE ATTACHED TO THE TOP OF THE WALL. LOADS SHALL BE APPLIED TO THE UPPER PORTION OF THE WALL.

FENCE POST INSTALLATION DETAIL

GENERAL NOTES:

1. SITE PREPARATION:
 - 1.1. STRIP ALL VEGETATION, ORGANIC SOILS AND UNSUITABLE FILL SOILS FROM THE WALL ALIGNMENT AREA.
 - 1.2. BENCH CUT ALL EXCAVATED SLOPES.
- 1.3. DO NOT OVER EXCAVATE UNLESS DIRECTED TO DO SO BY THE OWNER'S SITE REPRESENTATIVE IN ORDER TO REMOVE UNSUITABLE SOIL.
- 1.4. THE OWNER'S SITE REPRESENTATIVE SHALL VERIFY THE COMPETENCY OF THE FOUNDATION SOILS.
2. LEVELING PAD & BOTTOM BLOCK:
 - 2.1. LEVELING PAD SHALL CONSIST OF DENSE GRADED 3/4" CRUSHED STONE, 12" THICK AND EXTENDING AT LEAST 12" TO EITHER SIDE OF THE BASE BLOCK.
 - 2.2. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE AS INDICATED ON THE WALL FACE DRAWING.
 - 2.3. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS, ESPECIALLY WITH REGARDS TO LEVELING OF BLOCKS AND BASE.
3. WALL DRAIN:
 - 3.1. DRAINAGE FILL SHALL CONSIST OF CT DOT M.01.01 NO. 6 CRUSHED STONE PLACED FOR A DEPTH OF AT LEAST 12" BEHIND THE WALL. A FILTER FABRIC SHALL BE PLACED OVER THE CUT OR FILL FACE BEHIND THE WALL TO PREVENT THE MIGRATION OF SOIL INTO THE DRAINAGE MATERIAL.
 - 3.2. THE 4" DIA. PERFORATED HDPE WALL DRAIN SHALL GO THROUGH THE WALL FACE AND AT THE END OF THE WALL, REFER TO THE WALL FACE DRAWINGS FOR OUTLET LOCATIONS.
 - 3.3. PLACE A FILTER FABRIC (MIRAFI 140N, OR EQUAL) OVER THE DRAINAGE MATERIAL TO MINIMIZE SOIL MIGRATION FROM THE SURFACE MATERIAL (TOPSOIL) INTO THE DRAINAGE MATERIAL.
4. BACKFILLING & COMPACTION:
 - 4.1. BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED.
 - 4.2. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OWNER'S SITE REPRESENTATIVE.
 - 4.3. COMPACTION SHALL BE TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
 - 4.4. RECOMMENDED COMPACTION EQUIPMENT WITHIN 15 FEET OF THE BACK OF THE WALL IS AS FOLLOWS:
 - 0 - 4 FEET: HAND TAMP OR VIBRATORY PLATE COMPACTOR
 - 4 - 15 FEET: NOTHING LARGER THAN TWO-DRUM, WALK-BEHIND VIBRATORY ROLLER (LARGER ROLLERS CAN BE USED STATICALLY, PROVIDED LIFT SIZE DOES NOT COMPROMISE ACHIEVEMENT OF NECESSARY COMPACTION RATES)
5. GENERAL WALL LAYOUT & CONSTRUCTION:
 - 5.1. FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD BY THE OWNER'S SITE REPRESENTATIVE.
 - 5.2. PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL AND AWAY FROM THE WALL DURING CONSTRUCTION. PERMANENT SWALES SHALL BE PITCHED TO THE WALL ENDS TO PROMOTE DRAINAGE OF SURFACE WATER RUNOFF. ALTERNATIVELY, THE SLOPE ABOVE THE WALL CAN BE GRADED TO ALLOW SURFACE WATER TO FLOW OVER THE WALL FACE. DO NOT ALLOW WATER TO POND AT THE TOP OF THE WALL.
 - 5.3. TYP. OR SOME ACCEPTABLE FORM OF SOIL EROSION PROTECTION, SHOULD BE ESTABLISHED AT THE TOP OF THE WALL (WHERE REQUIRED) BY THE LANDSCAPE CONTRACTOR AS SOON AS THE WALL IS COMPLETED.
 - 5.4. ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE PROPOSED/EXISTING GRADE IN A MANNER SATISFACTORY TO THE OWNER'S SITE REPRESENTATIVE. AT THE ENDS OF A WALL WHERE BLENDED TAKES PLACE, THE ISSUE IS NOT A STRUCTURAL FACTOR BUT AN AESTHETIC FACTOR AND THE OWNER'S SITE REPRESENTATIVE IS QUALIFIED TO MAKE THIS JUDGEMENT.
 - 5.5. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
 - 5.6. THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
 - 5.7. WALL CERTIFICATIONS: OCCASIONALLY A "SIGN OFF" BY THE DESIGN ENGINEER IS NEEDED AFTER COMPLETION OF WALL CONSTRUCTION. IF THIS SERVICE IS NEEDED ARRANGEMENTS MUST BE MADE WITH THE DESIGN ENGINEER PRIOR TO WALL CONSTRUCTION FOR A SERIES OF SITE VISITS TO OBSERVE WALL CONSTRUCTION, ACCEPTANCE LETTERS, SIGN OFFS, CERTIFICATIONS, WARRANTIES, ETC. WILL NOT BE PROVIDED WITHOUT FEMDUC SITE VISITS.

IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET



ERIC MERLUZZI, P.E.

164 ROWENTOWN ROAD, WENTWORTH, NH 03282

PHONE: (603) 786-2751

FAX: (603) 786-2751

CLIENT: REDI-ROCK WALLS OF NEW ENGLAND

8 REEDS MILL ROAD, NEWPORT, NH 03273

PROJECT: ALLEN HOUSE HAIR SALON

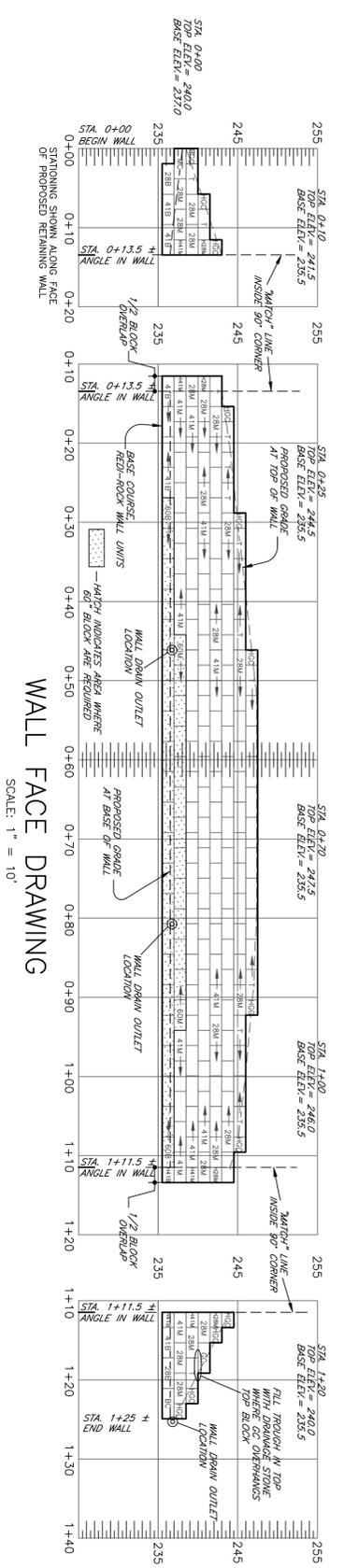
274 FACOTTVILLE ROAD, VERNON, CT

SHEET TITLE: RETAINING WALL DESIGN SHEET 1

DATE: AUGUST 26, 2020

SCALE: AS SHOWN

PROJECT NO.: 2020-231

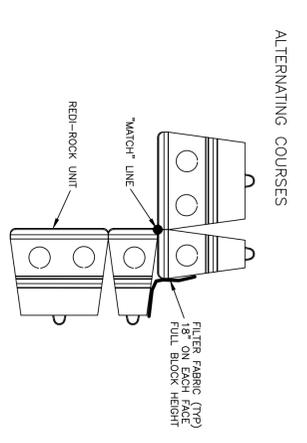
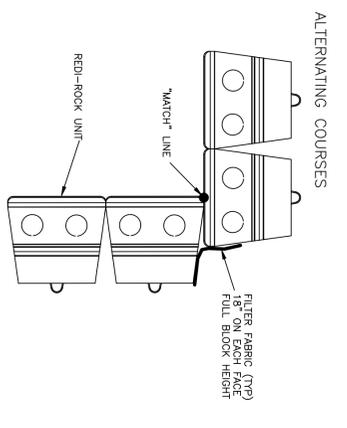


WALL FACE DRAWING
SCALE: 1" = 10'

BLOCK LEGEND & QUANTITIES

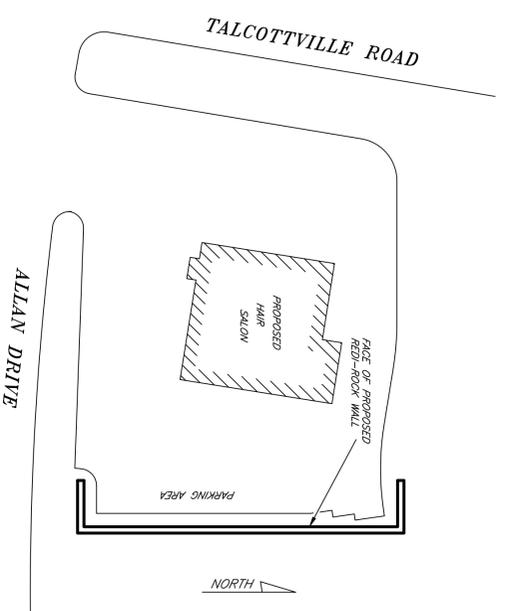
HGC	HALF GARDEN CORNER BLOCK	12
GC	GARDEN CORNER BLOCK	1
T	TOP BLOCK	27
MC	MIDDLE CORNER BLOCK	1
BC	BOTTOM CORNER BLOCK	4
H2BM	HALF 28" MIDDLE BLOCK	2
28B	28" MIDDLE BLOCK	60
H41M	HALF 41" MIDDLE BLOCK	4
41M	41" MIDDLE BLOCK	72
H41B	HALF 41" BOTTOM BLOCK	2
41B	41" BOTTOM BLOCK	7
60M	60" MIDDLE BLOCK	13
60B	60" BOTTOM BLOCK	22

NOTE: IF THE FIELD CONDITIONS INDICATE THE GRADE AT THE BASE AND/OR TOP OF THE WALL TO BE DIFFERENT FROM THAT SHOWN ON THESE PLANS, THE DESIGN ENGINEER SHALL BE CONTACTED TO VERIFY CHANGES TO THE WALL BASE COURSE AND/OR TOP OF WALL ELEVATION. THE GRADES SHOWN ON THIS PLAN ARE BASED ON THE GRADING PLAN (SHEET 3 OF 8) PREPARED BY MESSIER SURVEYING, LLC, REVISION #2, DATED 7/12/20.



REFER TO THE WALL FACE DRAWING FOR EXACT BLOCK TYPE & PLACEMENT

INSIDE CORNER — NON INTERLOCKING
NOT-TO-SCALE



IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET



ERIC MERLUZZI, P.E.

184 ROWENTOWN ROAD, WENTWORTH, NH 03282
PHONE: (603) 786-9751 E-MAIL: em35@earthlink.net

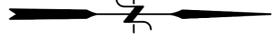
CLIENT: **REDI-ROCK WALLS OF NEW ENGLAND**
8 REEDS MILL ROAD, NEWPORT, NH 03273

PROJECT: **AILEN HOUSE HAIR SALON**
274 TALCOTTVILLE ROAD, VERMON, CT

SHEET TITLE: **RETAINING WALL DESIGN SHEET 2**

DATE: **AUGUST 26, 2020** SCALE: **AS SHOWN** PROJECT No.: **2020-231**

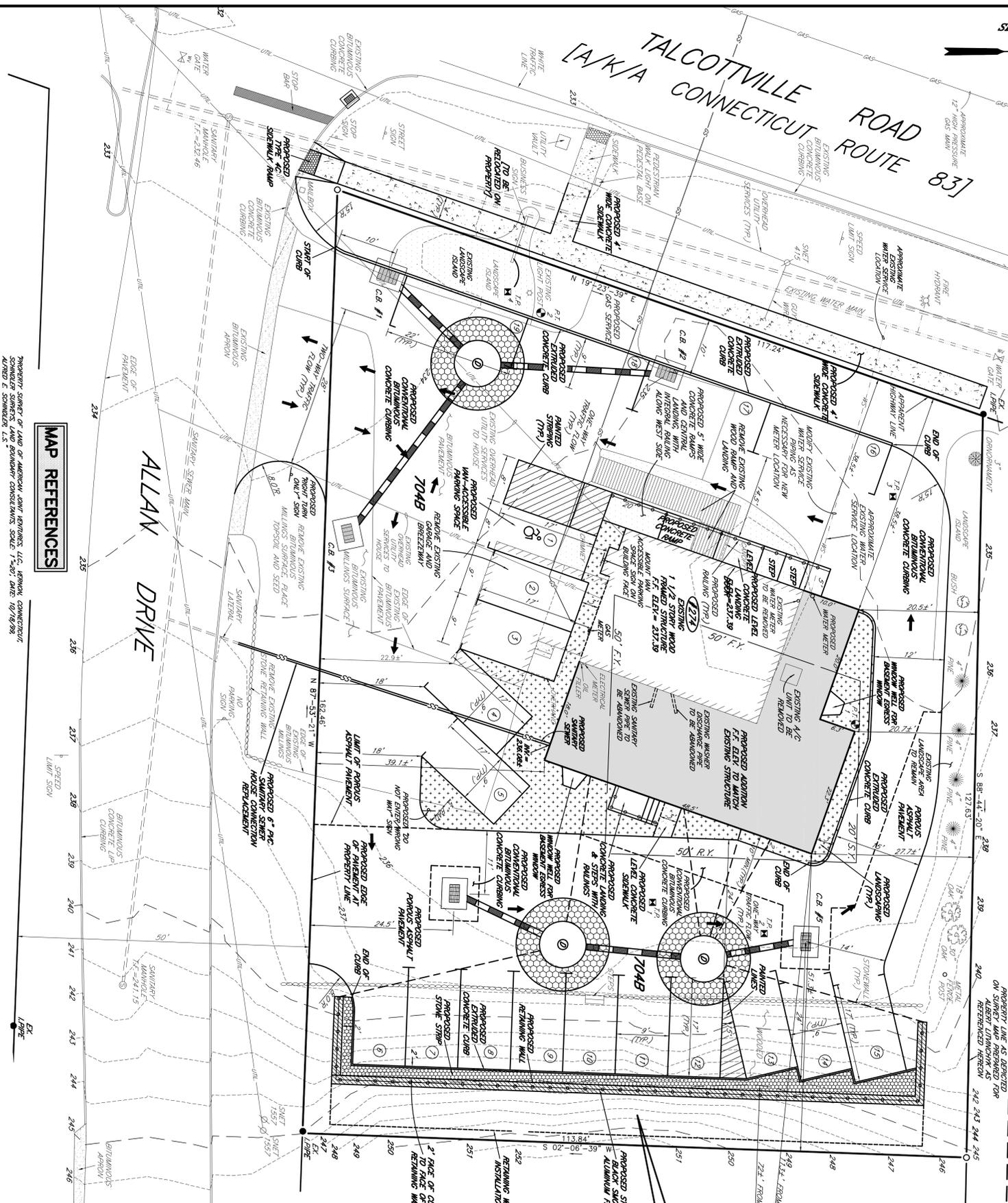
NOTE: THIS DRAWING WAS PREPARED FOR USE WITH REDI-ROCK (TM) RETAINING WALL SYSTEMS. CONTACT REDI-ROCK WALLS OF NEW ENGLAND AT (603) 863-1000.



TALCOTTVILLE ROAD [A/K/A CONNECTICUT ROUTE 83]

280 TALCOTTVILLE ROAD LLC
N/E
ASSESSORS ID:
10-015K-00304
280 TALCOTTVILLE ROAD
101.1310 / Pg. 237
ZONE: COMMERCIAL

REQUIRED	EXISTING
MINIMUM LOT AREA = 22,000 SQ. FT.	MINIMUM LOT AREA = 16,359 SQ. FT.
MINIMUM LOT WIDTH = 100 FEET	MINIMUM LOT WIDTH = 113.54 FEET
MINIMUM LOT DEPTH = 113.54 FEET	MINIMUM LOT DEPTH = 113.54 FEET
REAR YARD SETBACK 50 FEET	REAR YARD SETBACK 51.54 FEET
SIDE YARD SETBACK 20 FEET	SIDE YARD SETBACK 22.54 FEET
PERCENT IMPERVIOUS SURFACE 30.2%	PERCENT IMPERVIOUS SURFACE 43.4%



MAP REFERENCES

PROPERTY SURVEY OF LAND OF AMERICAN DAWN RESORTS, LLC, VERNON, CONNECTICUT, ALBERT C. SCHWABER, L.S. CONDUCTED BY CONSULTANTS, SCALE: 1"=40' DATE: 10/19/09.
 MAP SHOWING PROPERTY OF ALBERT LIVINGSTON IN THE TOWN OF VERNON, TOLLAND COUNTY, CT, SCALE: 1"=40' DATE: 10/19/09.
 TOWN OF VERNON, CONNECTICUT, SHEET 1 OF 2, PROJECT 4120103, 26/28, DATE: 5/16/15.
 TOWN OF VERNON, CONNECTICUT, SHEET 1 OF 2, PROJECT 4120103, 26/28, DATE: 5/16/15.
 TOWN OF VERNON, CONNECTICUT, SHEET 1 OF 2, PROJECT 4120103, 26/28, DATE: 5/16/15.
 TOWN OF VERNON, CONNECTICUT, SHEET 1 OF 2, PROJECT 4120103, 26/28, DATE: 5/16/15.

GENERAL NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 20-200B, PARAGRAPH 20-200B-20 OF THE CONN. GEN. STAT. AND THE REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING. THIS PLAN HAS BEEN PREPARED FROM LIMITED FIELD OBSERVATIONS AND OTHER SOURCES FOR THE PURPOSES OF THE SUBDIVISION. THE SURVEYOR HAS NOT CONDUCTED A FIELD SURVEY OF THE ENTIRE PROPERTY. THE EXISTING UTILITIES SHOWN ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEYING. THE SURVEYOR HAS NOT CONDUCTED A FIELD SURVEY OF THE ENTIRE PROPERTY. THE EXISTING UTILITIES SHOWN ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEYING.

