

Posted 6/17/20
CJS

TOWN OF VERNON
Inland Wetlands Commission (IWC)
Meeting Notice
Tuesday, June 23, 2020, 7:00 PM
VIA Teleconference

RECEIVED
VERNON TOWN CLERK
20 JUN 17 PM 1:15

Join Zoom Meeting
<https://us02web.zoom.us/j/85283346411?pwd=WFhYaTJNbC8yTHo4K3lNdGdxSDBaQT09>
weblink

Meeting ID: 852 8334 6411
Weblink Password: 0y6hQ5

or

Dial -in:

+1 646 876 9923

Meeting ID: 852 8334 6411
Dial-in Password: 432410

AGENDA

1. Call to Order & Roll Call
2. Administrative Actions
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #9 "Other Business" requires Commission vote
 - 2.2 Approval of the Minutes from the May 19, 2020 regular meeting
 - 2.3 Communications received NOT related to Agenda items, if any
 - 2.3.1-Information Only: DEEP Permit Application for the Use of Pesticides in State Waters at 19 Rosewood Dr., Durrschmidt Pond.
 - 2.4 Call for filing(s) of Intervener petition(s) and determination of status
3. New Applications for Receipt and Determination of Significance
 - 3.1 IWC-2020-05, Application of the Town of Vernon for a Wetlands Permit by Commission, for the demolition and replacement of the existing vehicular bridge (bridge number 03936) on Dart Hill Rd., over the Hockanum River (no specific address or parcel id).
4. Action on New Application(s)
 - 4.1 IWC-2020-03, Application of the Town of Vernon for a Wetlands Permit by Commission, for the demolition and replacement of the existing vehicular bridge (bridge number 04575) on Main St., over the Tankerhoosen River (no specific address or parcel id).
 - 4.2 IWC-2020-04, Application of the Town of Vernon for a Wetlands Permit by Commission, for the construction of athletic fields on a 2.25-acre portion of property located on Windermere Ave. (no specific address) near the Ellington Town line (Assessors ID: Map 22, Block 0039, Parcel 00003).

5. Status of Cease & Correct Orders, if any
6. Wetlands Enforcement Officer Report, if any
7. Inland Wetlands Agent Approvals, if any
8. Other Business

7.1 IWC 2015-02, Mr. Ken Kaplan requests an extension of the Wetlands permit issued for non-significant activity at property located at 161 & 200 West Main St. (Assessor ID: Map 22, Block, 0058 & 0059, Parcels 13 & 1).

9. Adjournment

Rachel Stansel, Chairperson
Inland Wetlands Commission (IWC)

Minutes

Town of Vernon
Inland Wetlands Commission (IWC)
Tuesday, May 26, 2020, 7:00 p.m.
Teleconference Meeting

DRAFT MINUTES

1. Call to Order and Roll Call

Chairperson Rachel Stansel called the meeting to order at 7:02 p.m. Also in attendance were Commission Members Don Schubert, and Frank Galat. Staff members present were Craig Perry, Wetlands Agent, David Smith, Town Engineer, and George McGregor, Town Planner.

2. Administrative Actions

2.1 Amendment/Adoption of Agenda – Additional business to be considered under agenda item #8 “Other Business” Requires Commission vote
None

2.2 Communications received not related to Agenda Items
None

2.3 Approval of Minutes from the April 21, 2020, meeting.
Don Schubert made a motion seconded by Chairperson Stansel to approve the minutes of April 21, 2020, as presented. Motion carried unanimously.

2.4 Call for filing(s) of Intervener petition(s) and determination of status.
None

3. Receipt of New Application(s) and Determination of Significance

3.1 Application [**IWC-2020-03**] of the Town of Vernon for a Wetlands Permit by Commission, for the demolition and replacement of the existing vehicular bridge (bridge number 04575) on Main Street, over the Tankerhoosen River (no specific address or parcel id).

David Smith, Town Engineer, introduced the application and explained the proposal for the new bridge, rehabilitating and preserving the historic bridge truss. A temporary road will be used during construction which will not impact the wetlands. Discussion took place.

Frank Galat made a motion seconded by Don Schubert to accept Application [IWC-2020-03] as not significant activity. Motion carried unanimously.

- 3.2 Application [IWC-2020-04] of the Town of Vernon for a Wetlands Permit by Commission, for the construction of athletic fields on a 2.5-acre portion of property located on Windermere Ave. (no specific address) near the Ellington Town line (Assessors ID: Map 22, Block 0039, Parcel 00003).

David Smith, Town Engineer, explained the application and location of the fields. A small portion of the property is in Vernon. There are several phases proposed. Discussion took place.

Don Schubert made a motion seconded by Frank Galat to accept Application [IWC-2020-04] as not significant activity. Motion carried unanimously.

4. Status of Cease & Correct Orders, if any
None
5. Wetlands Enforcement Officer Report, if any
None
6. Inland Wetlands Agent Approvals
None
7. Communications Sent
None
8. Other Business
None
9. Adjournment

Frank Galat made a motion seconded by Don Schubert to adjourn the meeting at 7:24 p.m. Motion carried unanimously.

Respectfully Submitted

Recording Secretary

Communications



Connecticut Department of Energy & Environmental Protection
Bureau of Materials Management & Compliance Assurance
Engineering & Enforcement Division

Permit Application for the Use of Pesticides in State Waters

Please complete this form in accordance with section 22a-66z CGS and the [instructions](#) (DEEP-PEST-INST-200) in order to ensure the proper handling of your application. Print or type unless otherwise noted. You must submit the initial fee along with this form.

CPPU USE ONLY	
App #:	_____
Doc #:	_____
Check #:	_____
Program: Aquatic Pesticides	

Part I: Application Type and Description

This application is to request (check one):

One year permit Two year permit Three year permit

Note: Multi-year permits will be issued at the Department of Energy and Environmental Protection's (DEEP) discretion.

Check here if DEEP has previously issued an Aquatic Pesticide Permit for this site.

Permit Number for most recent permit: _____

Check here if the information contained in this application is identical to the last application and the chemicals, quantities and number of treatments requested are identical to the chemicals, quantities and number of treatments permitted by the most recent permit issued.

Town where site is located: Vernon

Brief Description of Project: Aquatic pesticide application to Durrschmidt Pond, Vernon

Part II: Fee Information

An application fee of \$200.00 ~~(\$1009)~~ is to be submitted with *each* permit that you are applying for. Each site requires a separate permit. The application will not be processed without payment of the fee. If you are applying for a multi-year permit, see Part II of the [instructions](#) for information on fee payment. There is no discount for municipalities. The fee shall be non-refundable and shall be paid by check or money order to the Department of Energy and Environmental Protection.

Part III: Site Location

Name of Waterbody: Durrschmidt Pond

Street address and/or description of location: 19 Rosewood Dr.

City/Town: Vernon State: CT Zip Code: 06066

Part IV: Applicant Information

- If an applicant is a corporation, limited liability company, limited partnership, limited liability partnership, or a statutory trust, it must be registered with the Secretary of State. If applicable, the applicant's name shall be stated exactly as it is registered with the Secretary of State. This information can be accessed at [CONCORD](http://www.concord-sots.ct.gov/CONCORD/index.jsp). (www.concord-sots.ct.gov/CONCORD/index.jsp)
- If an applicant is an individual, provide the legal name (include suffix) in the following format: First Name; Middle Initial; Last Name; Suffix (Jr, Sr., II, III, etc.).
- If there are any changes or corrections to your company/facility or individual mailing or billing address or contact information, please complete and submit the [Request to Change Company/Individual Information](#) to the address indicated on the form. If there is a change in name of the entity holding a DEEP license or a change in ownership, contact the Office of Planning and Program Development (OPPD) at 860-424-3003. For any other changes you must contact the specific program from which you hold a current DEEP license.

1. Applicant Name: Stahl Holdings LLC. DBA: The Pond and Lake Connection

Mailing Address: 1112 Federal Rd

City/Town: Brookfield

State: CT Zip Code: 06804

Business Phone: 1(203)885-0184

ext.:

Contact Person: Lisa Mariakakis

Phone: 1(203)885-0184 ext.