SYMBOL	DESCRIPTION
70A B	Enriched silt loam
	TYPICAL SOIL UNIT CHARACTERISTICS:
	PROFILE: 0'-25" SILTY LOAM
	25'-60" STRATIFIED HEAVY GRAVELLY COARSE SAND TO LOAMY SAND
	WELL DRAINED
	LOW RAINFALL
	MODERATELY HIGH TO HIGH WATER TRANSMISSIVITY
	DEPTH TO WATER TABLE GREATER THAN 80"
	HYDRAULIC SOIL GROUPING: CLASS B
	SOURCE: SOIL MAP - STATE OF CONNECTICUT WEB SOIL SURVEY, NATIONAL COOPERATIVE SOIL SURVEY LOCUS
	27'- FROM PROPOSED PARKING

REQUIRED	EXISTING
MINIMUM LOT AREA = 22,000 SQ. FT.	MINIMUM LOT AREA = 16,359 SQ. FT.
MINIMUM LOT WIDTH = 100 FEET	MINIMUM LOT WIDTH = 113.54 FEET
MINIMUM LOT DEPTH = 113.54 FEET	MINIMUM LOT DEPTH = 113.54 FEET
REAR YARD SETBACK 50 FEET	REAR YARD SETBACK 51.54 FEET
SIDE YARD SETBACK 20 FEET	SIDE YARD SETBACK 22.54 FEET
PERCENT IMPERVIOUS SURFACE 30.2%	PERCENT IMPERVIOUS SURFACE 43.4%

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY ACCURATE AND CORRECT. I AM NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN. I AM NOT PROVIDING ANY WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED HEREIN.

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

PROJECT NO. 2020-01
 PROJECT NAME: 274 TALCOTTVILLE ROAD
 CLIENT: ALLEN HOUSE

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

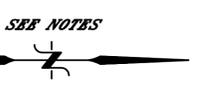
DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

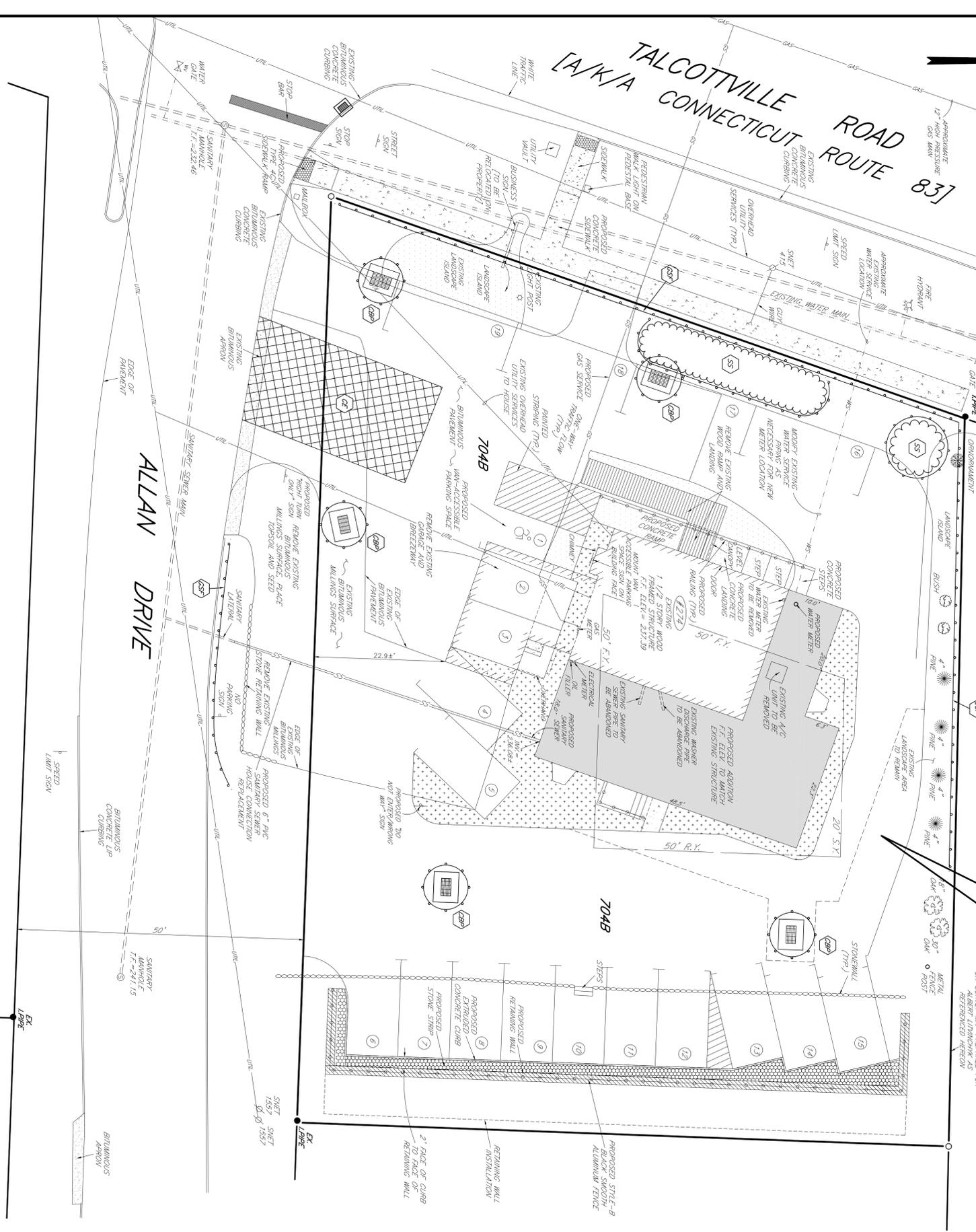
DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8

DATE: 08/20/2020
 SCALE: 1"=10' FT.
 DRAWN: DMS
 CHECK: DMS
 SHEET 2 OF 8



N/E
280 TALCOTTVILLE ROAD LLC
ASSESSORS ID:
10-015K-00304
280 TALCOTTVILLE ROAD
VOL. 1310 / Pg. 237
ZONE: COMMERCIAL

N/E
APH HARR STYLIST, LLC
ASSESSORS ID:
10-015K-00028
274 TALCOTTVILLE ROAD
VOL. 2636 / Pg. 273
ZONE: COMMERCIAL
LOT AREA = 16,368 S.F.
0.37355 AC.



EROSION AND SEDIMENT CONTROL NARRATIVE

1. The proposed work on this project site consists of removal of certain existing structures, including the existing building, and construction of a new building, including site preparation, foundation, framing, and exterior finish. The construction activities will include excavation, foundation, framing, and exterior finish. The construction activities will include excavation, foundation, framing, and exterior finish. The construction activities will include excavation, foundation, framing, and exterior finish.

2. Construction on this site is expected to begin in the second half of 2020, with completion at a future date to be determined.

3. Prior to any construction activity occurring on this site, erosion and sediment control barriers shall be installed at the edge of the proposed disturbed area boundary to the limits as depicted on the project site development plan drawing and/or as described in the narrative herein, before any actual disturbance of the land occurs. All erosion and sediment control measures and construction practices shall be as detailed in the attached drawings and shall be approved by the Connecticut Department of Environmental Protection, DEP Bulletin 34*, as amended. Maintain and/or replace all erosion and sediment control measures as required throughout the construction period.

4. Following the installation of the initial prescribed erosion and sediment control measures, the sequence of these tasks may occur concurrently and/or in a different order than suggested, as appropriate for specific site conditions and/or efficient project management and coordination.)

A. Remove existing site features as necessary to perform the proposed work.

B. Construct the stormwater management system (catch basins, connecting piping, subsurface retention/infiltration structures, etc.)

C. Commence site regrading and compaction in of driveways and parking areas

D. Construct retaining wall.

E. Commence construction of site utilities and other site infrastructure.

F. Excavate for and construct the foundation for the new structure addition, and backfill.

G. Construct the superstructure for the building addition and continue on with subsequent building construction activities.

H. Complete construction of the utilities.

I. Finish grade and construct parking areas and driveways.

J. Perform landscaping.

K. Complete all necessary remaining permanent site restoration, including preparation, seeding and mulching areas to become permanent lawn.

L. Remove all temporary erosion and sediment control measures after all permanently restored areas of the site are stable.

5. During the entire period of work on the site, vehicular access to and egress from the work area shall be by way of the construction entrance from Allen Drive.

6. Grading and/or site work shall be done in a manner to allow drainage toward erosion prevention measures.

7. A. Insofar as reasonably possible, all disturbed areas on the project site not otherwise to be built upon or paved, regardless of their location on the site, shall be restored by establishment of permanent grass cover, seeding or planting of permanent grass seed, or a combination thereof, as detailed in the attached drawings and/or as described in the narrative herein, before any actual disturbance of the land occurs. All erosion and sediment control measures and construction practices shall be as detailed in the attached drawings and shall be approved by the Connecticut Department of Environmental Protection, DEP Bulletin 34*, as amended. Maintain and/or replace all erosion and sediment control measures as required throughout the construction period.

8. Stockpiling of building materials shall be confined to the areas of disturbance. Vehicular movement shall be limited to established driveway and parking areas. No storm water shall be allowed to flow from the site to any adjacent property or to any public water body.

9. During the period of construction, all disturbed areas of the construction activity that have not been permanently stabilized, structure control measures, locations where vehicles store or exit the site, and all areas of the site that are not otherwise to be built upon or paved, shall be periodically covered with a minimum of 2 inches of mulch or straw during a period of at least 30 days after the final disturbance activities are completed. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent.

10. A fully designated individual representing the owner/developer, or the subsequent owner(s) (developer(s) of the project property, and/or the owner(s) designated agent(s)) shall be personally responsible for implementing this erosion and sediment control plan. The designated individual shall be responsible for the implementation and maintenance of control measures throughout the construction period, including all parties engaged on the construction site of the requirements and objectives of the plan, notifying the proper Town agencies and officials of any violations of this responsibility, and conveying a copy of the erosion and sediment control plan to the town and its employees.



11. The seed mixture and application rate for all finished permanent grass areas shall be the following. Only certified seed varieties shall be used, as listed in Article M 13.04 of Connecticut DOT Form 81-S*, as amended. Seeding rates shall be increased by 10% when hydroseeding or frost truck seeding.

Kentucky Bluegrass	45%	20 lbs/acre	0.46 lbs/1000 sq. ft.
Croquet Red Fescue	45%	20 lbs/acre	0.46 lbs/1000 sq. ft.
Perennial Ryegrass	10%	5 lbs/acre	0.11 lbs/1000 sq. ft.

When not applied by hydroseeding, apply the seeded surface immediately following seeding with straw or dry pine bark, or other erosion control matting, applied and spread uniformly by hand or machine at a rate of 2 tons/acre, or 90 lbs/1000 square feet, or with erodex fiber, applied and spread in accordance with the manufacturer's recommended application procedure and rate. Whether method of mulching is used, the mulch application shall be done in a manner that allows for the recommended seeding rates, mulch with straw or hay at an application rate of 2.5-3 tons/acre, or 115-135 lbs/1000 square feet, to provide 95%-100% uniform coverage of the seeded soil surface. (Culchex fiber is not recommended as mulch when seeding occurs outside the prescribed disturbed area.)

12. Erosion and sediment control measures shall be installed and maintained in accordance with the attached drawings and/or as described in the narrative herein, before any actual disturbance of the land occurs. All erosion and sediment control measures and construction practices shall be as detailed in the attached drawings and shall be approved by the Connecticut Department of Environmental Protection, DEP Bulletin 34*, as amended. Maintain and/or replace all erosion and sediment control measures as required throughout the construction period.

13. Following the installation of the initial prescribed erosion and sediment control measures, the sequence of these tasks may occur concurrently and/or in a different order than suggested, as appropriate for specific site conditions and/or efficient project management and coordination.)

A. Remove existing site features as necessary to perform the proposed work.

B. Construct the stormwater management system (catch basins, connecting piping, subsurface retention/infiltration structures, etc.)

C. Commence site regrading and compaction in of driveways and parking areas

D. Construct retaining wall.

E. Commence construction of site utilities and other site infrastructure.

F. Excavate for and construct the foundation for the new structure addition, and backfill.

G. Construct the superstructure for the building addition and continue on with subsequent building construction activities.

H. Complete construction of the utilities.

I. Finish grade and construct parking areas and driveways.

J. Perform landscaping.

K. Complete all necessary remaining permanent site restoration, including preparation, seeding and mulching areas to become permanent lawn.

L. Remove all temporary erosion and sediment control measures after all permanently restored areas of the site are stable.

14. During the entire period of work on the site, vehicular access to and egress from the work area shall be by way of the construction entrance from Allen Drive.

15. Grading and/or site work shall be done in a manner to allow drainage toward erosion prevention measures.

16. A. Insofar as reasonably possible, all disturbed areas on the project site not otherwise to be built upon or paved, regardless of their location on the site, shall be restored by establishment of permanent grass cover, seeding or planting of permanent grass seed, or a combination thereof, as detailed in the attached drawings and/or as described in the narrative herein, before any actual disturbance of the land occurs. All erosion and sediment control measures and construction practices shall be as detailed in the attached drawings and shall be approved by the Connecticut Department of Environmental Protection, DEP Bulletin 34*, as amended. Maintain and/or replace all erosion and sediment control measures as required throughout the construction period.

17. Stockpiling of building materials shall be confined to the areas of disturbance. Vehicular movement shall be limited to established driveway and parking areas. No storm water shall be allowed to flow from the site to any adjacent property or to any public water body.

18. During the period of construction, all disturbed areas of the construction activity that have not been permanently stabilized, structure control measures, locations where vehicles store or exit the site, and all areas of the site that are not otherwise to be built upon or paved, shall be periodically covered with a minimum of 2 inches of mulch or straw during a period of at least 30 days after the final disturbance activities are completed. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent. If the area to be seeded has not been recently seeded or disturbed, loosen the soil to a depth of 2-4 inches by hand or with suitable mechanical equipment to produce a seed bed and a minimum germination of 90 percent.

19. A fully designated individual representing the owner/developer, or the subsequent owner(s) (developer(s) of the project property, and/or the owner(s) designated agent(s)) shall be personally responsible for implementing this erosion and sediment control plan. The designated individual shall be responsible for the implementation and maintenance of control measures throughout the construction period, including all parties engaged on the construction site of the requirements and objectives of the plan, notifying the proper Town agencies and officials of any violations of this responsibility, and conveying a copy of the erosion and sediment control plan to the town and its employees.

MESSIER SURVEY LLC
LAND SURVEYORS
61 SCHOOL BROOK LANE
VERNON, CT (860) 646-6013
WWW.MESSIERSURVEY.COM

EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR:
ALLEN HOUSE
274 TALCOTTVILLE ROAD
VERNON, CONNECTICUT

DATE: 08/20/2020
SCALE: 1"=10' LT
DRAWN: DMS
CHECK: DMS
SHEET 5 OF 8
PROJECT No. 2020-01
PLAN No. 2020-01

LEGEND
● EXISTING IRON PIN
○ PROPERTY CORNER/IRON PIN TO BE SET
○ EXISTING BROWNSTONE WALL
○ UTILITY POLE
○ TREES

GRAPHIC SCALE
0 10 20 30 40
(1"=10 FEET)

ZONE: COMMERCIAL

RAYMOND F. NELSON, JR., P.E.
CIVIL ENGINEER
P.O. BOX 173
VERNON ROCKVILLE, CT 06066-0173
rfnelsonjr.pe@gmail.com

DATE: 08/20/2020
SCALE: 1"=10' LT
DRAWN: DMS
CHECK: DMS
SHEET 5 OF 8
PROJECT No. 2020-01
PLAN No. 2020-01

S&B NOTES

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY ACCURATE AND CORRECT. I HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND THE SURROUNDING AREAS AND HAVE FOUND NO APPARENT ERRORS OR OMISSIONS. THIS MAP IS NOT A GUARANTEE OF ACCURACY AND IS NOT TO BE USED AS A BASIS FOR ANY LEGAL ACTION.

DATE: 08/20/2020
LANCE HARRIS

Know what's below.
CALL before you dig.
Dial 811.

FOR MORE INFORMATION VISIT WWW.C811.COM

TEMPORARY SOIL EROSION AND SEDIMENT CONTROL KEY

CBP CATCH BASIN PROTECTION
CE EROSION CONTROL (CONSTRUCTION ENTRANCE)
CS STAKED GEOTECHNICAL SILT FENCE SEDIMENT BARRIER
SS SOIL STOCKPILE

RAYMOND F. NELSON, JR., P.E.
CIVIL ENGINEER
P.O. BOX 173
VERNON ROCKVILLE, CT 06066-0173
rfnelsonjr.pe@gmail.com

DATE: 08/20/2020
SCALE: 1"=10' LT
DRAWN: DMS
CHECK: DMS
SHEET 5 OF 8
PROJECT No. 2020-01
PLAN No. 2020-01

STAFF COMMENTS



TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
(860) 870-3640
gmcgregor@vernon-ct.gov

PLANNING
DEPARTMENT

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, Town Planner

SUBJECT: PZ-2020-10, 274 Talcottville Rd. Site Plan and Special Permits for the renovation of a Hair Salon

DATE: October 1, 2020

Request and Background

APH Hair Stylists, LLC ("Applicant") requests Site Plan and Special Permit approvals in order to renovate and remodel a hair salon located at 274 Talcottville Rd. (Assessor ID: Map 10, Block 015K, Parcel 00028). The property is 16,353 sq. ft. in size and zoned Commercial. Pursuant to Section 4.9.2.9, personal services are permitted by right. The proximity to residential uses triggers, in this case, special permit items.



Site Plan

The Applicant intends to improve a previously established hair salon site through partial demolition and addition to the existing structure for a total size of +1,727 sq. ft. and plans to increase capacity to the salon stations as well as a new parking expansion from 8 to 19 spaces. Access to the site is via Allan Dr., where a new traffic light has recently been installed.

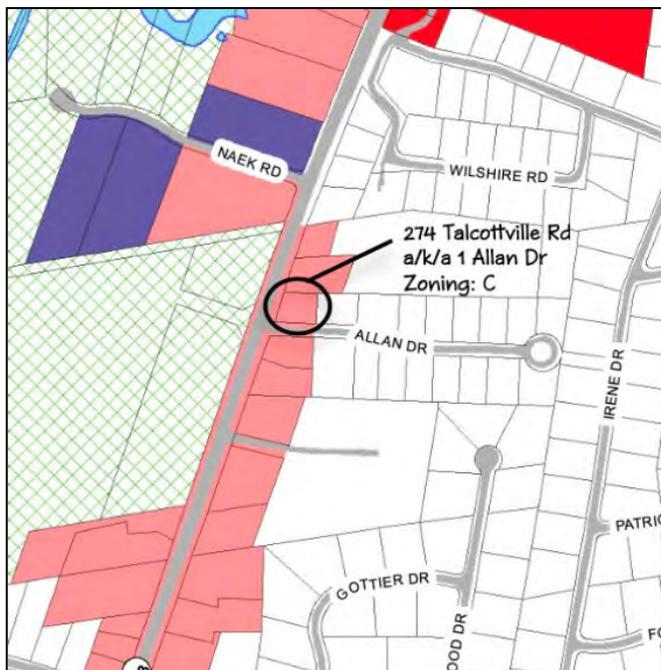
The Applicant received two setback variances (38' front and 39' side) from the Zoning Board of Appeals in February 2020 (ZBA 2020-02). The Site Plan meets the requirements of the Zoning Regulations and adds additional design elements, including a retaining wall and robust landscaping (arborvitae along the

real property line adjacent to residential). A full architectural design package accompanies the site plan submission.



Conceptual Site Plan

Special Permit Review



Many applications with site renovations along Talcottville Rd. require special permits due to the proximity of residential zoning to the commercial corridor. In this case, along with the typical site special permit for grading over 50 cubic yards (Section 15), the proposal requires special permit approval for a structure within 200 feet of a residential use (Section 4.9.4.15.2) and parking within 100 feet of a residential use (Section 4.9.4.15.3).

The Applicant has attempted to address the corridor proximity with rear plantings and decorative fencing which appears an improvement over the existing condition.

In order to approve each special permit, the Commission must find that the applicant meets the relevant general special permit

criteria of Section 17.3.1, specifically:

17.3.1.1 It shall not create a hazardous condition relative to public health and safety;

17.3.1.2 It shall be compatible with neighboring uses;

17.3.1.3 It shall not create a nuisance;

17.3.1.4 It shall not hinder the future sound development of the community;

17.3.1.5 It shall conform to all applicable sections of this ordinance;

Staff finds these thresholds have been met by the application.

Design Review Commission

The Design Review Commission reviewed the application at a meeting on September 23, 2020. The Commission recommended approval of the design elements, as proposed, unanimously¹.

Staff Review

Review comments from the Police Department, the Zoning Office, and the Town Engineer are attached to this memorandum, along with the Applicant response. There are no identified outstanding issues at this time.

Analysis and Recommendation

Planning and Zoning Town Staff have reviewed the application and find that the request generally meets the special permit criteria established in 17.3.1. and the Site Plan requirements of Section 14. The proposed location, in the Commercial Zoning District, is appropriate for this type of use, especially when factoring the proposed architecture and landscaping design commitments offered by the Applicant.

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2020-10, a Site Plan of Development with Special Permits located at 274 Talcottville Rd. This approval is based upon a finding the application meets the site plan requirements of Section 14 and that the special permits requested meet and exceed the review criteria set forth in Section 15 and Section 17.3.1, and is subject to the conditions of approval dated October 1, 2020.**

OR

- B. I move [an alternate motion]**

¹ DRC memorandum 9-24-20

**Draft Conditions of Approval
PZ 2020-10 274 Talcottville Rd.
APH Hairstylists, LLC
October 1, 2020**

1. The property shall be developed in substantial conformance with the Site Plan Set dated 8/2020 (Sheets 1-8) prepared by Messier Survey, LLC (with Raymond Nelson, PE).
2. The Property Shall be develop in substantial conformance to the Architectural Elevations for “APH Hair Stylists Salon Suites” dated August 31, 2020.
3. The property shall be developed in substantial conformance to the “Retaining Wall Design” set sheets 1 and 2, dated August 26, 2020, prepared by Eric Merluzzi, PE.
4. Prior to the commencement of any site work, the applicant or his/her agent shall submit to the Town Planner an instrument of financial guarantee, as determined by the Town Engineer, in a form acceptable to the PZC for Erosion and Sedimentation Control.
5. The above conditions are in addition to the standard conditions and stipulations for all site development projects.

APPLICATION REVIEW COMMENTS

FROM: jkenny@vernon-ct.gov

TO: _____

DATE: 09/01/2020

APPLICANT: AMERICAN JOINT VENTURES LLC

PROJECT: APH Hair Stylists

LOCATION: 274 TALCOTTVILLE RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

NO COMMENT

COMMENTS ATTACHED

PLEASE NOTE THE FOLLOWING COMMENTS:

New proposed business is consistent with the approved prior commercial property. No new curb cuts proposed. Increased traffic flow is negligible for use and can easily access Allen Drive curb cut due to signalization of the RT 83/Allen Drive intersection. No need for Traffic Authority review.

A.H. reviewed on 9/23/2020
Received positive review of proposed traffic statement.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: dsmith@vernon-ct.gov

TO: _____

DATE: 09/15/2020

APPLICANT: AMERICAN JOINT VENTURES LLC

PROJECT: APH Hair Stylists

LOCATION: 274 TALCOTTVILLE RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

NO COMMENT

COMMENTS ATTACHED

PLEASE NOTE THE FOLLOWING COMMENTS:

the plans are comprehensive and appear well thought out. Porous pavement is proposed to reduce/eliminate off site impacts due to stormwater runoff. It appears that a collar of conventional pavement is proposed for each of the two basins in the rear of the property. This may be problematic to construct given the location in the middle of the porous pavement and supporting base courses. If these collars are not easily constructed, the porous pavement can extend right up to the basins if necessary. Sediment and Erosion Control measures appear adequate. Given the small size of the parcel, extra care in coordination of activities and placement of these measures to minimize conflicts.

A.H. reviewed on 9/23/2020

I agree with using porous pavement up to and around CB#4 & CB#5.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 09/22/2020

APPLICANT: AMERICAN JOINT VENTURES LLC

PROJECT: APH Hair Stylists

LOCATION: 274 TALCOTTVILLE RD

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

NO COMMENT

COMMENTS ATTACHED

PLEASE NOTE THE FOLLOWING COMMENTS:

A.H. reviewed on 9/23/2020

1) The existing pylon sign is not located on the property. Zoning regulation 16.1.5 says that no part of any sign shall be erected within (10) feet from any property line.

The existing "Hair Gallery" sign will be removed. Proposed new sign will be installed on Rte. 83 facing building parapet wall as shown in the elevation and architecture renderings. Also, a detailed sign proposal is in the process of being completed by Signarama vendor. Will forward detailed sign drawing and plan before PZC meeting.

2) Zoning regulation 14.1.2.2.17 says method of refuse storage and disposal shall be shown on a site plan. There is not a dumpster shown on the proposed plan.

There is no outside dumpster in this plan, because refuse storage and disposal will use apartment vertical trash management system located in the basement fire rated waste and re-cycle equipment room. This room contains chute feed apartment waste compactor, plastic safety baler, and covered bins to perform automatic 10 to 1 compaction of all salon generated waste and recyclables. Full bags/bales will be taken away by a cleaning service trash hauler. See attached proposed waste and recycling plan for more detail.

3) Along the southern area of the proposed site plan along Allan Drive, the applicant proposed to do landscaping, seeding and a right turn only traffic sign. It appears that this area is owned by the town and work should not be performed in this area and the traffic sign shall be 10 feet from the boundary line.

APPLICATION REVIEW COMMENTS

Removed proposed right turn only traffic sign and added pavement markings: white right arrow with "ONLY" text and white channelizing lines to direct traffic flow. The previous property owners expanded their bituminous parking into the town owned land. Our plans include returning this to its original seeded state.

4) Zoning regulation 14.1.6.9 says lighting plans to be approved by the commission. There does not appear to be a plan on the proposed submitted plan.

Photometric analysis and fixture proposal are in the process of being completed by LED Lighting Supply vendor. Will forward detailed drawings and fixture specifications before PZC meeting.

5) Zoning regulation 3.25 requires sidewalks installed for all new developments. The proposed sidewalk shown along Talcottville Road appears to be located on state owned property. Does this require state approval?

Yes, the proposed sidewalk plan will be submitted to CT DOT website for encroachment permit approval prior to starting sidewalk construction.

SIGNATURE: _____

DATE: _____



Design Review Commission

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

September 24, 2020

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 9-23-20 the Design Review Commission was presented Application [PZ-2020-10] of APH Hairstylists for a Plan of Development, and special permits at 274 Talcottville Rd. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and approved them as they were presented.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,

A handwritten signature in blue ink, appearing to read "Shaun Gately", written over a horizontal line.

Shaun Gately
Economic Development Coordinator

APPLICATION

(PZ-2020-11)

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Steven LaMesa, Jerry Fornarelli

Title: _____

Company: CT Golf Land, LLC

Address: 95 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-749-4434

Fax: _____

E-mail: mgcdev1@aol.com

II. PROPERTY OWNER (S):

Name: 

Title: PNLS PLTRN KRAUSE

Company: Sub Peak of Connecticut, Inc.

Address: 14 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-205-1440 Fax 860-646-4895

E-mail: pkrause7681@gmail.com

III. PROPERTY

Address: 95 Hartford Turnpike

Assessor's ID Code: Map # 1 Block # 158 Lot/Parcel # 95

Land Record Reference to Deed Description: Volume: 2367 Page 10

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No Yes

No work will be done in regulated area
Work will be done in the regulated area

IWC application has been submitted
IWC application has not been submitted

Zoning District Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

No
Yes

- Bolton
Coventry
Ellington
Manchester
South Windsor
Tolland

Check if Historic Status Applies:

- Located in historic district:
Rockville
Talcottville
Individual historic property

IV. PROJECT

Project Name: CT Golf Land

Project Contact Person:

Name: Mark Peterson

Title: _____

Company: Gardner & Peterson Assoc., LLC

Address: 178 Hartford Turnpike
Tolland, CT 06084

Telephone: 860-871-0808 Fax: _____

E-mail: mpeterson@gardnerpeterson.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: To continue and upgrade operations of an existing business.

General Activities: Family Fun Center which includes new arcade building, outdoor recreation area, food and beverage service, go kart track, batting cage, bumper boat pond, ice cream stand, other outdoor family activities.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)

- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)

- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103; 17.1)

- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Other Special Permit(s). Cite ZR Section and describe activity:

Section 5.7.2 5.7.5

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

Zoning:

Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

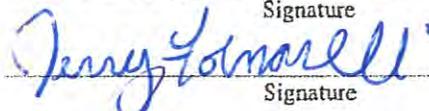
Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

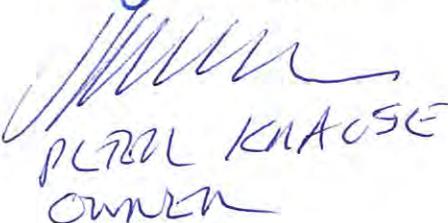
Property Owner, Applicant, or Applicant's Agent:

 _____
Signature

Date

 _____
Signature

8/21/2020
Date


PLZOL KNAUSE
OWNER

8/21/2020

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

Record and Return to:
Attorney James Martin
Robinson Donovan, P.C.
1500 Main Street-Suite 1600
PO Box 15609
Springfield, MA 01115-5609

QUIT-CLAIM DEED

KNOW ALL YE BY THESE PRESENTS THAT TALCOTTVILLE DEVELOPMENT COMPANY, LLC, a Connecticut limited liability company having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut acting herein by Solomon Kerensky its managing member (hereinafter "Grantor")

for One Dollar (\$1.00) and other valuable consideration paid, grants to

SUB Peak of Connecticut, Inc, a Connecticut corporation having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut (hereinafter, "Grantee")

with **QUIT-CLAIM COVENANTS**,

All that certain piece or parcel of land situated in the Town of Vernon, County of Tolland the State of Connecticut, being designated as LOT #6 on a map entitled RESUBDIVISION PLAN TALCOTTVILLE DEVELOPMENT COMPANY, LLC LOT #6 & #7 #57, #95 AND #163 HARTFORD TURNPIKE VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE, TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY B.D.C SCALE 1" = 40' DATE 2-7-2014 SHEET 1 and 2 OF 4 MAP NO. 8926-RESUB REVISIONS 3-26-2014, revised as to page 2 on 9-12-14 (ADD MISSING BEARINGS & DISTANCES AT SOUTHERLY CORNER OF LOT 6 – TOWN CLERK MAP #5821 FILED ON 5-5-14) (sometimes referred to as the 'Premises' or 'Property') Town Clerk Map # 5919 Filed on 9-30-14.

Said premises are more particularly bounded and described as set forth in **Schedule A** attached hereto and made a part hereof.

This parcel is known as **95 Hartford Turnpike, Vernon, Connecticut**

SAID PREMISES ARE SUBJECT TO: (1) Any and all provisions of any ordinance, municipal regulation or public or private law; (2) Taxes in favor of the Town of Vernon on the Grand List of October 1, 2013, and subsequent lists thereafter, which taxes the Grantee herein assumes and agrees to pay; (3) previously granted exclusive use restrictions, (4) Riparian rights in and to the Hockanum and Tankerhoosen Rivers.

SAID PREMISES ARE CONVEYED SUBJECT TO AND TOGETHER WITH such easements, covenants, restrictions and agreements as of record may appear as are shown on the

CONVEYANCE TAX RECEIVED
STATE \$ 10937.50
TOWN \$ 2187.50
Bernice K. Dixon
TOWN CLERK OF VERNON

covenants, restrictions and agreements as of record may appear or as are shown on the aforesaid maps including, but not limited to easements for drainage, sanitary sewers, water mains, and signage.

DRIVEWAY EASEMENT. Lot #6 is conveyed together with a non-exclusive easement to use that portion of the Access and Utility Easement running from Route 83 to the Hockanum River described in the Driveway and Utility Easement Declaration dated June 20, 2006 and recorded in Volume 1840 at Page 140 of the Vernon Land Records. This grant of easement is subject to a covenant that the Grantee, its successors and assigns, shall contribute 'pro rata' to the expense of maintaining, repairing or replacing that portion of the driveway and easement area. At the time of this conveyance, the parcels utilizing the Driveway include Lot #6 being conveyed herein, The Courthouse One/Big Sky building lot located at 47 Hartford Turnpike, Vernon, CT, the Riverview Associates office building lot located at 49 Hartford Turnpike, Vernon, CT, the Juris Limited building lot located at 45 Hartford Turnpike, Vernon, CT, the Hotel and Restaurant building Lot #5 located at 51 Hartford Turnpike, Vernon, CT, and the Healthwise building Lot #7 located at 57 Hartford Turnpike, Vernon, CT, and the Colonial Corners parcel located at 27 Hartford Turnpike, Vernon, CT..

UTILITY EASEMENT. The Grantor, for itself, and for the benefit of all existing or future lot owners within the commercial complex, reserves a non-exclusive underground easement within a strip of land 10 feet in width within Lot #6 and lying adjacent to, and parallel to, the easterly boundary of the Access and Utility Easement referred to in the foregoing paragraph. This easement is to install, maintain, upgrade, repair or replace such utilities as may, from time to time, service parcels within the commercial complex. Grantee may relocate any such utility easement(s) that interferes with Grantee's development plans. Any such relocation shall be at Grantee's sole expense, done in accordance with accepted engineering standards and subject to approval by the affected utility company or governmental entity.

Said premises are subject to an easement for the Quality Inn sign (now Motel 6) as shown on the aforesaid maps and described in a Correcting Quit Claim Deed dated July 24, 2007 and recorded at Volume 1946 at Page 228 of the Vernon Land Records.

A second non-exclusive sign easement is reserved by the Grantor, its successors and assigns, for access to, and use of, a portion of a pylon sign shown on the aforesaid maps as "Sign Easement" situated adjacent to Route 83 at the main driveway entrance to the commercial complex and northwesterly of the Quality Inn (now Motel 6) sign. This pylon sign will become the property of the Grantee. The use of the sign will be shared between the Grantor and the Grantee.

The Grantee will have the use of that portion of the pylon sign presently containing theater style movable letters. The Grantor will have that remaining portion presently containing six display signs. The Grantee shall have the right to redesign or even replace the entire sign in its present location at Grantee's expense provided that the

relative square foot percentage ratio of use by the parties is maintained and the right of then current owners/tenants of the commercial complex is preserved. Grantor, or its assignee(s), reserves the right to approve any redesign of its portion which approval shall not be unreasonably withheld, delayed or conditioned. The cost of routine maintenance and utilities for this sign will be shared in the same percentage as the relative percentage use.

A non-exclusive easement is granted to the Grantee for use (fishing, nature viewing, maintenance etc) of the length (approx. 35 feet) of the pedestrian bridge leading to Lot # 7 shown as "Existing Bridge" at the northeast corner of said premises. The Grantee agrees to pay one half the expense of maintaining this bridge. This easement shall lapse at such time as a single owner owns the property on both sides of the bridge.

All of the easements, covenants, restrictions and agreements shall benefit and or burden the parties hereto, their successors and assigns and run with the land.

Lot #6 being a portion of the premises conveyed to the Grantor by deed dated April 30, 1974 and recorded in Volume 246, Page 284 of the Vernon Land Records.