*E-mail: lisa@thepondandlake.com

*By providing this e-mail address you are agreeing to receive official correspondence from DEEP, at this electronic address, concerning the subject application. Please remember to check your security settings to be sure you can receive e-mails from "ct.gov" addresses. Also, please notify DEEP if your e-mail address changes.

- a) Applicant Type (check one): individual *business entity federal agency
 state agency municipality tribal

*If a business entity:

- i) check type: corporation limited liability company limited partnership
 limited liability partnership statutory trust Other: _____

- ii) provide Pesticide Application Business Registration Number and Registration expiration date:

B2764 Exp-8/31/2020

- iii) provide Secretary of the State business ID #: 0685027 This information can be accessed at [CONCORD](#)

- iv) Check here if your business is NOT registered with the Secretary of State's office.

- b) Applicant's relationship to the property at which the proposed activity is to be located:

- site owner option holder lessee
 easement holder operator pesticide applicator
 other (specify): _____

- Check if any co-applicants. If so, attach additional sheet(s) with the required information as requested above.

2. Billing contact, if different than the applicant.

Name: Same

Mailing Address:

City/Town:

State: Zip Code:

Business Phone:

ext.:

Contact Person:

Phone: ext.

*E-mail:

Part IV: Applicant Information (continued)

3. Primary contact for departmental correspondence and inquiries, if different than the applicant.

Name: Same

Mailing Address:

City/Town:

State:

Zip Code:

Business Phone:

ext.:

Contact Person:

Phone:

ext.

*E-mail:

4. Owner Information

a. If known, list the name and address of all owners of the area(s) to be treated. If unsure, go to item #4b.

You can add rows to this table by using "tab" in the last row, in the last column.

Name of Owner	Address
Lizette Durrschmidt	19 Rosewood Dr, Vernon, CT 06066

*If an area(s) to be treated is owned or controlled by the state of Connecticut, see instructions for submitting an application to the DEEP Land Acquisition and Management Unit (LAM) for review and approval of the proposed treatment on state property. A LAM Authorization letter must be submitted as Attachment G for any application involving treatment of a waterbody that is owned or controlled by the state of Connecticut.

Part IV: Applicant Information (continued)

4b. If the applicant is unsure of who owns an area(s) to be treated, provide the name and address for all shoreline property owners located 200 feet or less from such area.

You can add rows to this table by using "tab" in the last row, in the last column.

Name of Shoreline Property Owner	Address

5. List the person or company applying the pesticides.

Name: **The Pond and Lake Connection**

Mailing Address: 1112 Federal Rd.

City/Town: Brookfield

State: CT Zip Code: 06804

Business Phone: 1(203)885-0184

ext.:

Contact Person: Nicholas McMahon

Phone: 1(203)885-0184 ext.

E-mail: nick@thepondandlake.com

Certification Number: S-6424

Certification Expiration Date: 1/31/2023

Part V: Additional Information

If the applicant is submitting this application on behalf of someone else, identify the person(s) or organization(s) seeking to have pesticides applied to the treatment area(s) and provide the following information. If more than one person or organization is being represented, attach additional sheets providing the information requested below.

Name: **Lizette Durrschmidt**

Mailing Address: 19 Rosewood Dr.

City/Town: Vernon

State: CT Zip Code: 06066

Business Phone: 860-454-4397

ext.:

Contact Person:

Phone: ext.

*E-mail: lizettedurrschmidt@gmail.com

Part VI: Site Information

1. **COASTAL AREA:** Is the pesticide application located in a municipality within the coastal area?

Yes No (check town list in the instructions)

If yes, is the water being treated subject to the ebb and flow of the tides, or inundated by saline or brackish water at least once a month? Yes No

If the water being treated is subject to the ebb and flow of the tides, or is inundated by saline or brackish water at least once a month, you must submit a [Coastal Consistency Review Form](#) (DEEP-APP-004) with your application as Attachment C.

For assistance in determining if the water being treated is affected by tidal water as described above or in completing the Coastal Consistency Review form, contact the Office of Long Island Sound Programs (OLISP) at 860-424-3034.

2. **NATURAL DIVERSITY DATA BASE (NDDDB) - ENDANGERED OR THREATENED SPECIES:**

According to the most current "Natural Diversity Data Base Areas Maps", will the activity which is the subject of this application, including all impacted areas, be located within an area identified as, or otherwise known to be, a habitat for state listed endangered, threatened or special concern species?

Yes No Date of Map: 12/2019

If yes, complete and submit a [Request for NDDDB State Listed Species Review Form](#) (DEEP-APP-007) to the address specified on the form, prior to submitting this application. Please note NDDDB review generally takes 4 to 6 weeks and may require the applicant to produce additional documentation, such as ecological surveys, which must be completed prior to submitting this permit application. A copy of the NDDDB Determination response letter that has not expired *must* be submitted with this completed application as Attachment D. Include a copy of any mitigation measures developed for this activity and approved by NDDDB. Be aware that you must renew your NDDDB Determination if it expires before project work commences. If the required NDDDB documents are not submitted as Attachment D, your application will be deemed incomplete and may be subject to denial.

For more information visit the DEEP website at www.ct.gov/deep/nddbrequest or call the NDDDB at 860-424-3011.

3. **AQUIFER PROTECTION AREAS:** Is the site located within a town required to establish Aquifer Protection Areas, as defined in section 22a-354a through 354bb of the General Statutes (CGS)?

Yes No To view the applicable list of towns and maps visit the DEEP website at www.ct.gov/deep/aquiferprotection

If yes, is the site within an area identified on a Level A or Level B map? Yes No

If your site is on a Level A or Level B map, you are not required to register under the Aquifer Protection Program, *however* you must follow proper spill control measures to prevent potential contamination of drinking water. If you should have a spill, please call the emergency hotline *immediately* at 860-424-3338.

4. **CONSERVATION OR PRESERVATION RESTRICTION:** Is the property subject to a conservation or preservation restriction? Yes No

If Yes, proof of written notice of this application to the holder of such restriction or a letter from the holder of such restriction verifying that this application is in compliance with the terms of the restriction must be submitted as Attachment F.

5. Type of area to be treated: Tidal Waters Pond or Lake Stream

6. Is the waterbody located in a public water supply watershed? (See [instructions](#)) Yes No
If Yes, DPH comments may be required as Attachment I to this application.

7. Is the waterbody potentially located 200 ft. or less from a public water supply well? Yes No
(See [instructions](#)) If Yes, DPH comments *must* be submitted as Attachment I to this application.

8. Where does the waterbody flow to (Name of receiving stream or waterbody)? Unnamed stream

Is the outflow usually flowing? Yes No

Can outflow be stopped? Yes No

Point Source Discharges to Waters of the State from the Application of Pesticides is required. (See instructions). Such approval must be submitted as Attachment H to this application if required.

Part VI: Site Information (continued)

11. Does the waterbody have public access? Yes No

12. Is there a [state-owned boat launch](#)? Yes No

If yes, will the boat launch be used to access the waterbody? Yes No

If yes, will the boat launch be used for any purpose other than launching a boat? Yes No

If yes, see [instructions](#) for submitting an application to the DEEP Land Acquisition and Management Unit for review and approval of state property.

13. Is the waterbody stocked with fish by the state? Yes No

14. Identify use(s) of waterbody:

domestic water supply irrigation watering livestock swimming fishing None

15. Are there any downstream users of the water who may be affected by treatment? Yes No

If yes, please explain: **Water can be held if needed.**

16. Within 200 ft., inclusive, of the treatment area, are there any **private** drinking water wells 50 ft. or less from the shoreline? Yes No

17. Identify all plants or animals to be controlled: **Algae, Duckweed, Watersheid, Lilly, Milfoil, Coontail, Cattail.**

18a. Identify all types of fish present: **Bluegill, Bass, Minnow**

18b. If a copper-based product will be used and there are fish species sensitive to copper, what is the alkalinity of the water to be treated? **n/a**

19. Projected date(s) of pesticide use: **April - October** _____

20. List prior years in which chemicals were applied to this waterbody:

n/a

Part VII: Supporting Documents

Be sure to read the instructions (DEEP-PEST-INST-200) to determine whether the attachments listed are applicable to your specific activity. Check the applicable box below for each attachment being submitted with this application form. When submitting any supporting documents, please label the documents as indicated in this part (e.g., Attachment A, etc.) and be sure to include the applicant's name as indicated on this application form.