[SIGNATURE PAGE FOLLOWS]

Schedule A

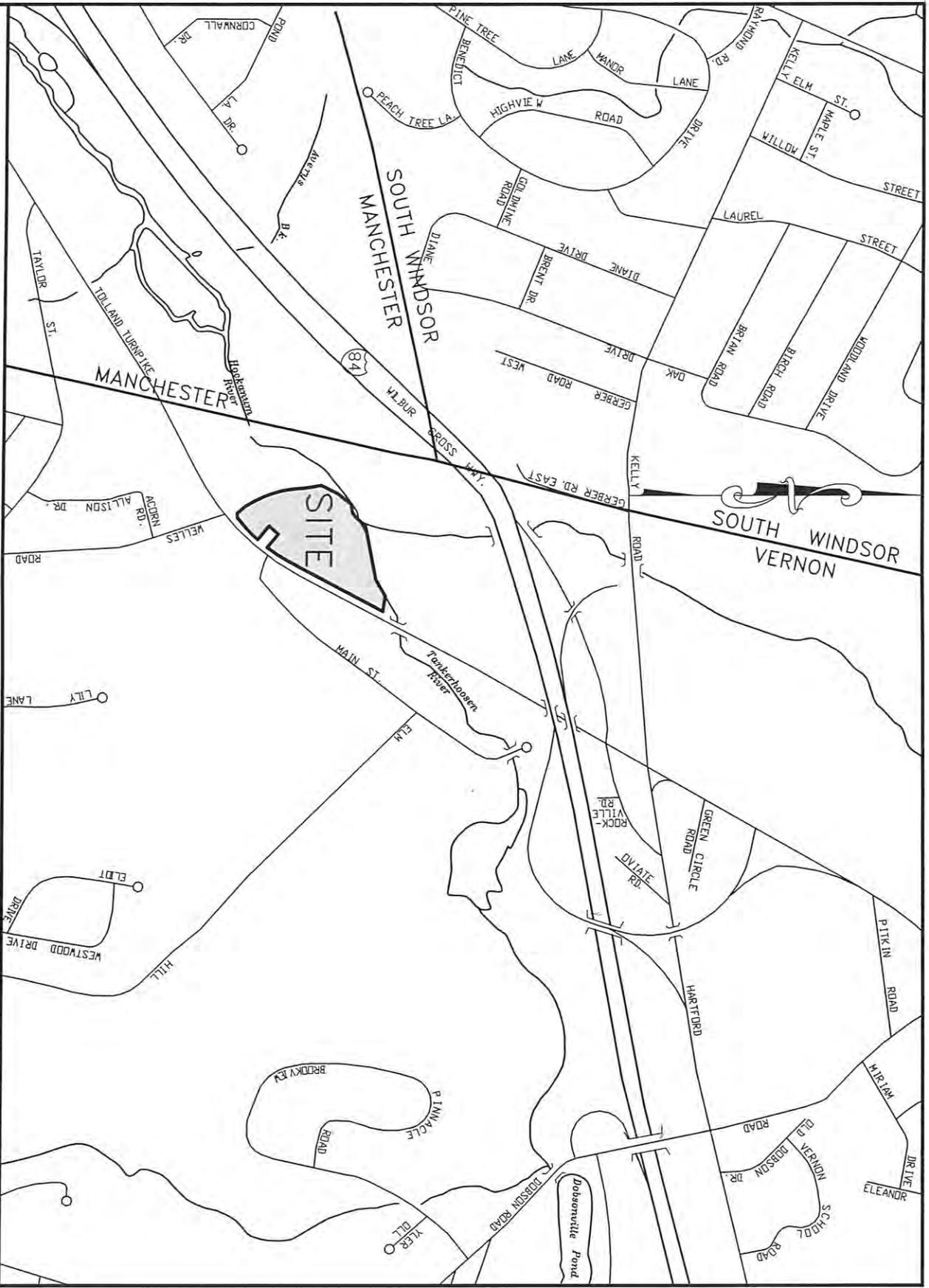
Said premises are more particularly described as follows: Commencing at a point at the southerly most corner of the Premises herein described which point is at the intersection of Conn. Route 83 aka Hartford Turnpike and the Access and Utility Easement on Lot #5 as shown on said map; thence, from said point and place of beginning along the easterly line of said Access and Utility Easement the following courses and distances: N 43° 01' 25" W a distance of 81.51' to a point; then N 31° 12' 35" W a distance of 75.00' to a point; thence along a curve to the right having a R = 560.00' a distance of 103.44' to a point; thence N 20° 37' 35" W a distance of 19.73' to a point; thence along a curve to the right having a R= 560.00' a distance of 118.92' to a point; thence N 08° 27' 35" W a distance of 98.41' to a point; thence N 12° 01' 46" W a distance of 91.00' to a point; Thence along Lot #5 and Lot # 7 as shown on said map the following courses and distances: N 23° 41' 22" E a distance of 120.33' to a point; thence N 34° 55' 24" E a distance of 107.10' to a point; thence N 76° 06' 36" E a distance of 56.61' to a point; thence N 51° 32' 45" E a distance of 35.95' to a point; thence N 39° 15' 45" E a distance of 86.15' to a point; thence N 76° 00' 26" E a distance of 346.00' to a point; thence N 57° 19' 59" E a distance of 120.00' to a point; thence S 83° 59' 50" E a distance of 101.13' to a point in the westerly line of Conn. Route 83; thence along Conn. Route 83 the following courses and distances: S 25° 02' 07" W a distance of 689.86' to a point; thence along a curve to the right having a R= 1000.00' a distance of 159.93' to a point; thence N 52° 59' 07" W a distance of 112.61' to a point; thence S 38° 00' 17" W a distance of 80.00' to a point; thence S 52° 59' 07" E a distance of 114.72' to a point; thence along a curve to the right having a R= 1000.00' a distance of 192.95' to a point; thence S 86° 48' 52" W a distance of 12.15' to a point; thence along a curve to the right having a R= 1136.80' a distance of 12.57' to the point or place of beginning.

L:\TATL\COTTVILLE DEVELOPMENT CO #46002\Sale Of Golfland To Krause 2014 #46002-096\QC Deed 2014-10-1.Doc

RECORDED IN
VERNON LAND RECORDS
Bernice K. Dixon
VERNON TOWN CLERK
ON Oct 02, 2014 AT 12:55P

KEY MAP

SCALE: 1" = 1000'



GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808

info@GardnerPeterson.com
www.GardnerPeterson.com

September 1, 2020

95 Hartford Turnpike Project Narrative

The applicant, CT Golf Land, LLC, is requesting approvals to redevelop the former Connecticut Golf Land site at 95 Hartford Turnpike that closed in 2014. The site contains 8.86 acres and is bounded by Hartford Turnpike to the east, an access drive to south, the Hockanum River to the west and the Tankerhoosen River to the north. The site has numerous existing improvements and is served by public utilities.

Proposed Development

The applicant is proposing to demolish the existing game room building and rebuild on the existing footings along with a building expansion. This building will consist of gaming activities and food/beverage service. Other improvements consist of an ice cream stand south of the main building and a maintenance building to the west. No changes will be made to the Subway building or parking area.

Exterior Gaming Area

The existing go-cart track and miniature golf course will be removed. A new exterior gaming area will be constructed in front of the building which will include games such as bocce ball, cornhole, volleyball and shuffleboard. This area will be surrounded by a 24' tall net with lights on the support posts.

Future Recreation Areas

At this time the applicant is requesting approval of the improvements shown on the site plan. The site plan depicts the removal of the bumper boats and the go cart track and the applicant anticipates returning with another application for additional exterior activities at a later date.

Traffic Impact Statement/Parking

There are two existing parking areas on site for the proposed gaming center. One is located off Hartford Turnpike and the other is located off the southerly

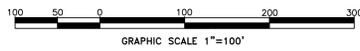
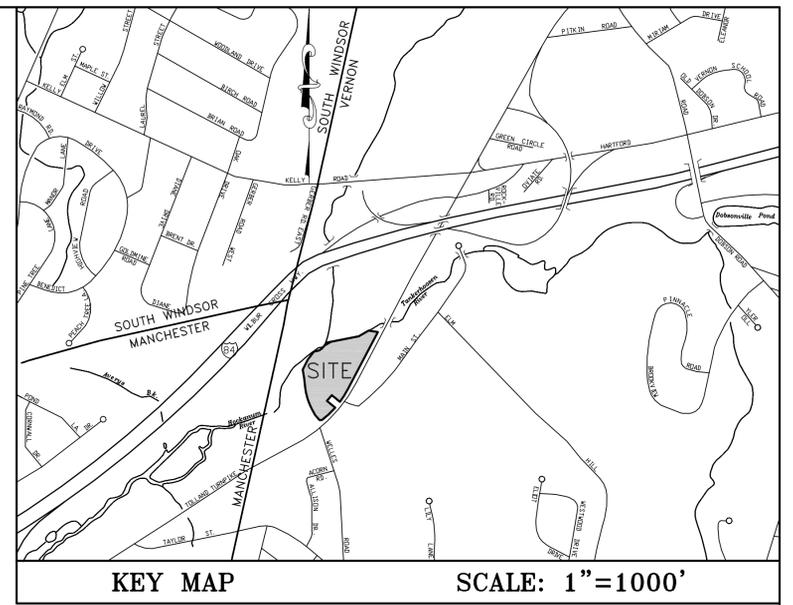
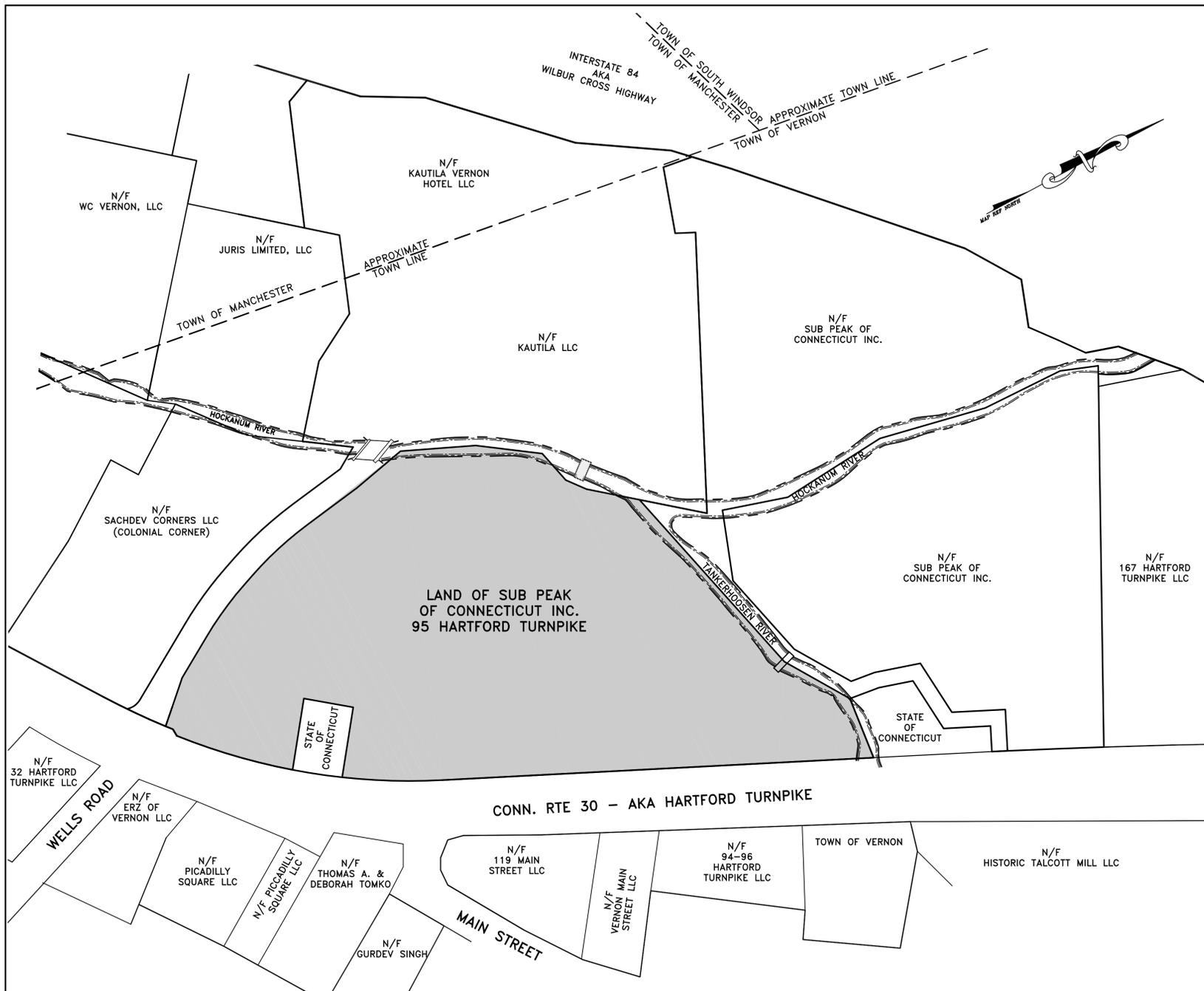
access drive. The existing curbs cuts will not change and the parking lots will be restriped to provide adequate handicap parking. A parking expansion is not proposed.

Stormwater Management

The proposed Site Plan depicts the removal and construction of numerous impervious surfaces and an outline of the specific items are included on the Site Plan. The net result for this application is a reduction the amount of impervious area which will result in no increase in the rate of stormwater runoff from the site.

Flood Zone

The site is located within Flood Zone "AE" per the FEMA Flood Insurance Rate Map. The flood elevations have been reviewed and found to be at elevation 180 along the southerly access drive, elevation 181 at the bridge crossing the Hockanum River and elevation 181 where the Tankerhoosen River enters the site at Hartford Turnpike. The existing gaming building has a finished floor above the flood zone and three new structures will also be set above the flood elevation. The existing miniature golf course will be removed and the proposed outdoor gaming area will be constructed with no loss of flood zone volume. The building improvements and associated grading will reduce the flood storage volume by 1,454c.y. but a flood storage area with a volume of 1,700c.y. will be created which will result in no loss of flood storage volume on site.



APPROVED BY TOWN OF VERNON
INLAND WETLANDS COMMISSION

____ Chairman Date: _____
____ Secretary Date: _____

APPROVED BY PZC (Date): _____
5 -Year Completion Date pursuant to
CGS, § 22a-42a (d) (2) _____

APPROVED BY TOWN OF VERNON
PLANNING & ZONING COMMISSION

____ Chairman Date: _____
____ Secretary Date: _____

APPROVED BY PZC (Date): _____

SITE PLAN OF DEVELOPMENT CONNECTICUT GOLF LAND #95 HARTFORD TURNPIKE VERNON, CONNECTICUT

OWNER:
SUBPEAK OF CONNECTICUT INC.
14 HARTFORD TURNPIKE
VERNON, CONNECTICUT 06066

APPLICANT:
CT GOLF LAND, LLC
95 HARTFORD TURNPIKE
VERNON, CONNECTICUT 06066

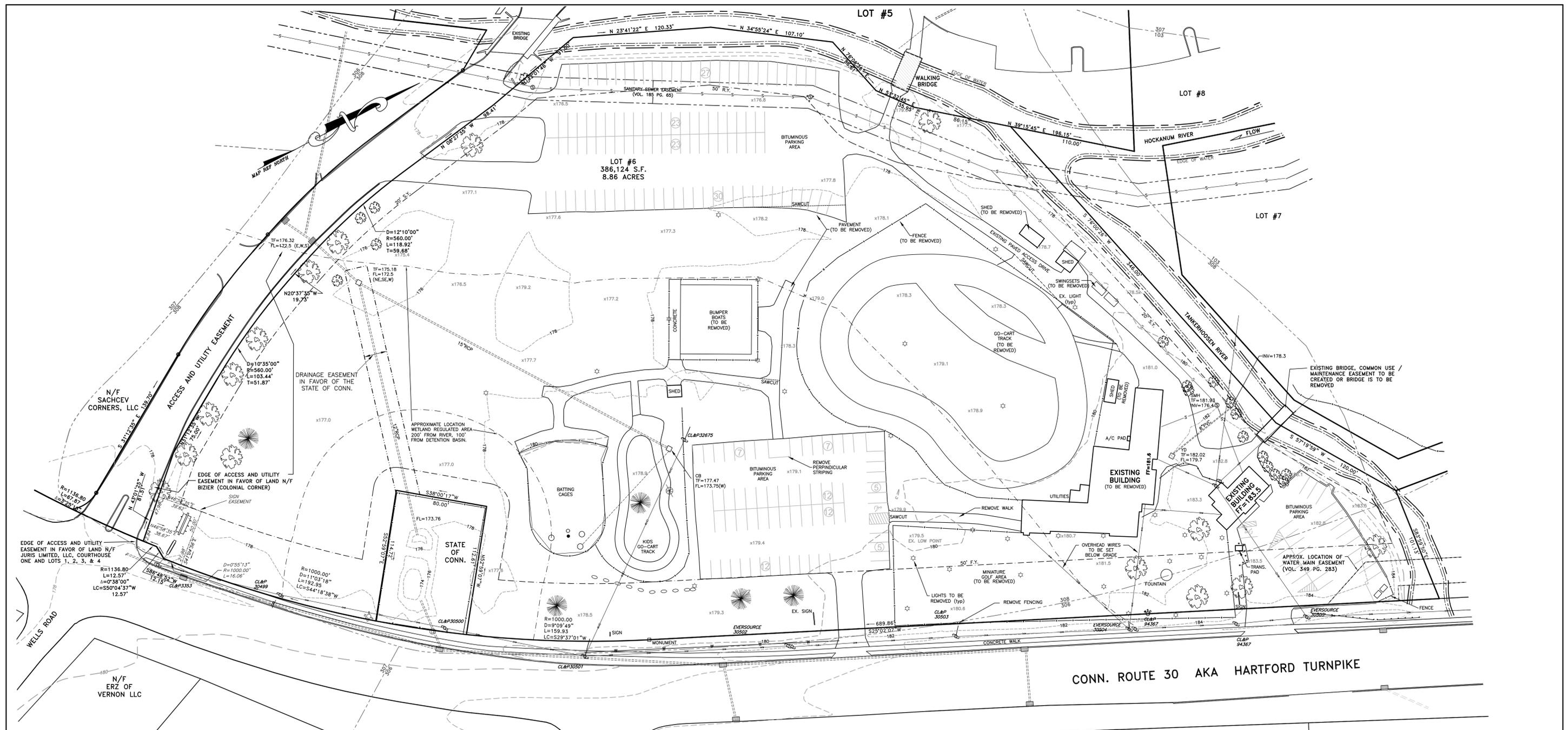
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON

L.S. 10839
REGISTRATION NO.

REVISIONS: 09-01-2020 09-10-2020 TREES		GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT		
		PROFESSIONAL ENGINEERS		LAND SURVEYORS
BY M.A.P.	SCALE AS SHOWN	DATE 08-15-2020	SHEET NO. 1 OF 4	MAP NO. 8926-MGC

C:\P\CT\8926MGC\SITE PLAN\09-10-20\CT GOLF LAND 09-10-20.PDF
8926B/8926B.DWG



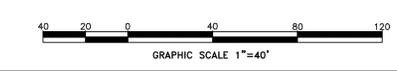
- NOTES:**
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
 - REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - "PROPERTY SURVEY RESUBDIVISION PLAN PREPARED FOR TALCOTTVILLE DEVELOPMENT COMPANY, LLC, VERNON, CONNECTICUT" PREPARED BY GARDNER & PETERSON ASSOCIATES, DATED 02-22-02 REV. 7-16-02.
 - "PLOT PLAN COURTHOUSE PLUS 47 HARTFORD TURNPIKE VERNON, CONN." BY: AR LOMBARDI SCALE: 1"=40' DATED: APRIL 1990 REV. THROUGH 8-23-90.
 - "PLOT PLAN - SUBDIVISION PORTION OF TALCOTTVILLE DEVELOPMENT CORP. CONN. RTE. 83 MANCHESTER, CONN." BY: AR LOMBARDI DATED: FEB. 20, 1986 REV. THROUGH 12-8-86 SCALE: 1"=40'.
 - "PLAN SHOWING ACCESS & UTILITY EASEMENT OVER LAND OF TALCOTTVILLE DEVELOPMENT CORP. JURIS LIMITED & COURTHOUSE ONE HARTFORD TURNPIKE RTE 83 VERNON & MANCHESTER, CONN." DATED: FEB. 20, 1986 SCALE: 1"=50' BY: AR LOMBARDI.
 - "CONNECTICUT LIGHT & POWER COMPANY EASEMENT OF PROPERTY OF TALCOTTVILLE DEVELOPMENT CORP. MANCHESTER, CONNECTICUT" BY: AR LOMBARDI SCALE: 1"=40' DATED SEPT. 28 1987.
 - "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE" NUMBER: 146-10 SCALE: 1"=80'.
 - "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF VERNON HARTFORD TURNPIKE FROM MANCHESTER TOWN LINE NORTHEASTERLY TO WILBUR CROSS HIGHWAY" NUMBER: 146-06 SCALE: 1"=40' DATED: 2-1-83.
 - "TOWNS OF MANCHESTER, SOUTH WINDSOR & VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT CO. BY THE STATE OF CONNECTICUT INTERSTATE 86 (LIMITED ACCESS HIGHWAY)" SCALE: 1"=40' DATED: OCT. 1979.
 - "MAP SHOWING PROPOSED EASEMENT OVER LAND OF THE TALCOTTVILLE DEVELOPMENT CORP. VERNON, CONNECTICUT" SCALE: 1"=100' BY: EVERETT GARDNER DATED: 6-26-68 REV. 10-8-69.
 - "STATE OF CONNECTICUT WATER RESOURCES COMMISSION ENCROACHMENT LINES ALONG THE HOCKANUM RIVER VERNON, CONNECTICUT" BY: HAYDEN GRISWOLD ESTABLISHED STATE OF CONNECTICUT WATER RESOURCES COMMISSION SEPT. 23 1971.
 - "SUBDIVISION PLAN PREPARED FOR TALCOTTVILLE DEVELOPMENT COMPANY IN VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC. DATED: 4-1-83.