- Attachment A: An 8-1/2" x 11" legible copy or original of a USGS Topographic Quadrangle Map (scale 1:24,000) indicating the exact location of the area to be treated.
- Attachment B: [Applicant Compliance Information Form](#) (DEEP-APP-002), if applicable.
- Attachment C: [Coastal Consistency Review Form](#) (DEEP-APP-004), if applicable.
- Attachment D: A copy of the NDDDB Determination response letter that has not expired, if applicable. Include a copy of any mitigation measures developed for this activity and approved by NDDDB. Do *not* submit any NDDDB Preliminary Site Assessments with your application. Be aware that you must renew your NDDDB Determination if it expires before your project work commences.
- Attachment E: Verification of Notification to Local Inland Wetland Agency:
- 1) copy of a certified mail receipt, or
 - 2) a copy of the application stamped and dated as received by the local inland wetlands agency, or
 - 3) an e-mail from the local inland wetlands agency verifying that this completed application has been sent to such agency.
- For multiple applications submitted to the local inland wetlands agency under one certified mail receipt, please attach a copy of the certified mail receipt to each application.
 - For multiple applications submitted to the local inland wetlands agency under one email, the e-mail from the agency clearly confirming receipt of each application.
- Refer to the [instructions](#).
- Attachment F: Conservation or Preservation Restriction Information, if applicable.
- Attachment G: DEEP Land Management Unit's Authorization letter for treatment of a state-owned or controlled waterbody and/or use of a state-owned boat launch, if applicable.
- Attachment H: Approval under the [General Permit for Point Source Discharges to Waters of the State from the Application of Pesticides](#), if applicable.
- Attachment I: Department of Public Health comments if the proposed treatment area(s) is located 200 ft. or less from a public water supply well or if the waterbody is located within a public water supply watershed and the application proposes the use of flumioxazin or triclopyr, if applicable.

Please note that local inland wetlands agencies may have additional requirements pertaining to the application of aquatic pesticides to waterbodies located under their jurisdiction.

Part VIII: Application Certification

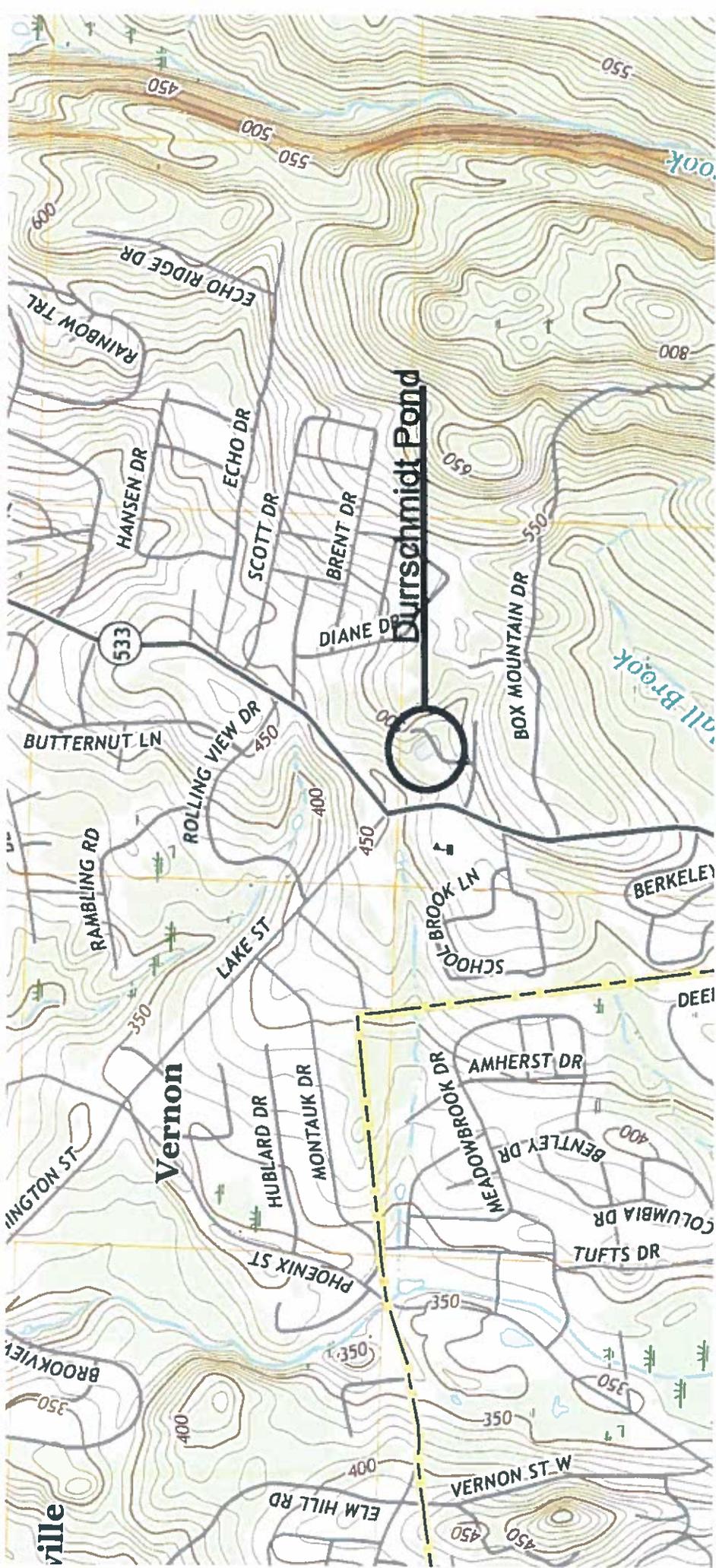
The applicant *and* the individual(s) responsible for actually preparing the application must sign this part. An application will be considered insufficient unless *all* required signatures are provided. Please also check the box and provide the date for which you sent one copy of this completed application to the appropriate local inland wetland agency.

<p>"I have personally examined and am familiar with the information submitted in this document and all attachments thereto, and I certify that based on reasonable investigation, including my inquiry of the individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief.</p> <p>I understand that a false statement in the submitted information may be punishable as a criminal offense, in accordance with section 22a-6 of the General Statutes, pursuant to section 53a-157b of the General Statutes, and in accordance with any other applicable statute.</p> <p>I certify that this application is on complete and accurate forms as prescribed by the commissioner without alteration of the text.</p> <p><input checked="" type="checkbox"/> I also certify that I have sent one copy of this completed application to the appropriate local inland wetland agency on _____ " <div style="text-align: center; margin-left: 150px;">Date</div> </p>	
<p>_____ Signature of Applicant</p>	<p>_____ Date</p>
<p>Jeff Stahl Name of Applicant (print or type)</p>	<p>President Title (if applicable)</p>
<p>_____ Signature of Preparer (if different than above)</p>	<p>_____ Date</p>
<p>Nicholas McMahon Name of Preparer (print or type)</p>	<p>Applicator Title (if applicable)</p>
<p><input type="checkbox"/> Check here if additional signatures are required. If so, please reproduce this sheet and attach signed copies to this sheet.</p>	

Note: Please submit this completed Application Form, Fee, and all Supporting Documents to:

CENTRAL PERMIT PROCESSING UNIT
DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION
79 ELM STREET
HARTFORD, CT 06106-5127

Please also submit a copy of this completed application to the local inland wetlands agency.