- "RESUBDIVISION PLAN HOTEL PARCEL TALCOTTVILLE DEVELOPMENT COMPANY, LLC HARTFORD TURNPIKE VERNON, CONNECTICUT" DATED: 2-1-06 REV. THROUGH 5-30-06 BY: GARDNER & PETERSON ASSOC., LLC
 - "RIGHT OF WAY SURVEY TOWN OF VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT COMPANY, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION INTERSECTION IMPROVEMENTS ON ROUTE 84 AT WELLES ROAD" DATED: AUG. 2000 REV. 2-15-01
 - "TOWNS OF MANCHESTER, SOUTH WINDSOR & VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT CO. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 84" DATED: NOV. 1973 REV. THROUGH 3-8-80 SCALE: 1"=40'
 - "RESUBDIVISION PLAN TALCOTTVILLE DEVELOPMENT COMPANY, LLC LOT #6 & #7 #57, #95, & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., LLC DATED: 2-4-14 REV. 3-26-14.
 - "PLAN SHOWING ADDITION TO THE GAME ROOM TALCOTTVILLE DEVELOPMENT CO. VERNON, CONN. BY: AR LOMBARDI ASSOCIATES DATE: MAR. 16, 1979. REV. TO 4-26-79 SCALE: 1"=40'
- BEARINGS DEPICTED ON THESE PLANS ARE BASED CGS (NAD 83/87) DATUM.
 - PARCEL IS LOCATED IN THE COMMERCIAL ZONE.
 - PARCEL IS LISTED AS LOT 95, BLOCK 158 ON ASSESSOR MAP 1.
 - TOTAL AREA OF PARCEL IS 8.86 ACRES.
 - PARCEL IS LOCATED ENTIRELY IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WHERE BASE FLOOD ELEVATION HAS BEEN DETERMINED) PER FIRM FLOOD INSURANCE RATE MAP, TOWN OF VERNON, CONN. COMMUNITY PANEL NUMBER 090131 0005 C MAP REVISED 8-9-99.
 - CONTOURS DEPICTED ON THESE PLANS ARE BASED A USGS DATUM.
 - PER THE TOWN OF VERNON ZONING MAP, DATED 2-2-2020, THIS PROJECT IS NOT WITHIN THE LEVEL A AQUIFER PROTECTION AREA (EFFECTIVE 5/16/19).
 - PARCEL IS LOCATED IN SUBREGIONAL DRAINAGE BASIN #4500.
 - WETLAND UPLAND REVIEW IS PER MAP REFERENCE 2.0.
 - SOIL LINES ARE TAKEN FROM THE WEB SOIL SURVEY.
 - LARGE TREES ARE DEPICTED ON THE PLANS. OTHER TREES EXIST ON PROPERTY THAT ARE NOT SHOWN.

UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

SOILS LEGEND-WEB SOIL SURVEY
 103 Ripplowm fine sandy loam
 306 Udorthents-Urban land complex
 307 Urban land
 308 Udorthents, smoothed

LEGEND:
 PROPERTY LINE
 EXISTING CONTOUR
 EXISTING MONUMENT
 EXISTING CURB
 EXISTING PAVEMENT
 EDGE OF RIVER
 EXISTING LIGHTPOLE
 EXISTING UTILITY POLE
 OVERHEAD WIRES
 CATCH BASIN AND PIPE
 REGULATED AREA
 SOIL LINE
 EXISTING FENCE
 SEWER MANHOLE AND PIPE
 SEWER EASEMENT
 EXISTING LIGHT



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

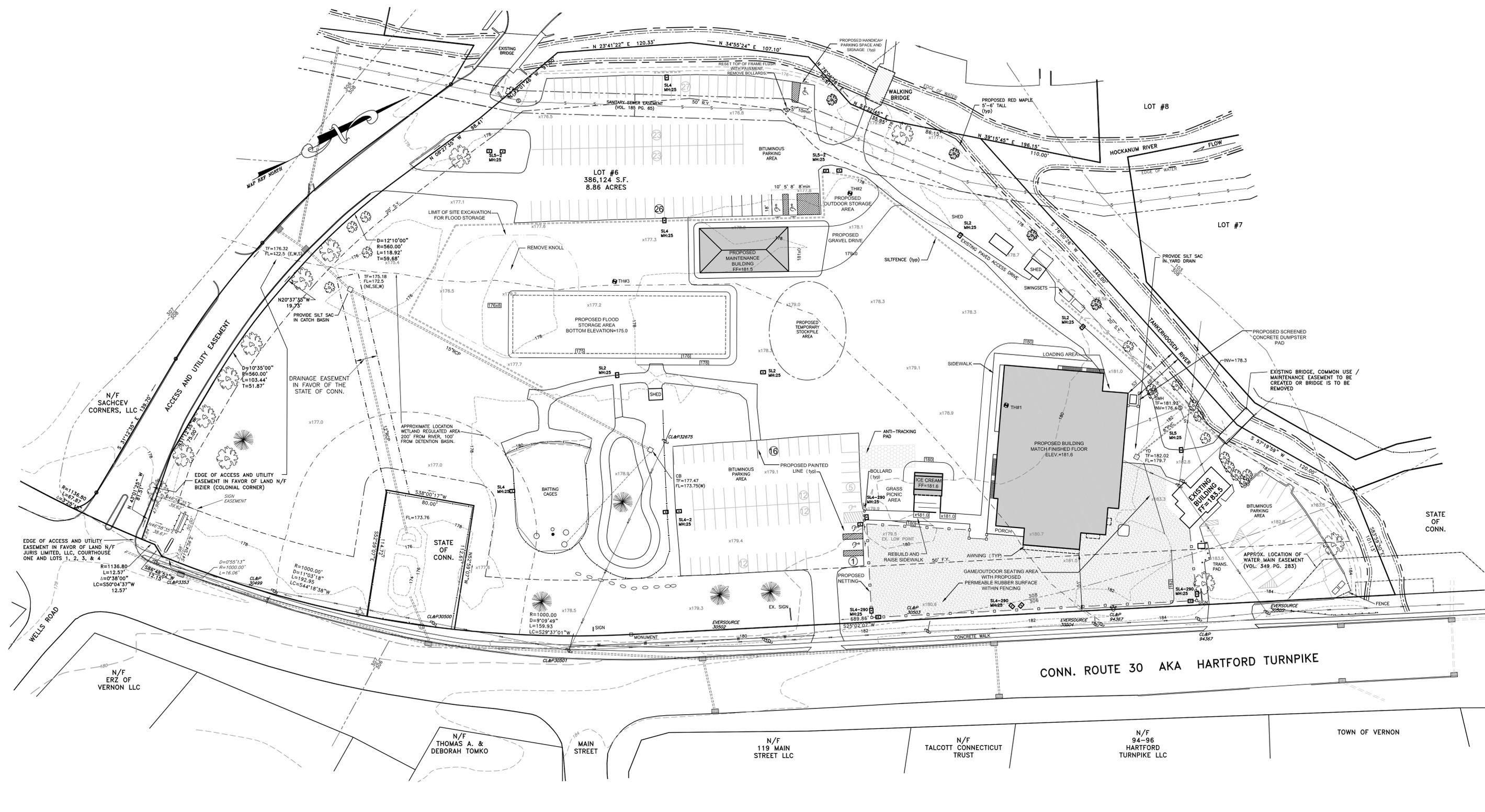
Kenneth R. Peterson
 KENNETH R. PETERSON
 L.S. 10839
 REGISTRATION NO.

IMPROVEMENT LOCATION SURVEY

**EXISTING CONDITIONS PLAN
 CONNECTICUT GOLF LAND
 CT GOLF LAND, LLC
 #95 HARTFORD TURNPIKE
 VERNON, CONNECTICUT**

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

REVISIONS		DATE		SHEET NO.		MAP NO.	
09-01-2020		08-15-2020		2 OF 4		8926-MGC	
09-10-2020 TREES							
BY	SCALE	DATE	SHEET NO.	MAP NO.			
M.A.P.	1"=100'	08-15-2020	2 OF 4	8926-MGC			



- LEGEND:**
- PROPERTY LINE
 - EXISTING CONTOUR
 - EXISTING MONUMENT
 - EXISTING CURB
 - EXISTING PAVEMENT
 - EDGE OF RIVER
 - EXISTING LIGHTPOLE
 - EXISTING UTILITY POLE
 - OVERHEAD WIRES
 - CATCH BASIN AND PIPE
 - REGULATED AREA
 - SOIL LINE
 - EXISTING FENCE
 - SEWER MANHOLE AND PIPE
 - SEWER EASEMENT
 - PROPOSED PAVEMENT
 - PROPOSED LIGHT
 - PROPOSED BUILDING

ZONING TABLE (CURRENT ZONE COMMERCIAL)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,000 SF	8.86 ACRES	-
MIN. LOT WIDTH	100'	1040'±	-
MIN. FRONT YARD	20'	66'	51'
MIN. SIDE YARD	20'	44'	53'
MIN. REAR YARD	50'	201'	124'
LOT COVERAGE	>60% SPECIAL PERMIT	33.9%	51.3%

PROPOSED LOT COVERAGE BREAKDOWN:

REMOVE EXISTING GO CART TRACK	- REDUCTION OF 18,125sf OF IMPERVIOUS SURFACE
REMOVE MINI-GOLF COURSE	- REDUCTION OF 6,000sf OF IMPERVIOUS SURFACE
REMOVE BUILDING	- REDUCTION OF 6,790sf OF IMPERVIOUS SURFACE
REMOVE WALKWAY SOUTH OF BLD.	- REDUCTION OF 950sf OF IMPERVIOUS SURFACE
REMOVE BUMPER BOAT, CONC. & PVM	- REDUCTION OF 5,600sf OF IMPERVIOUS SURFACE
PROPOSED BUILDING	+ ADDITIONAL 16,665sf OF IMPERVIOUS SURFACE
PROPOSED PORCH	+ ADDITIONAL 450sf OF IMPERVIOUS SURFACE
PROPOSED WALK ABUTTING BUILDING	+ ADDITIONAL 3,220sf OF IMPERVIOUS SURFACE
PROPOSED MAINTENANCE BUILDING	+ ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED ICE CREAM BUILDING	+ ADDITIONAL 900sf OF IMPERVIOUS SURFACE
PROPOSED DUMPSTER PAD	+ ADDITIONAL 100sf OF IMPERVIOUS SURFACE
PROPOSED LIGHT	+ ADDITIONAL 30sf OF IMPERVIOUS SURFACE
(2) CONCRETE LANDINGS	-
TOTAL	- 12,900sf REDUCTION IN IMPERVIOUS SURFACE

PARKING TABLE

COMMERCIAL RECREATION AREA	REQUIRED: 1 SPACE PER EMPLOYEE & 1 SPACE FOR EACH (4) PATRONS
	18 EMPLOYEES AND UP TO 260 PATRONS
	18 EMPLOYEE SPACES AND 65 PATRON SPACES TOTALING 83 SPACES
RESTAURANT	REQUIRED: 1 SPACE PER 50 SF OF PUBLIC FLOOR AREA - 4,000SF OR 80 SPACES
	PROVIDED: 163 EXISTING (EXCLUDES SUBWAY), 163 PROPOSED (EXCLUDING SUBWAY)
	REQUIRED: 6 HANDICAP PARKING SPACES
	PROVIDED: 6 HANDICAP PARKING SPACES

FLOOD STORAGE VOLUME

PROPOSED FILL:	1,454 c.y.
PROPOSED EXCAVATION:	1,700c.y.

SIGNAGE

EXISTING FREE STANDING SIGN:	REPLACE SIGN, NOT TO EXCEED 80s.f.
PROPOSED BUILDING MOUNTED SIGNS:	WESTERLY BUILDING FACE NOT TO EXCEED 340s.f.
	(3) EASTERLY BUILDING FACE SIGNS NOT TO EXCEED 200s.f.
	EASTERLY FACE ICE CREAM STAND NOT TO EXCEED 50s.f.

SEE SHEET NUMBER 2 FOR NOTES & CERTIFICATION

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
 KENNETH R. PETERSON L.S. 10839
 REGISTRATION NO.

**IMPROVEMENT LOCATION SURVEY
 SITE PLAN AND**

**EROSION & SEDIMENT CONTROL PLAN
 CONNECTICUT GOLF LAND
 CT GOLF LAND, LLC
 #95 HARTFORD TURNPIKE
 VERNON, CONNECTICUT**

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS	09-01-2020			
	09-10-2020	TREES		
BY	M.A.P.	SCALE	1"=40'	DATE
				08-15-2020
				SHEET NO.
				3 OF 4
				MAP NO.
				8926-MGC

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: CONNECTICUT GOLF LAND
 LOCATION: 95 HARTFORD TURNPIKE, VERNON, CT
 PROJECT DESCRIPTION: COMMERCIAL BUILDING MODIFICATIONS AND EXPANSION
 PARCEL AREA: 8.86 Acres
 RESPONSIBLE PERSONNEL: STEVE LAMESA

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CONTACT CBYD			
DISCONNECT UTILITIES			
REMOVE FENCING	INSTALL ANTI TRACKING PAD		
DEMOLISH GO CART TRACK	INSTALL SILT FENCE		
DEMOLISH MINI-GOLF AREA			
DEMOLISH EXISTING BUILDING			
CONSTRUCT NEW BUILDINGS	INSPECT EROSION CONTROLS		
CONSTRUCT STORMWATER AREA	REPAIR AS NECESSARY		
CONNECT UTILITIES			
REPAIR/REPLACE WALKS			
CONSTRUCT OUTSIDE GAME AREA			
FINAL GRADE AND SEED ALL DISTURBED AREAS	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		
RE-STRIPE PARKING AREA			

PROJECT DATES:
 DATE OF CONSTRUCTION START: November 2020
 DATE OF CONSTRUCTION COMPLETION: One year from start

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-6/15

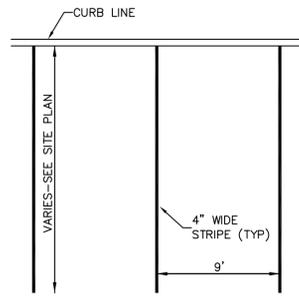
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

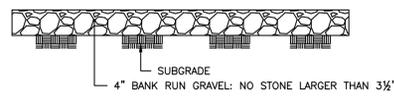
PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.



PAVEMENT MARKING NOTES:

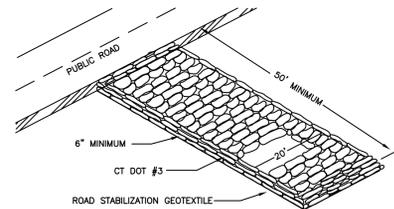
- All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
- Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
- Point shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
- Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
- Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
- After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

PAINTED PARKING STALL DETAIL



- NOTES:
 1. SIDE SLOPES SHALL NOT EXCEED 4:1.

GRAVEL ACCESS DRIVEWAY DETAIL



CONSTRUCTION ENTRANCE

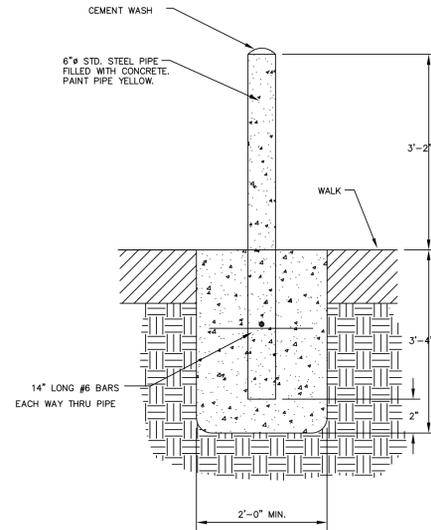
SOIL TESTING RESULTS
 DATE TESTED: AUGUST 5, 2020
 BY: GARDNER & PETERSON ASSOCIATES, LLC

TH 1-SOUTH END
 0-15" FILL AND TOPSOIL
 15-21" BROWN LOAMY SAND
 21-53" SMALL COARSE SAND
 PEA STONE WITH LARGER STONES AT BOTTOM
 NO LEDGE, ROOTS OR MOTTLING
 GROUNDWATER @ 53"
 GROUNDWATER ESTIMATE @ 49"

TH 1-NORTH END
 0-16" TOPSOIL
 16-27" BROWN LOAMY SAND
 27-36" GRAY LOAMY SAND
 36-53" VERY COARSE MEDIUM SAND

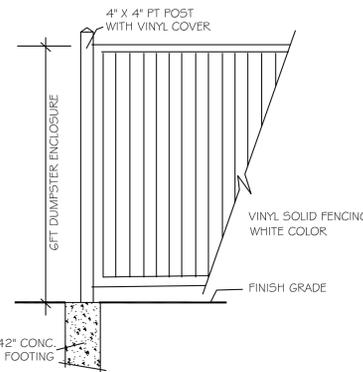
TH #2
 0-12" TOPSOIL/FILL
 12-20" RED/BROWN COARSE LOAMY SAND
 20-40" BLACK, GRAY, WHITE COARSE FILL
 40" COARSE SAND (NATURAL)
 GROUNDWATER TABLE ESTIMATE-40" (RUSTY BAND)
 NO LEDGE OR ROOTS

TH #3
 0-15" TOPSOIL AND FILL
 15-24" BURIED TOPSOIL
 24-44" RED BROWN SANDY LOAM WITH SILT
 44-54" FINE TO MEDIUM COARSE SAND
 54-70" COARSE SAND WITH STONES
 NO LEDGE OR ROOTS
 GROUNDWATER TABLE @ 70"
 MOTTLING @ 50"

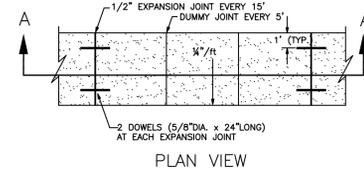


BOLLARD DETAIL

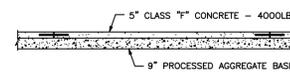
NOT TO SCALE



SCREEN FENCING DETAIL

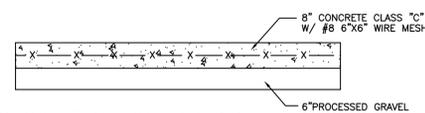


CONCRETE SIDEWALK

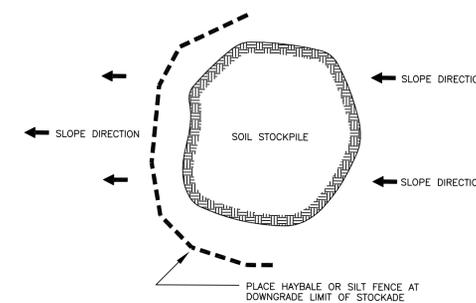


CONCRETE SIDEWALK

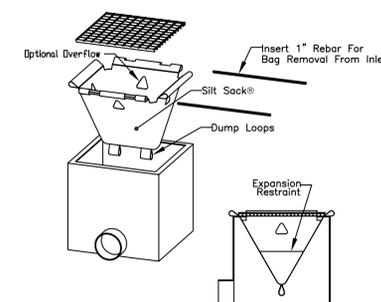
NOTE: PROVIDE TACTILE WARNING STRIP CONFORMING WITH SECTION 705 OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN AT ALL RAMP, CHANGES IN SURFACE MATERIAL, AND AS REQUIRED BY SAID STANDARDS.