Legend



300 ft

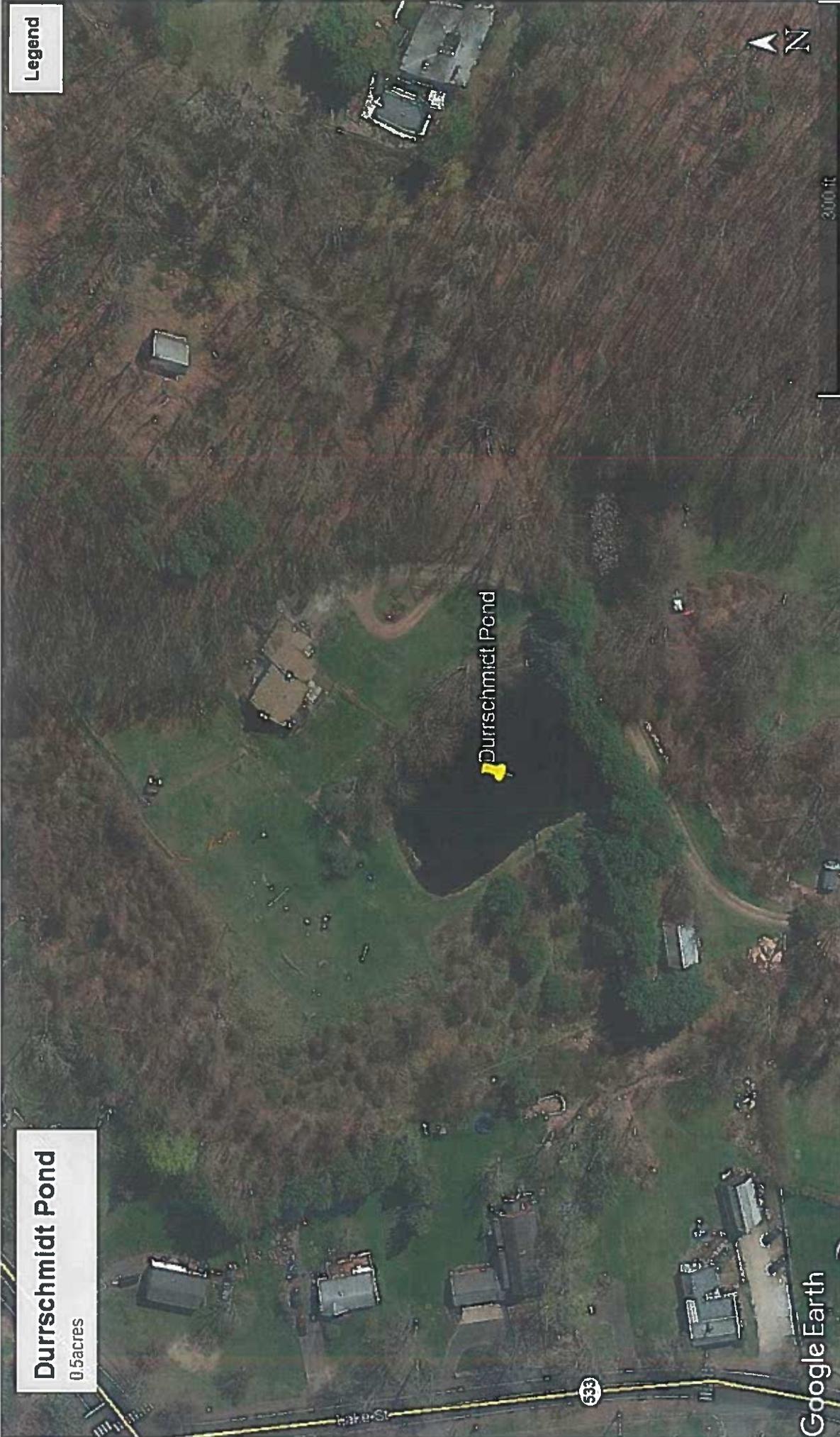
Durrschmidt Pond

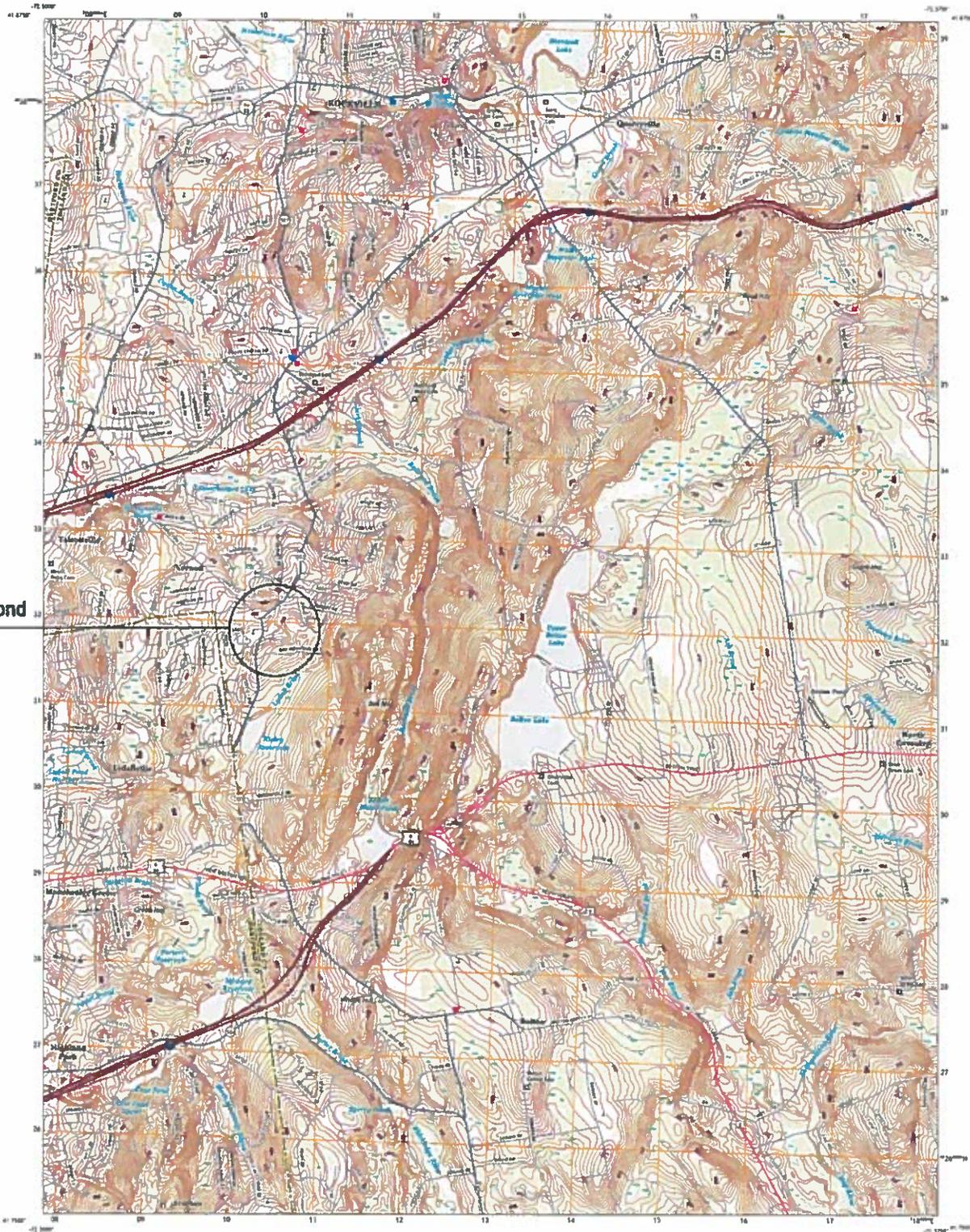
Durrschmidt Pond

0.5 acres

533

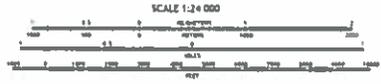
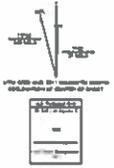
Google Earth





Durschmidt Pond

Produced by the United States Geological Survey
using National Map of 1:50,000 scale
Digital Elevation Model of 1984 (DEM), and
Digital Vector Data of 1984 (DVI).
This map is not a legal document. Boundary data is
generalized for this map scale. Please check with your
respective state and local government
authorities for the latest data. Boundaries shown
are not necessarily accurate.



CONTOUR INTERVAL: 10 FEET
USGS 7.5-MINUTE TOPOGRAPHIC MAP OF 1984
This map was produced in partnership with the
National Geographic Society as part of the
National Geographic Topographic Map Project (1984-1991).
A complete list of the project is available on the
USGS website.



1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ROAD CLASSIFICATION	
Expressway	State Connector
Secondary Road	Local Road
Interstate Road	US Route
	State Route

ROCKVILLE, CT
2018





Connecticut Department of Energy & Environmental Protection

Applicant Compliance Information

DEEP ONLY
App. No.
Co./Ind. No.

Applicant Name: Stahl Holdings LLC:DBA The Pond And Lake Connection

Mailing Address: 1112 Federal Rd

City/Town: Brookfield

State: CT

Zip Code: 06804

Business Phone: 203-885-0184

ext.:

Contact Person: James Gorman

Phone: 845-798-9383 ext.

*E-mail: pondconnection3@gmail.com

If you answer yes to any of the questions below, you must complete the Table of Enforcement Actions on the reverse side of this sheet as directed in the Instructions for your permit application.

- A. During the five years immediately preceding submission of this application, has the applicant been convicted in any jurisdiction of a criminal violation of any environmental law?
B. During the five years immediately preceding submission of this application, has a civil penalty been imposed upon the applicant in any state, including Connecticut, or federal judicial proceeding for any violation of an environmental law?
C. During the five years immediately preceding submission of this application, has a civil penalty exceeding five thousand dollars been imposed on the applicant in any state, including Connecticut, or federal administrative proceeding for any violation of an environmental law?
D. During the five years immediately preceding submission of this application, has any state, including Connecticut, or federal court issued any order or entered any judgement to the applicant concerning a violation of any environmental law?
E. During the five years immediately preceding submission of this application, has any state, including Connecticut, or federal administrative agency issued any order to the applicant concerning a violation of any environmental law?

APPLICATION For RECEIPT

IWC 2020-05 Dart Hill Rd. Bridge





TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: David Smith, P.E.

Title: Town Engineer

Company: Town of Vernon - Town Engineer's Office

Address: 14 Park Place, Vernon, Connecticut 06066

Telephone: 860-870-3690 Fax: _____

E-mail: dasmith@vernon-ct.gov

II. PROPERTY OWNERS

Name: Town Of Vernon

Title: _____

Company: Town of Vernon

Address: 14 Park Place, Vernon, Connecticut 06066

Telephone: 860-870-3690 Fax: _____

E-mail: dasmith@vernon-ct.gov

III. PROPERTY

Address: Dart Hill Road Bridge over Hockanum River, Vernon, Connecticut

Assessor ID Code: Map # 04 Block # 0004 Lot/Parcel # N/A

Land Record Reference to Deed Description: Volume: N/A Page N/A

USGA Location: Dart Hill Road Bridge over Hockanum River

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: R-22

IV. PROJECT

Project Name: Replacement of Bridge No. 03936 Dart Hill Road over Hockanum River

Project Contact Person:

Name: Matthew Sanford

Title: Manager of Natural Resources Planning

Company: Milone and MacBroom, Inc.

Address: 99 Realty Drive, Cheshire, CT 06410

Telephone: 203-271-1773 Fax: _____

E-mail: msanford@mminc.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the **"The Town of Vernon Inland Wetlands and Watercourses Regulations"**.

Purpose: Replace a deteriorating bridge structure and incorporate a sidewalk to improve roadway safety and pedestrian access

General Activities: Replacement of Dart Hill Road Bridge. See attached project description for details.

Regulated Activities: 71 linear feet

Watercourse disturbance (linear feet): _____

Wetlands disturbance (acres or sq. ft.): 0 square feet

Upland Review Area (URA)disturbance: 32,155 square feet (0.74 acres)

Nonregulated activities & activities outside URA: _____

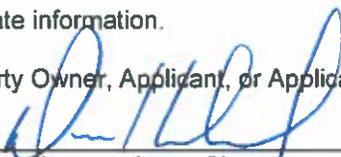
VI. APPLICATION

- Redesignation of Wetlands
- Amendment of Inland Wetlands and Watercourses Regulations
- Modification of a Wetlands Redesignation
- Wetlands Permit
 - Non-significant activity
 - Significant activity with less than 1/2 acre site disturbance
 - Significant activity with site disturbance from 1/2 acre to and including 2 acres
 - Significant activity with site disturbance greater than 2 acres
 - Commission modification of a wetland permit in effect
 - Modification of a wetland permit by ;the Wetlands Agent
- Approval of a license by the Wetlands Agent for activities in an upland
- Appeal of a decision by the Wetlands Agent
- Subdivision review per CGS Section 8-26
- Jurisdictional ruling regarding permitted and nonregulated uses
- Waiver, reduction, or delayed payment of fees (attach statement of justification)
 - Waiver
 - Reduction to \$ _____
 - Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

 _____ Applicant or Agent Signature	David Smith _____ Printed Name	6/15/2020 _____ Date
_____ Owner's Signature, if different	_____ Printed Name	_____ Date

Vernon Town Engineer

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____

PROJECT DESCRIPTION

Replacement of Dart Hill Road over Hockanum River (Bridge No. 03936) | Vernon, Connecticut

June 2020

MMI #2405-19-04

Under the Connecticut Department of Transportation (CTDOT) Local Transportation Capital Improvement Program (LOTICIP), the Town of Vernon (the "Town") seeks to replace the Dart Hill Road bridge over the Hockanum River (Bridge No. 03936). Constructed in 1932, the existing bridge is comprised of a concrete slab superstructure on cast-in-place concrete abutments. A separate pedestrian bridge is supported by the northern wingwalls of the Dart Hill Road bridge, and the pedestrian bridge is comprised of steel girders and timber decking. According to the latest inspection report dated October 16, 2017, the superstructure and substructure of the Dart Hill Road bridge both received satisfactory ratings. The bridge is listed as scour critical with both abutment footings exposed up to 3 inches. The bridge geometry received a rating of "2," indicating the roadway width is substandard for the high traffic volume on Dart Hill Road (approximately 8,755 vehicles per day). Complete replacement of the Dart Hill Road bridge, inclusion of a pedestrian sidewalk along the north side of the bridge, and removal of the existing pedestrian bridge are proposed.

The proposed bridge replacement will include removal of the existing roadway and pedestrian bridges and installation of the new single structure. The bridge will include nine 40-foot-span prestressed box beams and a 6-inch-thick concrete bridge deck atop concrete abutments, three concrete wingwalls (east and west banks downstream and west bank upstream), and one concrete end block northwest of the bridge. The bridge will be widened and lengthened to accommodate a pedestrian sidewalk along the north side of the road and to improve sight lines, over which the Town has expressed concern. Improvements to Dart Hill Road and Thrall Road alignments and modification of associated driveways, sidewalks, and utilities are also proposed.

Bank protection is proposed along both banks of the Hockanum River to provide scour protection. Rounded riprap will be installed along the length of improvements on the east bank and upstream and downstream of the bridge on the west bank. Boulder toe protection will be installed below the existing tree root line on the east bank upstream of the bridge to correct existing scour. The east bank of the river will also be lowered to provide a riparian shelf and accommodate flood flows beneath the bridge. No riprap is proposed to be placed within the channel bottom. Four channel boulders will be placed downstream of the bridge to provide fish habitat. The proposed channel and bridge replacement will allow for year-round fish passage.

Best management practices, including sediment and erosion control measures and temporary dewatering, will be implemented to protect water quality and wildlife during construction, and stormwater management improvements will protect long-term water quality. Additional catch basins will be installed along Dart Hill Road to improve drainage on the site. Existing stormwater outfalls on the west bank downstream of the bridge and east bank upstream of the bridge will be replaced. Sediment and erosion control measures, including sediment filter fence, straw bales, erosion control matting, and inlet protection, will be implemented during construction.

Two types of cofferdams will be used to dewater the area during substructure removal and installation of bank protection and bridge abutments and wingwalls. Sandbag cofferdams and sheet piling cofferdams will isolate work areas from the remainder of the channel for dewatering as shown on proposed project plans. Downstream flow will be maintained within the channel throughout construction. Minor vegetation clearing is required to complete the bridge replacement.