CONCRETE DUMPSTER PAD DETAIL

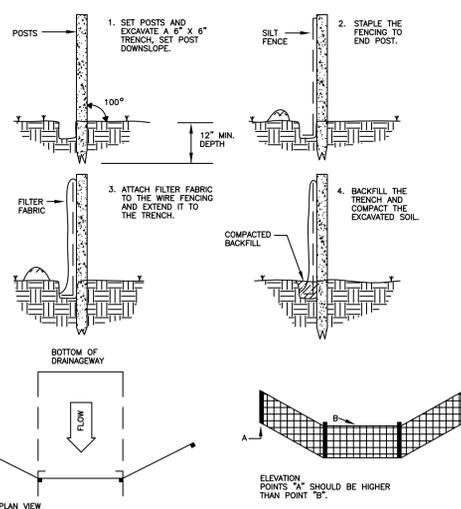


STOCKADE EROSION PROTECTION DETAIL



CATCH BASIN INLET PROTECTION

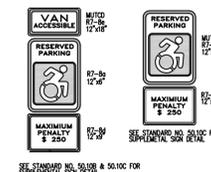
PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



HAY BALE APPLICATIONS

Sheet Flow Applications

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled) with straw to prevent water from escaping between the bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.) In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet Maximum).
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Bale barriers shall be removed when they have served their usefulness, but not before the upslope areas have been permanently stabilized.



HANDICAP SIGN

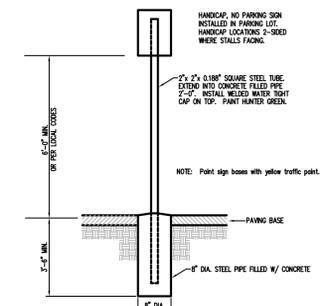
NOTE: ALL STRIPES TO BE 4" PAINTED WHITE



PAINTED HANDICAP SYMBOL

ACCESSIBLE PARKING AND SIGNAGE STANDARDS

- NOTES:
 1. PROVIDE DETECTABLE WARNING FOR CURB RAMPS. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOME SURFACE ON RIGID TACTILE PAVING TILES. TILES SHALL BE 2'x3' FOR 4' WIDE RAMPS AND 2'x4' FOR 5' WIDE RAMPS. TILE COLOR SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT HANDICAP SPACING, GRADING SIGNAGE AND APPURTENANCE IN ACCORDANCE WITH CURRENT FEDERAL, STATE OR LOCAL CODES. THE CONTRACTOR SHALL CONSULT WITH THE LOCAL BUILDING OFFICIAL TO OBTAIN CURRENT INFORMATION

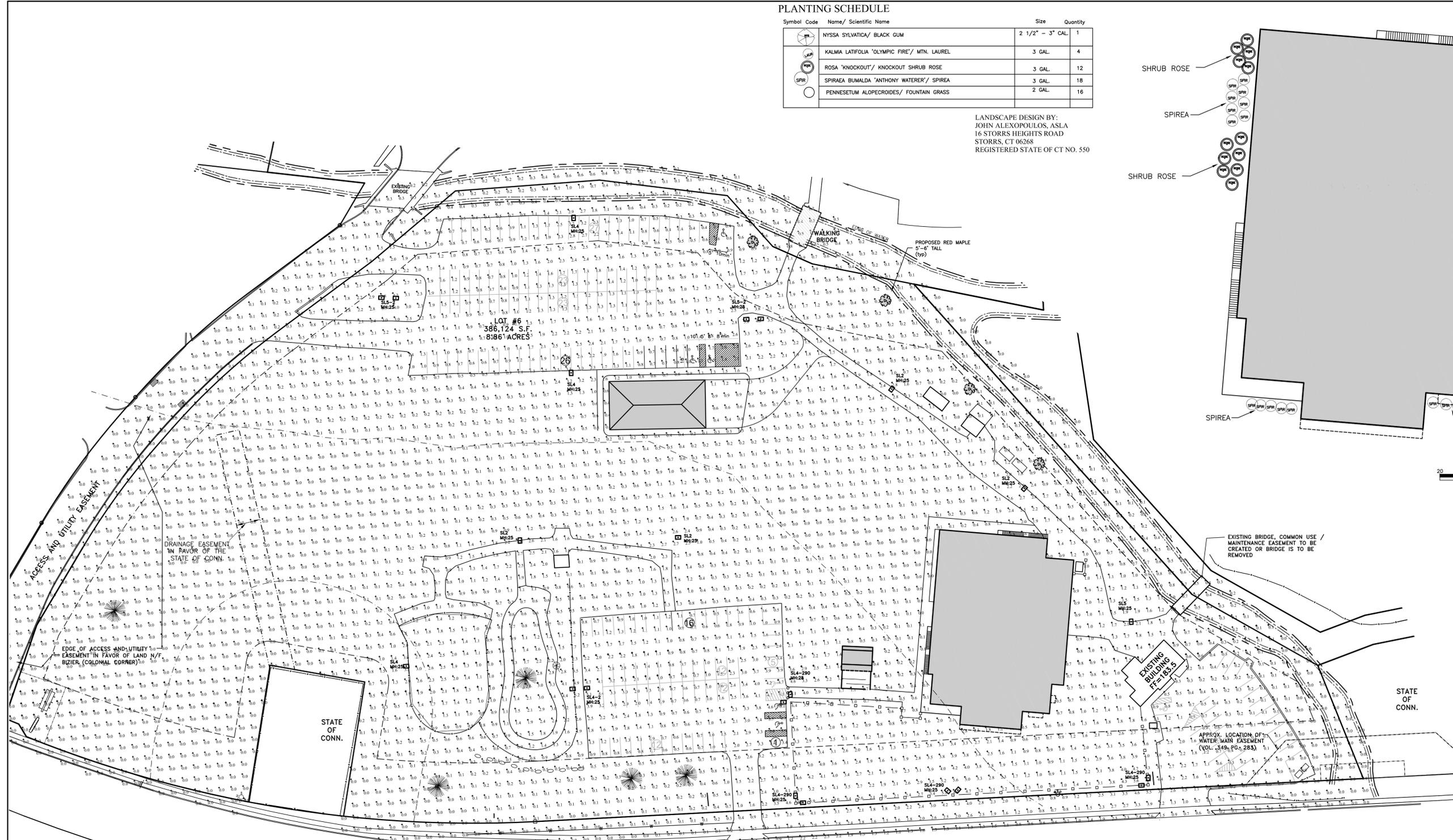
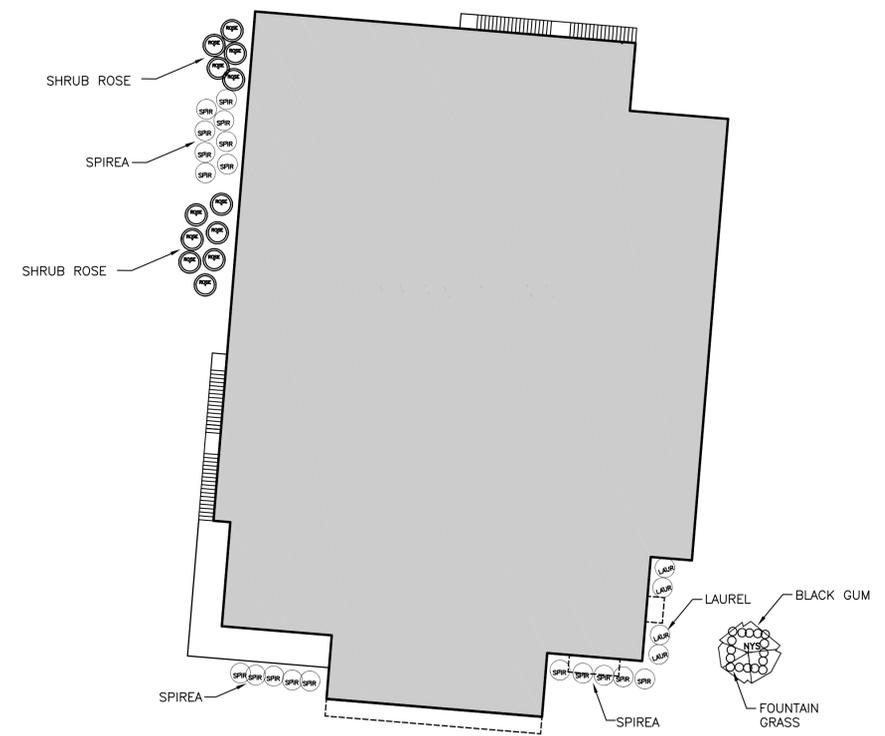


CONSTRUCTION DETAILS				
CONNECTICUT GOLF LAND				
CT GOLF LAND, LLC				
#95 HARTFORD TURNPIKE				
VERNON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.
09-01-2020	AS SHOWN	08-15-2020	4 OF 4	8926-MGC
09-10-2020 TREES				

PLANTING SCHEDULE

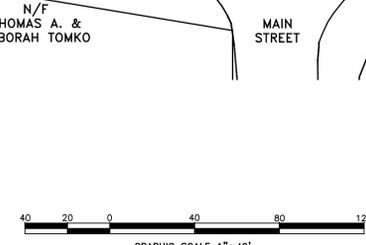
Symbol Code	Name/ Scientific Name	Size	Quantity
NYSSA	NYSSA SYLVATICA/ BLACK GUM	2 1/2" - 3" CAL.	1
KALMIA	KALMIA LATIFOLIA 'OLYMPIC FIRE'/ MTN. LAUREL	3 GAL.	4
ROSA	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	3 GAL.	12
SPIRAEA	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	3 GAL.	18
PENNESETUM	PENNESETUM ALOPECUROIDES/ FOUNTAIN GRASS	2 GAL.	16

LANDSCAPE DESIGN BY:
JOHN ALEXOPOULOS, ASLA
16 STORRS HEIGHTS ROAD
STORRS, CT 06268
REGISTERED STATE OF CT NO. 550



GRAPHIC SCALE 1"=20'
LANDSCAPE LAYOUT
SCALE: 1"=20'

- LEGEND:**
- PROPERTY LINE
 - EXISTING CONTOUR
 - EXISTING MONUMENT
 - EXISTING CURB
 - EXISTING PAVEMENT
 - EDGE OF RIVER
 - EXISTING LIGHTPOLE
 - EXISTING UTILITY POLE
 - OVERHEAD WIRES
 - CATCH BASIN AND PIPE
 - REGULATED AREA
 - SOIL LINE
 - EXISTING FENCE
 - SEWER MANHOLE AND PIPE
 - SEWER EASEMENT
 - PROPOSED PAVEMENT
 - PROPOSED LIGHT
 - PROPOSED BUILDING



GRAPHIC SCALE 1"=40'
LIGHTING LAYOUT
SCALE: 1"=40'

Filename: 95 Hartford Turnpike Site Lighting - Vernon - REV 1.AGI

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	BUG Rating	Description
SL2	4	SL2	SINGLE	11640	125	0.900	B3-04-03	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
SL4	3	SL4	SINGLE	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
SL4-2	1	SL4-2	BACK-BACK	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM28AS DBLXD 25FT POLE
SL4-290	2	SL4-290	2 @ 90 DEGREES	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM29AS DBLXD 25FT POLE
SL5	1	SL5	SINGLE	19881	163	0.900	B5-04-03	Lithonia DSX1 LED P4 50K T5W MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
SL5-2	2	SL5-2	BACK-BACK	19881	163	0.900	B5-04-03	Lithonia DSX1 LED P4 50K T5W MVOLT RPA DBLXD - RSS 25 5B DM28AS DBLXD 25FT POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.78	6.9	0.0	N.A.	N.A.
LARGE PARKING AREA	Illuminance	Fc	1.79	6.1	0.4	4.48	15.25
LOT 6 PARKING LOT	Illuminance	Fc	1.38	4.2	0.2	6.90	21.00

Lighting Design By:
Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067
website: www.lightingaffiliates.com
Voice Number: (860) 721-1171 x 219
Email Address: gloda@lightingaffiliates.com

LIGHTING/LANDSCAPING PLAN
CONNECTICUT GOLF LAND
CT GOLF LAND, LLC
#95 HARTFORD TURNPIKE
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

REVISIONS
09-10-2020 TREES

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	AS SHOWN	09-01-2020	1 OF 1	8926L

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D-Series Size 1 LED Area Luminaire

d^{series}

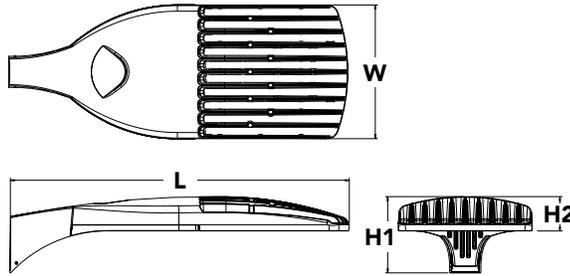


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics P1 P4 ¹ P7 ¹ P2 P5 ¹ P8 P3 P6 ¹ P9 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	TSVS Type V very short ³ TSS Type V short ³ TSM Type V medium ³ TSW Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT ⁵ 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting ⁷ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹⁰ PIRHN Network, high/low motion/ambient sensor ¹¹ PER NEMA twist-lock receptacle only (controls ordered separate) ¹² PER5 Five-pin receptacle only (controls ordered separate) ^{12,13} PER7 Seven-pin receptacle only (controls ordered separate) ^{12,13} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁴ DS Dual switching ^{15,16,17}	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{17,18} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{17,18} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{17,18} PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{17,18} FAO Field adjustable output ^{17,19}	Shipped installed HS House-side shield ²⁰ SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² HA 50°C ambient operations ¹ Shipped separately BS Bird spikes ²¹ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK U	Shorting cap ²²
DSX1HS 30C U	House-side shield for P1, P2, P3, P4 and P5 ²⁰
DSX1HS 40C U	House-side shield for P6 and P7 ²⁰
DSX1HS 60C U	House-side shield for P8, P9, P10, P11 and P12 ²⁰
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁹
DSX1EGS (FINISH) U	External glare shield

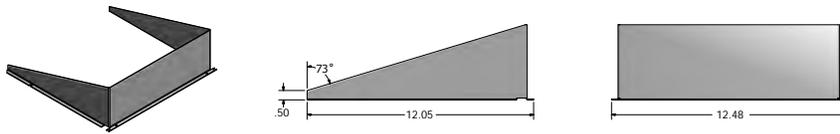
For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- HA not available with P4, P5, P6, P7, P9 and P13.
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- Requires (2) separately switched circuits with isolated neutral.
- Reference Controls Option Default settings table on page 4.
- Reference Motion Sensor table on page 4 to see functionality.
- Not available with other dimming controls options
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Control Option Table on page 4.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

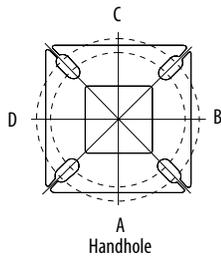
Options

EGS - External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

DSX1 Area Luminaire - EPA

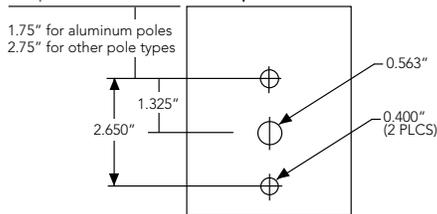
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8

Top of Pole



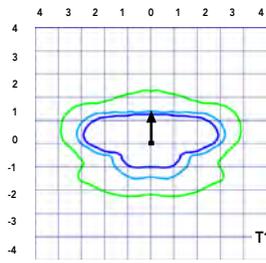
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

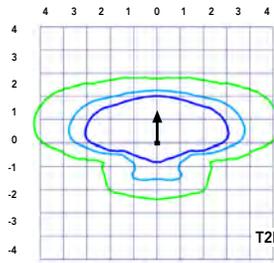
Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

LEGEND

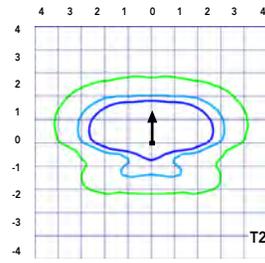
- 0.1 fc
- 0.5 fc
- 1.0 fc



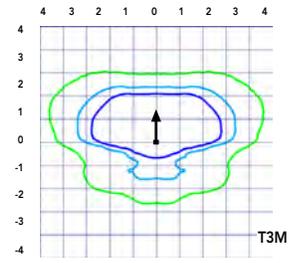
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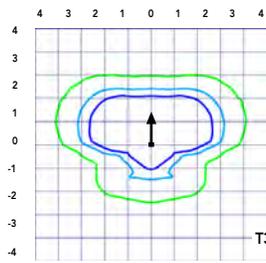
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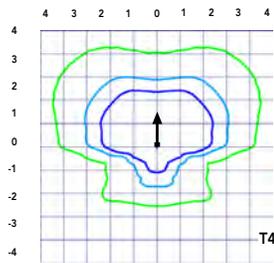
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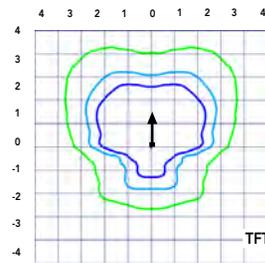
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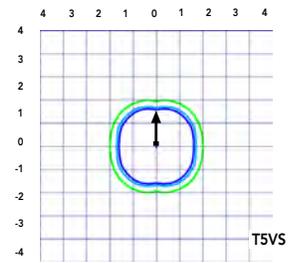
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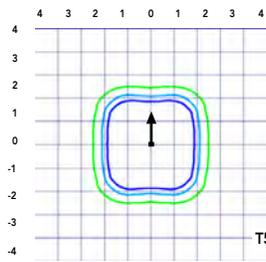
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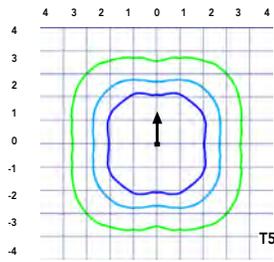
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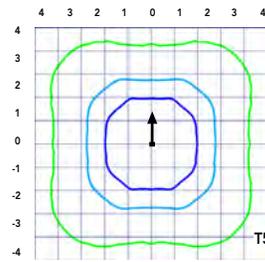
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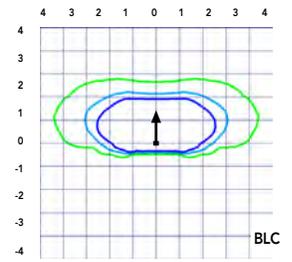
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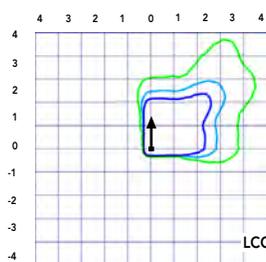
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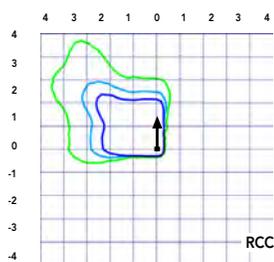
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Test No. LT.L23271 tested in accordance with IESNA LM-79-08.



Test No. LT.L23211 tested in accordance with IESNA LM-79-08.



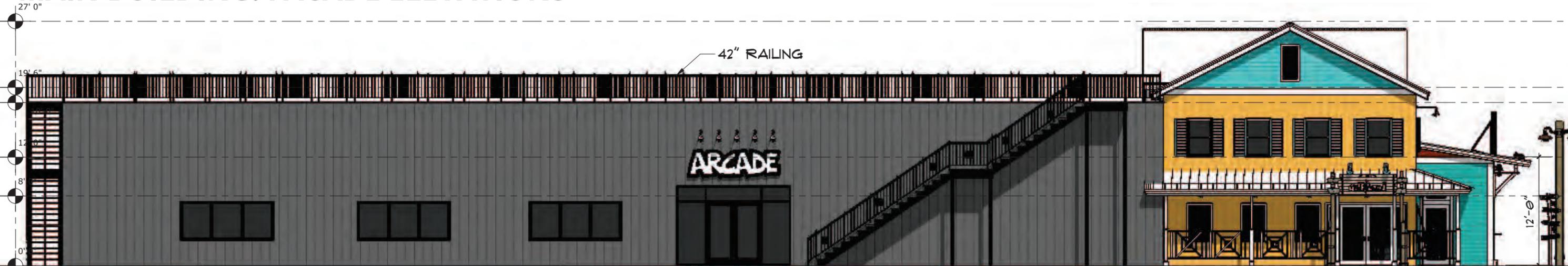
Test No. LT.L23164B tested in accordance with IESNA LM-79-08.

PERSPECTIVE: AERIAL



Digital Quill Studio

MAIN BUILDING: FACADE ELEVATIONS



WEST ELEVATION
SCALE: 3/32" = 1' @

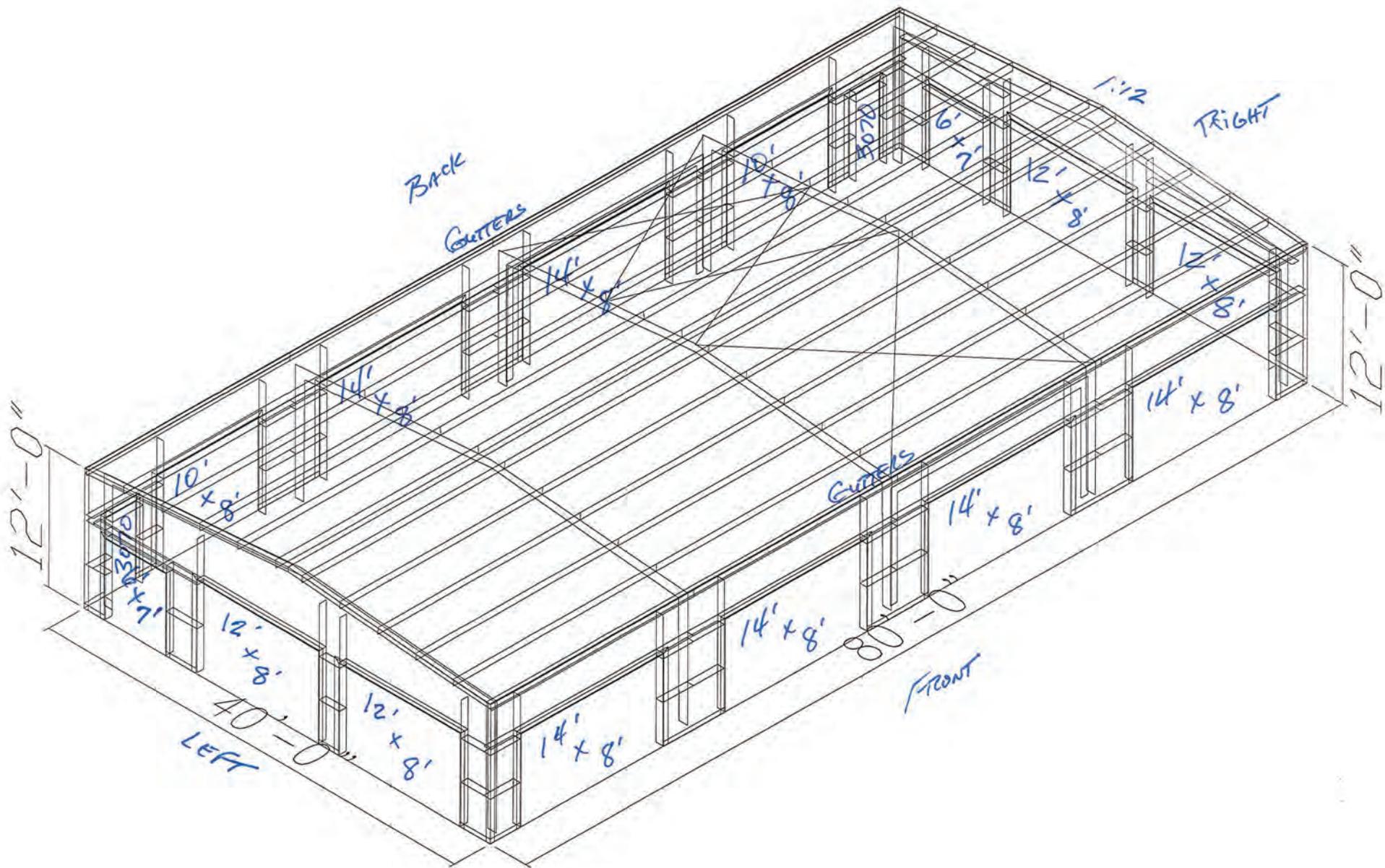


SOUTH ELEVATION
SCALE: 3/32" = 1' @



EAST ELEVATION
SCALE: 3/32" = 1' @

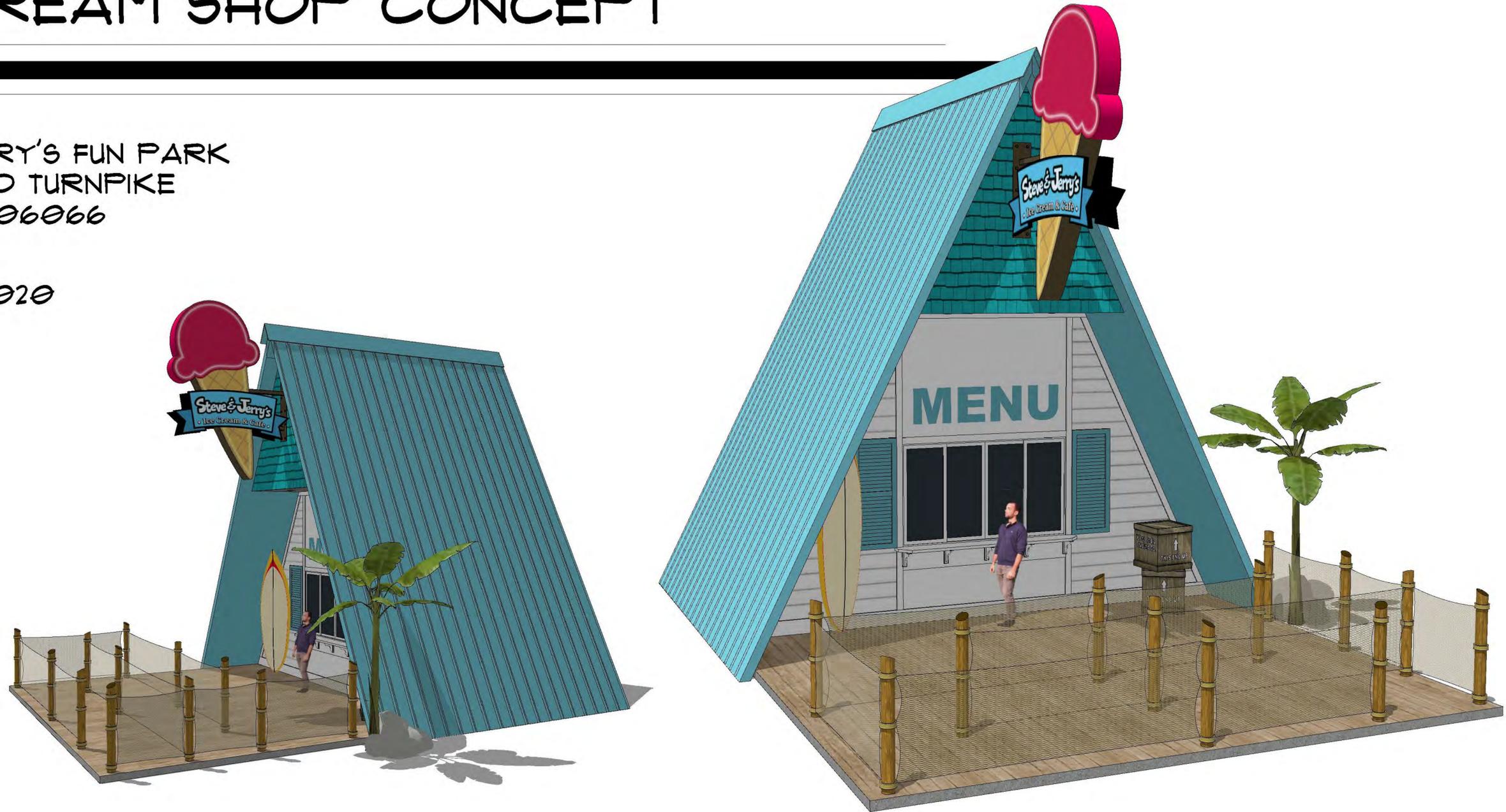




ICE CREAM SHOP CONCEPT

STEVE & JERRY'S FUN PARK
 95 HARTFORD TURNPIKE
 VERNON, CT 06066

APRIL 5TH, 2020



DRAWING INDEX

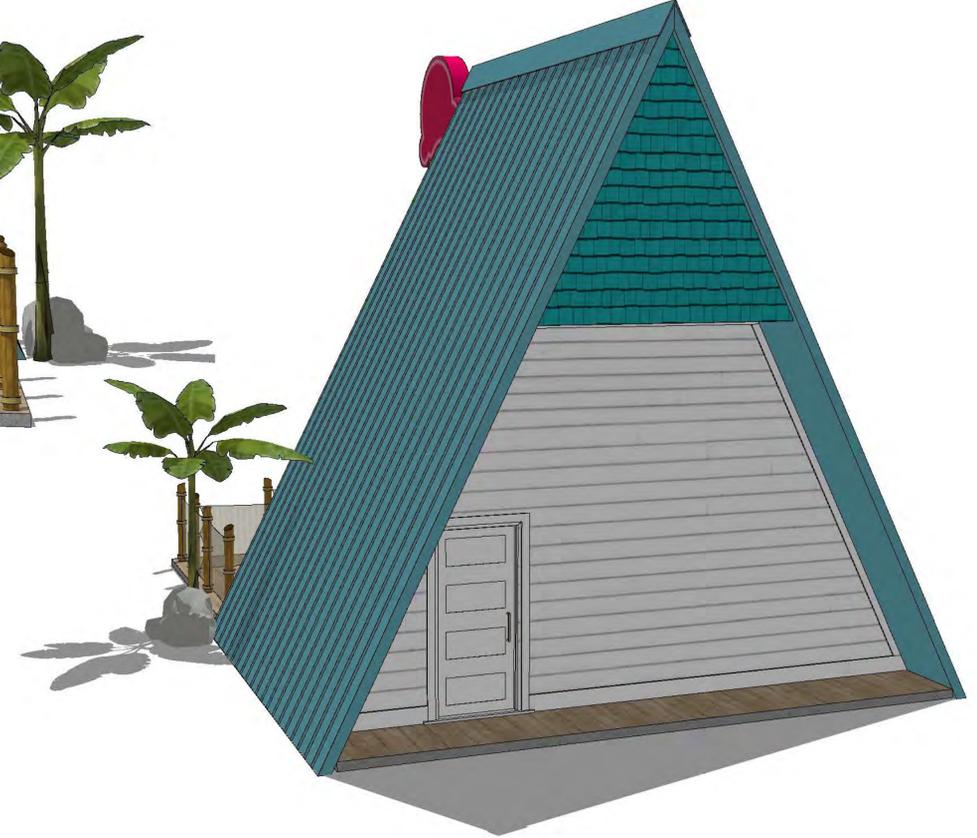
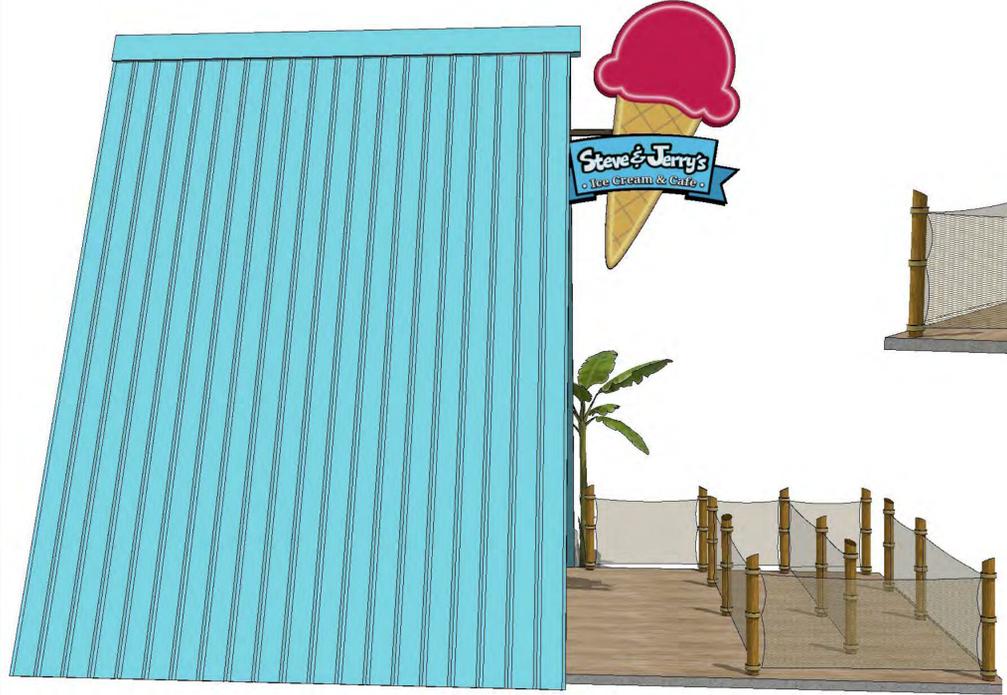
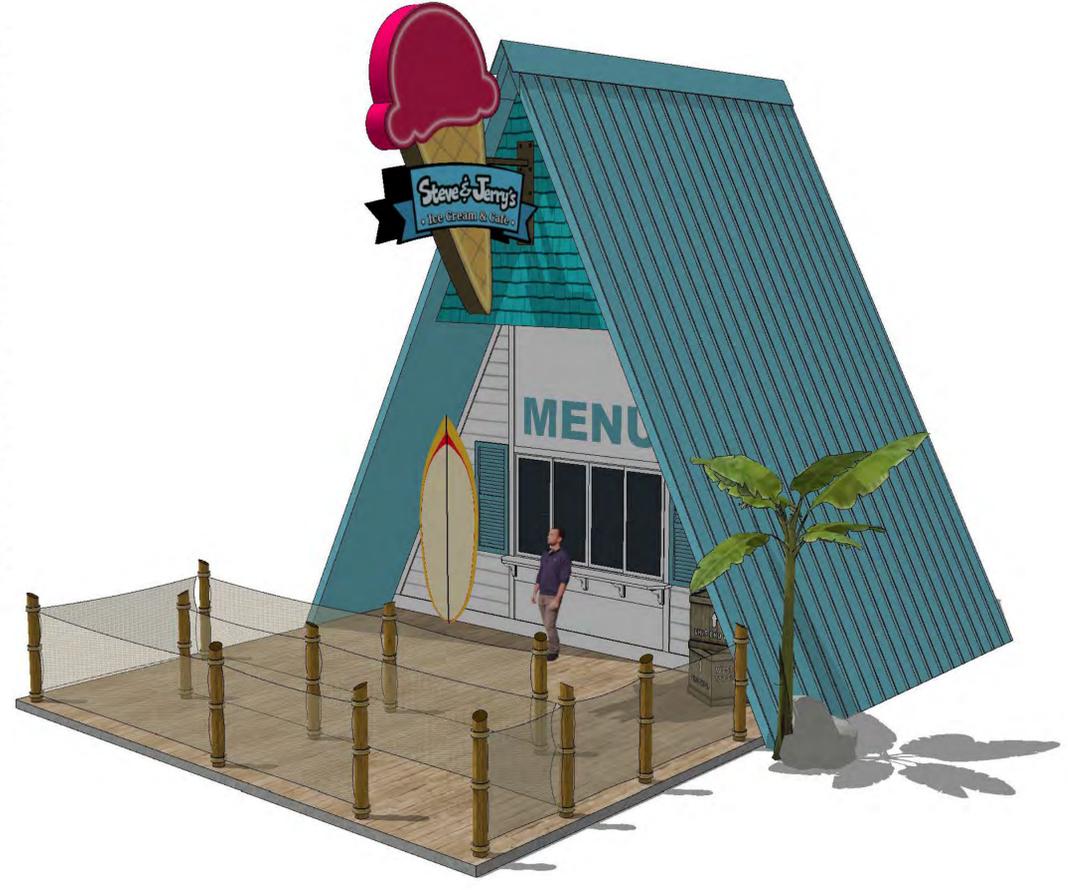
DRAWING NUMBER	TITLE
COVER	DRAWING INDEX
A-001	FLOOR PLAN
A-002	ROOF PLAN
A-003	ELEVATIONS
A-004	3D CONCEPT PERSPECTIVES

REVISIONS

NO.	DATE	BY	REMARKS
1			
2			
3			
4			
5			

CLIENT:
 Steve Lamesa
 PO BOX 280915
 East Hartford CT 06128
 PH: 860.280.8555
 mgcdev01@aol.com

Digital Quill Studio
logos | print services | web design | 2d/3d renderings | drafting | animations
 RILEY HAMILTON
 riley@digitalquillstudio.com
 www.digitalquillstudio.com



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

CLIENT:
 Steve Lamasa
 PO BOX 280915
 East Hartford CT 06128
 PH: 860.280.8555
 mgcdev01@aol.com

Digital Quill Studio
 logo | print | services | web | design | 3d | 3d | renderings | crafting | animations
 RILEY HAMILTON
 riley@digitalquillstudio.com
 www.digitalquillstudio.com

3D PERSPECTIVES

STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Planning and Zoning Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: PZ 2020-11, CT Golf Land, 95 Hartford Tpke.