2405-19-04-jn420-rpt-project descrip.docx



Inland Wetland Report
Replacement of Dart Hill Road Bridge
Dart Hill Road Bridge over Hockanum River
Vernon, Connecticut
June 8, 2020

Prepared for:
Town of Vernon
14 Park Place
Vernon, Connecticut 06066

MMI #2405-19-04

Prepared by:
MILONE & MACBROOM, INC.
99 Realty Drive
Cheshire, Connecticut 06410
(203) 271-1773
www.mminc.com



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Site Photographs	Appendix C
Wetland Function-Value Evaluation Forms	Appendix D
Impact Assessment	Appendix E

1.0 INTRODUCTION

On September 11, 2019, Matthew J. Sanford, Professional Wetland Scientist (PWS) and Soil Scientist, and Alyse Oziolor, Wetland Professional in Training (WPIT), with Milone & MacBroom, Inc. (MMI), delineated inland wetlands and watercourses within the vicinity of the proposed Dart Hill Road bridge replacement project located on the Hockanum River in Vernon, Connecticut. The Dart Hill Road bridge is located in a densely settled mixed commercial and residential area of northwest Vernon, Connecticut (Appendix A, Figure 1). The project area includes the Dart Hill Road bridge over the Hockanum River and extends approximately 200 feet upstream and 100 feet downstream of the bridge. The purpose of this investigation was to determine the presence or absence of wetlands and/or watercourses, to demarcate (flag) the boundaries of wetlands and watercourses identified, and to identify on-site soil types.

2.0 METHODOLOGY

Inland wetlands and watercourses were delineated on September 11, 2019, in accordance with state and federal delineation standards. On the day of the review, weather conditions were sunny and dry, with an air temperature of approximately 75° F. The soils were frost free, and site conditions were suitable for wetland delineation work. Delineation methods followed the 1987 U.S. Army Corps of Engineers (USACE) *Wetlands Delineation Manual* (1987) and *Regional Supplement to the Corps of Engineers Wetland Delineation Manual for the Northcentral and Northeast Region* (2012). The classification system of the National Cooperative Soil Survey and *Field Indicators of Hydric Soils in the United States* (USDA, 2017) were used in this investigation. A second-order soil survey in accordance with the principles and practices noted in the United States Department of Agriculture (USDA) publication *Soil Survey Manual* (1993) was completed at the subject site. Soil types were identified by observation of soil morphology (soil texture, color, structure, etc.). To observe the morphology of the property's soils, hand auger borings (maximum depth of 2 feet) were completed at the site. Wetland determinations were completed based on the presence of poorly drained, very poorly drained, alluvial, or floodplain soils and submerged land (e.g., a pond). Intermittent watercourse determinations were made based on the presence of a defined permanent channel and bank and the occurrence of two or more of the following characteristics: A) evidence of scour or deposits of recent alluvium or detritus, B) the presence of standing or flowing water for a duration longer than a particular storm incident, and C) the presence of hydrophytic vegetation. Wetland boundaries were demarcated (flagged) with pink and blue surveyor's tape hung from sturdy vegetation and generally spaced a maximum of every 30 to 50 feet. Complete boundaries are located along the lines that connect these sequentially numbered flags. The wetland boundaries are subject to change until adopted by local, state, or federal regulatory agencies.

3.0 RESULTS

3.1 Soils

Geospatial data was accessed via the United States Department of Agriculture – Natural Resources Conservation Service (USDA-NRCS) web soil survey mapping. The soil survey mapping is appended (Appendix A). The survey identified the following soil mapping unit with associated NRCS map number in the project area:

- Saco silt loam (108)

Our field investigation indicated the presence of Saco silt loam poorly drained and alluvial floodplain soils in some areas adjacent to the channel as well as disturbed udorthent soils along other portions of the channel nearer to the roadway and residential lots. Udorthent soils are those soils that have been significantly impacted by anthropogenic activities. These soils have either been cut and/or filled by at least 2 feet and lack a natural soil profile. Drainage classes within Udorthent soils can vary from somewhat poorly drained to excessively drained soils dependent upon topographic position, soil texture, and compaction.

3.2 Wetlands and Watercourses

MMI delineated federal- and state-regulated jurisdictional wetlands and watercourses within the project area (Appendix A, Figure 2). The federal and state wetland boundaries are located adjacent to a federally regulated watercourse occupying the associated floodplain. For this site, no permits are being sought to impact federal wetlands; therefore, no Corps Wetland Determination Data Forms have been completed for this project.

Federal wetland and water resource areas on site consist of the Hockanum River and its associated floodplain wetlands. The Hockanum River, a perennial watercourse, flows southwest beneath Dart Hill Road and drains to the Connecticut River approximately 11 miles southwest of the project area. According to United States Geological Survey (USGS) *StreamStats* program, the local watershed to this portion of the Hockanum River is approximately 26.5 square miles. There is a mapped Federal Emergency Management Agency (FEMA) floodway and 100-year floodplain surrounding the Hockanum River. The Hockanum River supports a cold- and warm-water fishery resource and is classified by the Connecticut Department of Energy & Environmental Protection (CTDEEP) as a Class B watercourse. Class B watercourses are suitable for recreational use but not as a potential drinking water source.

The Hockanum River is characterized by riffle/run fluvial geomorphology in the vicinity of the project, and substrate consists of cobble, sand, and gravel. The banks of the Hockanum River are approximately 2 feet tall, well vegetated, and in generally stable condition. Some erosion was observed upstream of the bridge at the base of a stormwater outfall pipe located on the eastern bank. Downstream of the bridge, an additional stormwater outfall exists on the west bank, and old sidewalk slabs are located along the eastern bank abutting the southeast wingwall of the bridge structure. Dominant species found along the upland banks include red maple (*Acer rubrum*), silver maple (*Acer saccharinum*), Norway maple (*Acer platanoides*), sugar maple (*Acer*

saccharum), white pine (*Pinus strobus*), American elm (*Ulmus americana*), and Black locust (*Robinia pseudoacacia*). The shrub stratum is dominated by multiflora rose (*Rosa multiflora*) and European privet (*Ligustrum vulgare*) entangled with Oriental bittersweet (*Celastrus orbiculatus*) vines. Groundcover consists of poison ivy (*Toxicodendron radicans*), common wood sorrel (*Oxalis stricta*), Japanese stiltgrass (*Microstegium vimineum*), and enchanter's nightshade (*Circaea lutetiana*).

Federal wetland areas that border the river are classified as palustrine forested wetlands. These wetland areas are hydrologically supported by groundwater, flood flows, and stormwater runoff. Federal wetlands abut the west bank of the Hockanum River approximately 160 feet upstream of Dart Hill Road. These wetlands contain a red maple and American elm canopy and a moderate shrub layer of silky dogwood (*Cornus amomum*) below. Jewelweed (*Impatiens capensis*) and skunk cabbage (*Symplocarpus foetidus*) cover the ground. Downstream of Dart Hill Road, a man-made vegetated earthen berm lines the eastern bank of the Hockanum River. A federal wetland was delineated east of this berm and has a surface water connection (i.e., channel) to the river approximately 100 feet downstream of the bridge. This wetland does not contain a shrub layer although a dense canopy includes red maple, sugar maple, black cherry (*Prunus serotina*), and Eastern hemlock (*Tsuga canadensis*) rooted at the perimeter of the wetland. Groundcover consists of jewelweed, sensitive fern (*Onoclea sensibilis*), skunk cabbage, and poison ivy. Runoff from Dart Hill Road is conveyed to this wetland via a bituminous concrete paved leakoff that slopes south and drains into the wetland.

A state wetland was delineated along the western bank of the river approximately 30 feet downstream of the bridge. This state wetland is supported by flood flows from the Hockanum River. The wetland contains large silver maple trees and has a moderate density shrub layer consisting of multiflora rose and European privet with dense groundcover of Japanese stiltgrass, jewelweed, poison ivy, enchanter's nightshade, and jack-in-the-pulpit (*Arisaema serratum*).

A Wetland Function-Value Evaluation Form from the Highway Methodology Workbook Supplement was completed for the Hockanum River riparian corridor (Appendix D). The principal functions and values of the Hockanum River riparian corridor include the following:

- Groundwater discharge
- Flood flow alteration and attenuation
- Fishery habitat (cold and warm water)
- Sediment/toxicant retention
- Wildlife habitat
- Bank stabilization
- Production export (allochthonous materials to downstream habitats)

An assessment of potential impacts to wetlands and watercourses associated with the proposed replacement of Dart Hill Road Bridge can be found in Appendix E.