DATE: October 1, 2020

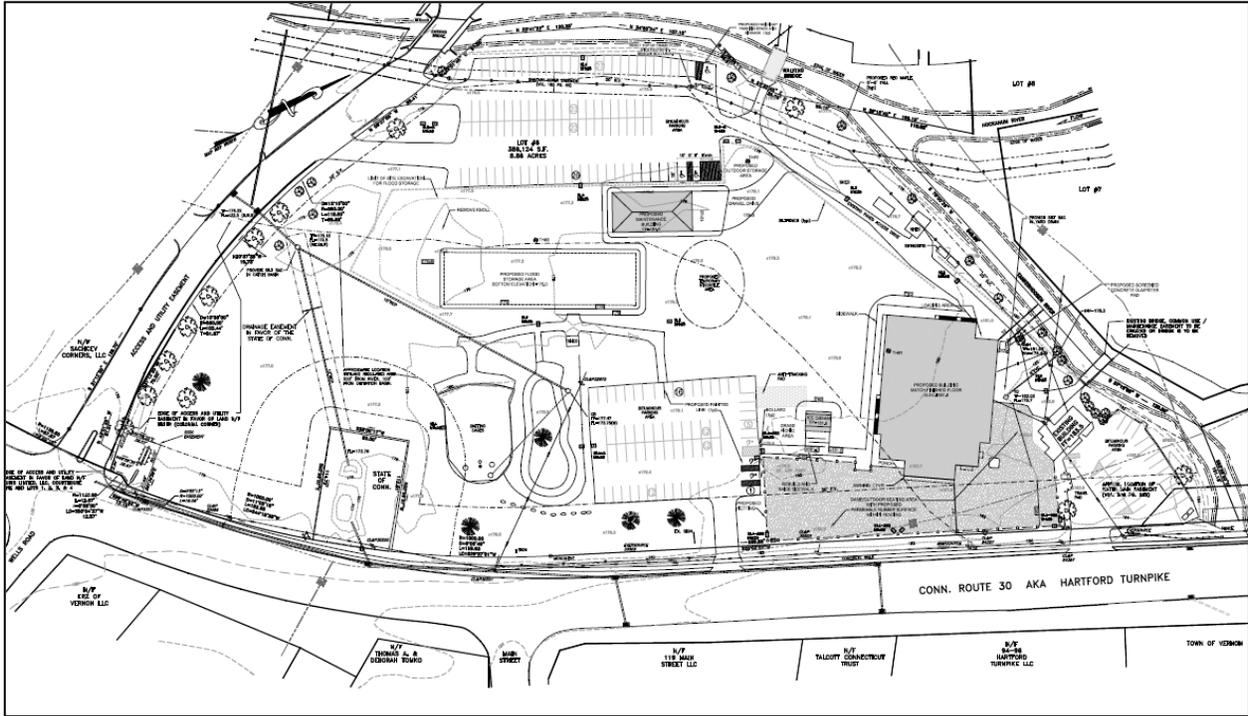
Request & Background

CT Golf Land LLC, has requested approval of a Site Plan of Development and a series of special permits for site grading, new construction, demolition, and other activities on property located at 95 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00095). The Applicant intends to rejuvenate the Golf Land Property with similar commercial recreation uses in a phased approach. The property is 8.86 acres in size and is zoned Commercial; commercial recreation is allowed by special permit. The property is located in a Special Flood Hazard Area as well as a Wetlands Upland Review Area.



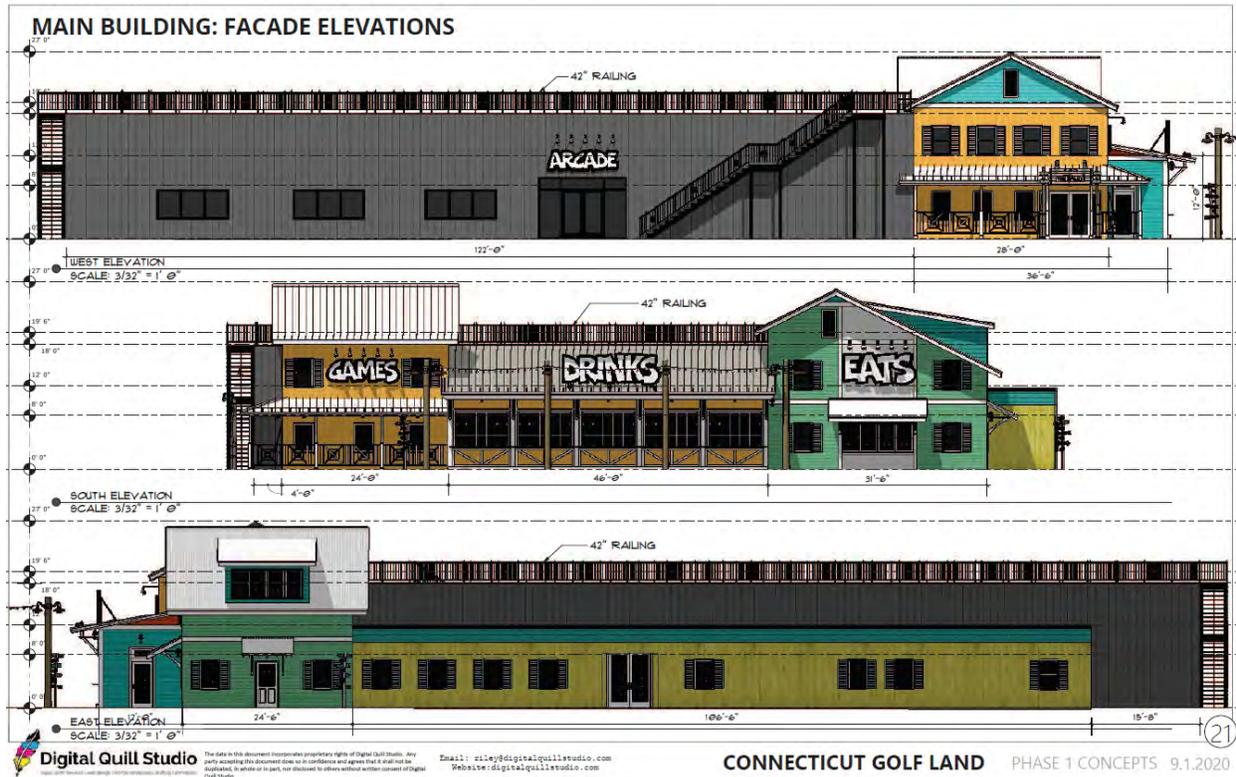
Site Plan

The applicant intends to demolish the existing building and construct a new 16,663 sq. ft. game room and restaurant facility. The applicant plans an outside gaming activity area for cornhole, volleyball, and bocce ball type events. A small ice cream shop and a maintenance building is also planned. Initially, the existing go cart track and batting cages will be removed. The project plans to utilize existing, established parking areas. As the property falls in a special flood area, the site incorporates additional flood storage areas on the property. No new access points are proposed, with the site keeping the current drives from Hartford Turnpike and the commercial drive. Overall, there is a reduction of impervious surface from the existing condition by approximately 12,900 sq. ft.



Above: Site Plan of Development

Below: Conceptual Building elevations of main building facing Hartford Tpk.



Special Permits

The Applicant requests the following Special Permits:

1. 4.9.4.6-Commercial recreation activities
2. 4.9.4.1.15.4-Aggregate square footage over 25,000 s.f.
3. 5.7.1-Commercial Structures in areas subject to flooding
4. 5.7.2-Private open-type recreational uses in areas subject to flooding
5. 15 and 5.7.5-Fill or excavation of land, generally, and within a special food area.

In order to approve each special permit, the Commission must find that the applicant meets the relevant general special permit criteria of Section 17.3.1, specifically:

17.3.1.1 It shall not create a hazardous condition relative to public health and safety;

17.3.1.2 It shall be compatible with neighboring uses;

17.3.1.3 It shall not create a nuisance;

17.3.1.4 It shall not hinder the future sound development of the community;

17.3.1.5 It shall conform to all applicable sections of this ordinance;

Staff finds that these thresholds have been met by the Application.

Staff Comments

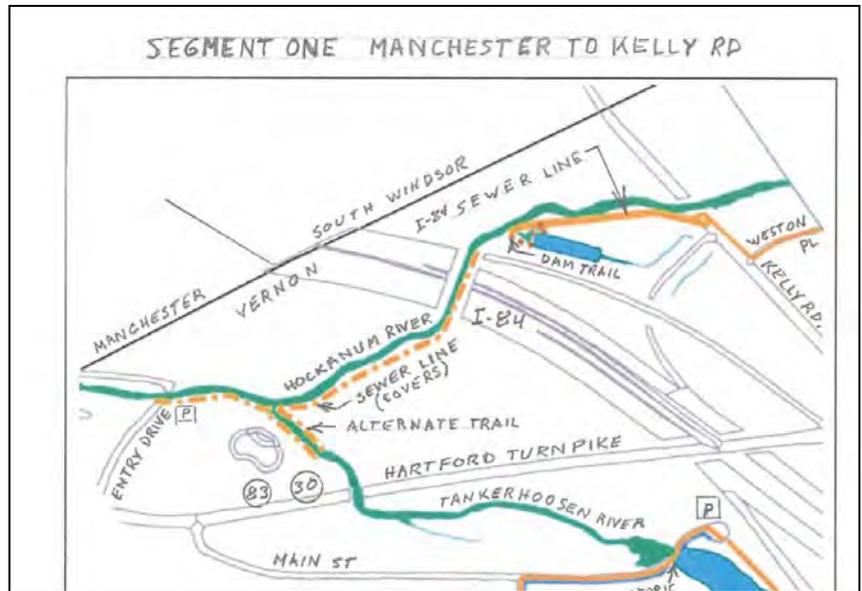
The Town Engineer is supportive of the added flood storage areas; the Zoning Official finds that the application and special permits are consistent with Town Regulations.

The Town Planner recommends additional landscaping, canopy trees, and perimeter fencing in the area of the two existing parking lots to better separate the parking both visually and functionally from the recreational facilities. The applicant does intend to preserve a great majority of the exiting perimeter landscaping, along with the removal of a few large trees adjacent to the proposed main building.

Regarding the issue of the future Hockanum River Linear Park (see page 4) raised by the Open Space Task Force and the Conservation Commission, Staff has raised the issue with the Applicant and recommends continued discussion with both the Applicant and the property owner. There is an opportunity to ensure this connection through the Golf Land facility, with potential benefits for the community and the business.

Conservation Commission

The Conservation Commission reviewed the item at their regular meeting on September 21, 2020. The Commission identified the site for a desired extension of the Hockanum River Linear Park with connections existing to the south into the Town of Manchester and portions to the north, north and west of I-84. The Commission recommended the applicant consider granting an easement which would enable future trail construction¹. The POCD supports and encourages a robust greenway system, reflecting the policies of the Open Space System.



Proposed Open Space System-Open Space Task Force (1998/rev. 2019)

Inland Wetlands Commission

The Inlands Wetlands Commission reviewed the application for upland impacts at their September 22, 2020 regular meeting. Although the site has been previously and significantly disturbed, the new project was deemed a significant activity, due to the amount of site grading. After a public hearing, the Commission approved a wetland permit for the project unanimously².

Design Review Commission

The Design Review Commission reviewed the item at a meeting on September 23, 2020. The Commission recommended approval of the design elements, as submitted by the applicant³.

Analysis

The revival of Golf Land is a welcome addition to the Hartford Tpke. corridor. Staff finds the application meets the special permit standards (for all six respective items) set forth in the Zoning regulations. The Site Plan of Development, along with the recommended conditions, meets or exceeds the Site Plan expectations for development. Staff recommends the Applicant and property owner work with representatives of the Open Space Task Force to mutually secure future greenway opportunities associated with the Hockanum River Linear Park.

¹ Conservation Commission Memorandum 9/21/20

² IWC Approval Letter 9/23/20

³ Design Review Commission Memorandum 9/24/20

Draft Motions

- A. I move that the Planning and Zoning Commission Approve PZ-2020-11, a Site Plan of Development with Special Permits located at 95 Hartford Tpke. This approval is based upon a finding the application meets the site plan requirements of Section 14 and that the special permits requested meet and exceed the review criteria set forth in Section 15 and Section 17.3.1, and is subject to the conditions of approval dated October 1, 2020.**

OR

- B. I move [an alternate motion]**

**Draft Conditions of Approval
PZ 2020-11 95 Hartford Tpke.
CT Golf Land LLC
October 1, 2020**

1. The property shall be developed in substantial conformance with the Site Plan Set dated 8-15-20, Revised through 9-10-20 (Sheets 1-4) Prepared Gardner & Peterson Associates, LLC.
2. The Property Shall be develop in substantial conformance to the Architectural Elevations dated 9-1-20 (Main Building), 4-5-20 (Ice Cream Shop), prepared by Digital Quill Studio.
3. Prior to the commencement of any site work, the applicant or his/her agent shall submit to the Town Planner an instrument of financial guarantee, as determined by the Town Engineer, in a form acceptable to the PZC for Erosion and Sedimentation Control.
4. The above conditions are in addition to the standard conditions and stipulations for all site development projects.
- 5.
- 6.

Or,

MOVED, an Alternate Motion

GKM



TOWN OF VERNON

Conservation Commission
c/o Planning & Development Dept.
55 West Main St., 2nd Floor
Vernon, CT 06066

TO: Planning and Zoning Commission
Interim Town Planner

FROM: Conservation Commission

DATE: September 21, 2020

RE: Application (**PZ-2020-11**) of Connecticut Golf Land, LLC for a modification to a Site Plan of Development and a Series of Special Permits to modify and enhance a commercial recreation, family fun center located at 95 Hartford Turnpike (Assessor's ID: Map #1, Block #158, Parcel #95)

At our September 21, 2020 regular meeting, the Conservation Commission reviewed and discussed the application referenced above.

Per Connecticut State Statute 7-131a(b), Conservation Commissions may make recommendations to zoning commissions, planning commissions, inland wetlands agencies and other municipal agencies on proposed land use changes.

The Hockanum and Tankerhoosen Rivers constitute the approximate westerly and northerly boundaries of the above parcel, respectively. These two rivers are important natural, cultural, and recreational resources for Vernon, and are designated greenway corridors in the town's Plan of Conservation & Development.

At present the Hockanum River Linear Park trail system extends southward along the river corridor from the Town of Ellington to Tri City Plaza on Kelly Road. It likewise extends northerly from Manchester into Vernon, with a current terminus at the Hockanum River roadway bridge along the western parcel boundary. The portion of the trail from that bridge northward to Kelly Road remains incomplete.

This Commission suggests the applicant or landowner consider a trail easement along the river channel corridor on the subject parcel. This would extend from the roadway bridge along the Hockanum River's easterly bank, continue along the southerly bank of the Tankerhoosen, and cross the existing footbridge (which connects Subway and the former Par 3 golf course on the northerly side of the Tankerhoosen River). This easement would allow completion of the Hockanum River Linear Park within Vernon, and promote further enjoyment and stewardship of this invaluable natural resource.



TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066
(860) 870-3667

gmcgregor@vernon-ct.gov

OFFICE OF THE
TOWN PLANNER

Certified Mail 7017 0190 0001 1560 3234

September 23, 2020

Mr. Steve LaMesa
2 Wilson Court
Enfield CT, 06082

Re: Approval of Application IWC-2020-06, CT Golf Land, LLC

Dear Mr. LaMesa:

At a meeting on September 22, 2020, The Town of Vernon Inland Wetlands Commission took the following action:

APPROVED: IWC-2020-06, Application of CT Golf Land LLC, for a Wetlands Permit for site grading, new construction, demolition, and other activities in an upland review area, on property located at 95 Hartford Tpke. (Assessor ID: Map 1, Block 158, Parcel 00095).

The Wetlands Permit is granted based on the Commission's findings that the application presents no adverse impact to wetlands and watercourses as evaluated by the criteria of Section 10.2 of the Vernon Inland Wetlands Regulations and subject to the Site Plan of Development dated August 15, 2020, revised September 10, 2020, prepared by Gardner and Peterson.

The permit shall expire on September 22, 2025, unless otherwise extend by the Inland Wetlands Commission. A recording certificate, to be filed with the Town Clerk, is enclosed.

Sincerely,

George K. McGregor, AICP

cc. Mark Peterson



Design Review Commission

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3667
Fax: (860) 870-3683
E-mail: sgately@vernon-ct.gov

September 24, 2020

Planning and Zoning Commission
14 Park Place
Vernon, CT. 06066

Attn: Roland Klee, Chairperson

On 9-23-20 the Design Review Commission was presented Application [PZ-2020-11] of CT Golf Land LLC for a modification of a site plan and special permits at 95 Hartford Tpke. The applicant presented their application as it was submitted to the Planning and Zoning Commission and provided visual representations of what the structures and site will look like. The Design Review commission reviewed the application/ plans and approved them as they were presented.

A copy of the minutes can be forwarded, if needed, once they are completed, and please let me know if you need further clarification.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shaun Gately', is written over a light blue horizontal line.

Shaun Gately
Economic Development Coordinator

APPLICATION REVIEW COMMENTS

FROM: jkenny@vernon-ct.gov

TO: _____

DATE: 09/08/2020

APPLICANT: SUB PEAK OF CONNECTICUT INC

PROJECT: CT Golf Land

LOCATION: 95 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

Development proposed is consistent with prior approved use and no additional curb cuts or parking areas are proposed. No need for traffic authority review.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: dsmith@vernon-ct.gov

TO: _____

DATE: 09/15/2020

APPLICANT: SUB PEAK OF CONNECTICUT INC

PROJECT: CT Golf Land

LOCATION: 95 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

Plans provide an offsetting excavation to balance the minor fill proposed, resulting in no loss of flood storage.

SIGNATURE: _____

DATE: _____

APPLICATION REVIEW COMMENTS

FROM: amarchese@vernon-ct.gov

TO: _____

DATE: 09/18/2020

APPLICANT: SUB PEAK OF CONNECTICUT INC

PROJECT: CT Golf Land

LOCATION: 95 HARTFORD TPKE

My comments in regard to the application submitted to the Inland Wetland Commission (IWC) and/or Planning & Zoning Commission (PZC) are:

_____ NO COMMENT

_____ COMMENTS ATTACHED

_____ PLEASE NOTE THE FOLLOWING COMMENTS:

The proposed site plan appears to comply with the towns zoning regulations, if the current use of new car inventory is removed from the property.

SIGNATURE: _____

DATE: _____