2405-19-04-jn820-rpt.docx

APPENDIX A

SITE MAPS



Proposed Bridge Replacement

LEGEND
 Approximate Project Area



99 Realty Drive
 Cheshire, Connecticut 06410
 (203) 271-1773
 www.mminc.com

SITE LOCATION

DART HILL ROAD BRIDGE REPLACEMENT

DART HILL ROAD AND THRALL ROAD
 VERNON, CONNECTICUT

SOURCE: 2013 TOOGRAPHIC MAP, NATIONAL GEOGRAPHIC SOCIETY

DATE: JANUARY 6, 2020

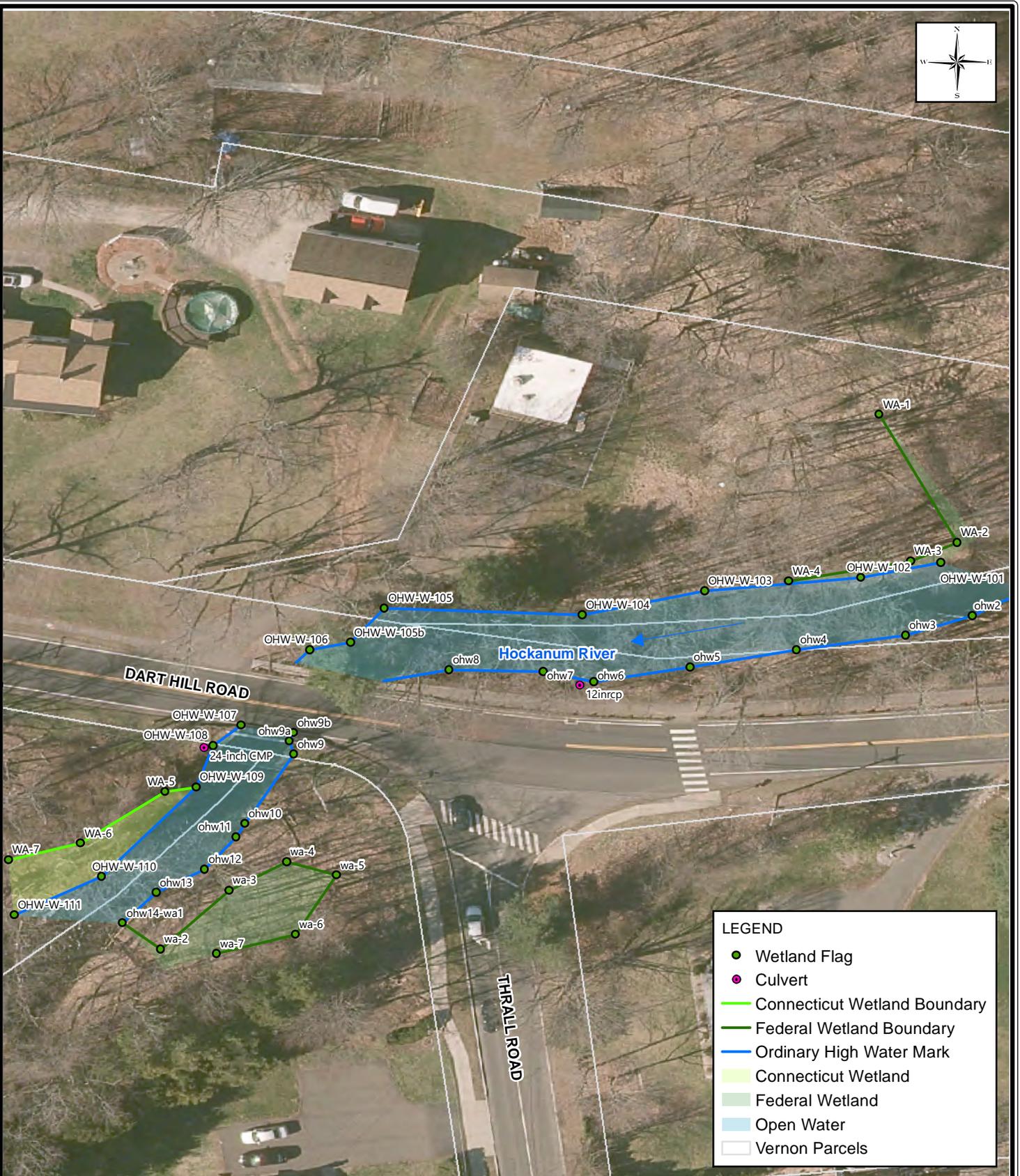
SCALE: 1" = 1,000'

PROJ. NO.: 2405-19

DESIGNED AYO	DRAWN AYO	CHECKED MJS
-----------------	--------------	----------------

DRAWING NAME:

FIG. 1



LEGEND

- Wetland Flag
- Culvert
- Connecticut Wetland Boundary
- Federal Wetland Boundary
- Ordinary High Water Mark
- Connecticut Wetland
- Federal Wetland
- Open Water
- Vernon Parcels

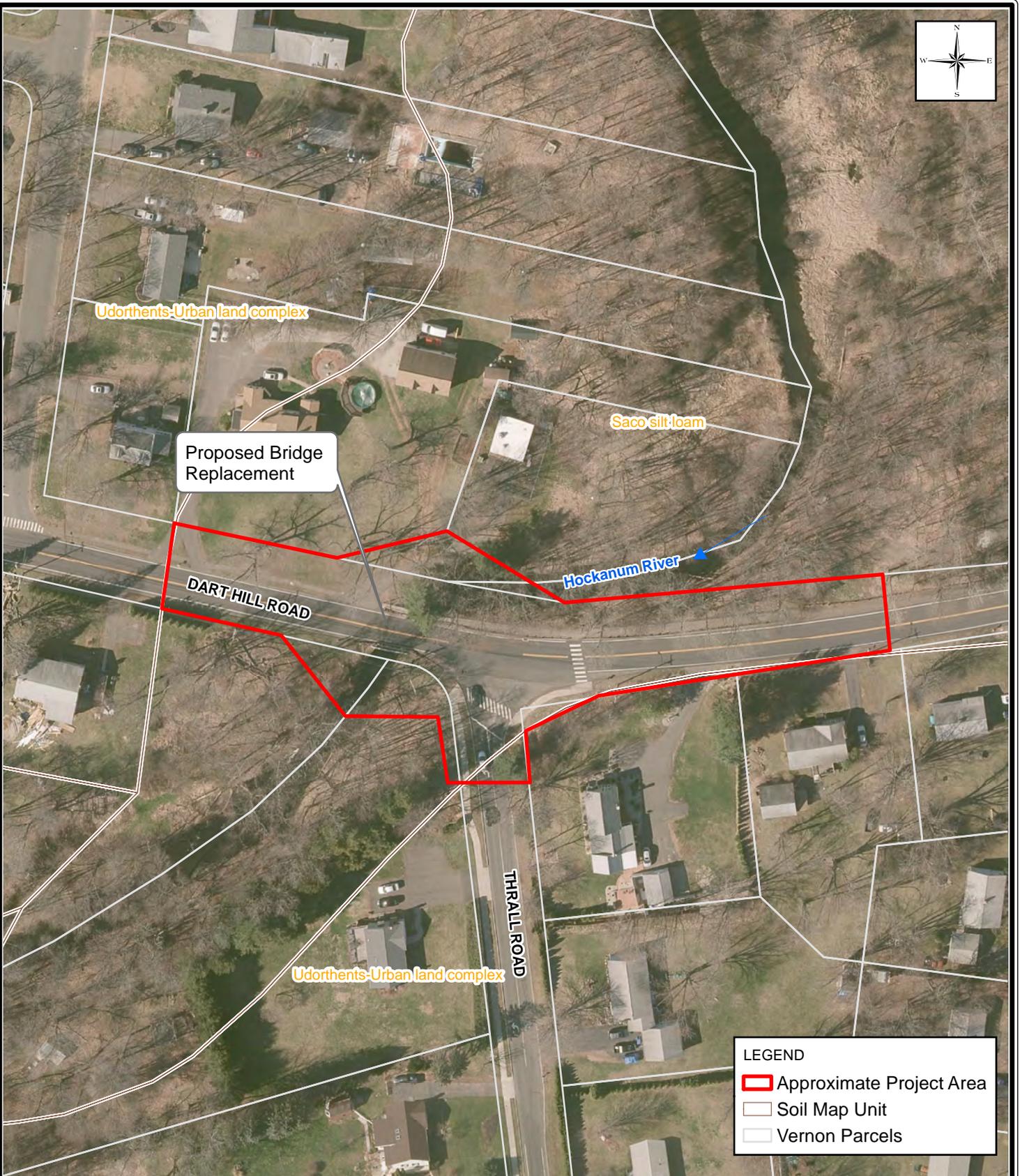
MILONE & MACBROOM
 195 Church Street
 New Haven, Connecticut 06510
 (203) 344-7887
 www.mminc.com

WETLAND DELINEATION
DART HILL ROAD BRIDGE REPLACEMENT
 DART HILL ROAD OVER HOCKANUM RIVER
 VERNON, CONNECTICUT

SOURCE: 2016 AERIAL PHOTO, CTDEEP

DATE: OCTOBER 14, 2019
 SCALE: 1" = 60'
 PROJ. NO.: 2405-19
 DESIGNED: AYO DRAWN: AYO CHECKED: MJS

DRAWING NAME:
FIG. 2



LEGEND

- Approximate Project Area
- Soil Map Unit
- Vernon Parcels



99 Realty Drive
 Cheshire, Connecticut 06410
 (203) 271-1773
 www.mminc.com

NRCS SOIL MAP UNITS

DART HILL ROAD BRIDGE REPLACEMENT

DART HILL ROAD AND THRALL ROAD
 VERNON, CONNECTICUT

SOURCE: 2016 AERIAL PHOTO, CTDEEP

DATE: JANUARY 6, 2020

SCALE: 1" = 100'

PROJ. NO.: 2405-19

DESIGNED AYO	DRAWN AYO	CHECKED MJS
-----------------	--------------	----------------

DRAWING NAME:

FIG. 3

APPENDIX B

CORPS WETLAND DETERMINATION DATA FORMS
(NOT INCLUDED- NO PERMIT IMPACTS ASSOCIATED WITH FEDERAL WETLANDS)

APPENDIX C

SITE PHOTOGRAPHS



Client Name:
Town of Vernon

Site Location:
Dart Hill Road Bridge over Hockanum River

Project No.
2405-19

Photo No.
1

Date:
8/05/2019

Direction Photo Taken:
Southwest

Description:
Downstream side of Dart Hill Road bridge over the Hockanum River. Concrete slabs stacked on east bank adjacent to abutment.



Photo No.
2

Date:
8/05/2019

Direction Photo Taken:
North

Description:
Upstream side of Dart Hill Road bridge over the Hockanum River.





Client Name:
Town of Vernon

Site Location:
Dart Hill Road Bridge over Hockanum River

Project No.
2405-19

Photo No.
3

Date:
9/11/2019

Direction Photo Taken:
Southwest

Description:
Hockanum River upstream
of Dart Hill Road bridge.



Photo No.
4

Date:
9/11/2019

Direction Photo Taken:
North

Description:
Hockanum River
downstream of Dart Hill
Road bridge, facing
upstream. State alluvial
floodplain wetlands visible
along west (left) bank.





Client Name:
Town of Vernon

Site Location:
Dart Hill Road Bridge over Hockanum River

Project No.
2405-19

Photo No.
5

Date:
9/11/2019

Direction Photo Taken:
South



Description:
Hockanum River downstream of Dart Hill Road bridge, facing downstream. State alluvial floodplain wetlands visible along west (right) bank.

Photo No.
6

Date:
9/11/2019

Direction Photo Taken:
South



Description:
Federal wetlands along east bank of Hockanum River, downstream of Dart Hill Road bridge. Manmade berm on the right separates this wetland from the river.

APPENDIX D

WETLAND FUNCTION-VALUE EVALUATION FORMS

Wetland Function-Value Evaluation Form

Wetland I.D. Hockanum River and state and federal wetlands
 Latitude 41.612416 N Longitude -73.11931 E
 Prepared by: AYO Date 9/11/2019
 Wetland Impact:
 Type _____ Area _____
 Evaluation based on: _____
 Office _____ Field
 Corps manual wetland delineation completed? Y X _____ N _____

Total area of wetland acres Human made? no Is wetland part of a wildlife corridor? yes or a "habitat island"? no
 Adjacent land use Residential Distance to nearest roadway or other development 0 ft
 Dominant wetland systems present riverine perennial unconsolidated bottom Contiguous undeveloped buffer zone present no
 Is the wetland a separate hydraulic system? no If not, where does the wetland lie in the drainage basin? mid
 How many tributaries contribute to the wetland? 1 Wildlife & vegetation diversity/abundance (see attached list)

Function/Value	Suitability Y / N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	Y	4,5,7,11	N	No seeps or groundwater inputs observed in associated wetlands. However, Hockanum River provides groundwater discharge.
Floodflow Alteration	Y	5,6,7,8,9,10,13	Y	Wetlands are located within the Hockanum River FEMA floodplain.
Fish and Shellfish Habitat	Y	1,3,4,5,7,8,10,14,15,16,17	Y	Hockanum River provides suitable habitat for a cold and warm-water fishery. Wetlands do not provide fish or shellfish habitat.
Sediment/Toxicant Retention	Y	3,4,9,10	N	Wetlands do not provide significant sediment/toxicant retention.
Nutrient Removal	Y	3,7,14	N	Wetlands do not provide significant nutrient removal.
Production Export	Y	1,2,5,6,10	Y	Hockanum River provides perennial flow for export.
Sediment/Shoreline Stabilization	Y	1,6,9,14	Y	Trees exist along majority of banks, providing bank stabilization.
Wildlife Habitat	Y	2,6,7,8,12	Y	Hockanum River connects this wetland to other wetlands and uplands.
Recreation	N	6	N	The watercourse is surrounded by private residential properties, with the exception of the bridge.
Educational/Scientific Value	N	13	N	The watercourse is surrounded by private residential properties, with the exception of the bridge.
Uniqueness/Heritage	N	3,7,10,14,16,17,22	N	The wetland does not provide unique values.
Visual Quality/Aesthetics	N	3,11	N	The wetland does not provide significant aesthetic value.
ES Endangered Species Habitat	N		N	The wetland is located outside of NDDB mapping dating December 2019.
Other				

Notes: _____
 * Refer to backup list of numbered considerations.

APPENDIX E

IMPACT ASSESSMENT

APPENDIX E

WETLAND IMPACT ASSESSMENT

The following wetland impact assessment is based on project plans entitled "Replacement of Bridge No. 03936 Dart Hill Road over Hockanum River," prepared by Milone & MacBroom, Inc. The proposed project will replace the existing Dart Hill Road bridge with a new 40-foot clear-span bridge constructed of 24-inch-deep prestressed box beams and a 6-inch-thick concrete deck atop concrete abutments. This new bridge has been designed to provide a 1.2-times bankfull width opening and has a proposed critter crossing shelf beneath the bridge. In addition, the project includes the installation of random boulders within the Hockanum River per Connecticut Department of Energy & Environmental Protection fisheries biologist request to provide more habitat diversity for the fish community. Lastly, boulder revetments will provide bank stabilization along the east bank, and boulder toe protection will be installed on the west bank.

Alteration of on-site wetlands and watercourses has been minimized to the greatest extent practicable. The proposed project will result in 1,260 square feet of temporary disturbance within the Hockanum River and 73 square feet of permanent alteration of the Hockanum River. Best management practices, such as geotextile silt fence and cofferdams for dewatering during construction, have been incorporated into proposed project plans to protect water quality, wetland and watercourse resources, and wildlife during construction.

Based on our assessment of habitat restoration measures and the protection measures that are being implemented, it is our professional opinion that there will be no long-term significant adverse impacts to wetlands or watercourses within the project area. No significant adverse impacts to wetlands and/or watercourses are anticipated to result from the proposed project.

2405-19-04-jn820-app e.docx

REPLACEMENT OF BRIDGE NO. 03936 DART HILL ROAD OVER HOCKANUM RIVER

DART HILL ROAD
VERNON, CONNECTICUT

MMI PROJECT NO. 2405-19
STATE PROJECT NO. L146-0002
MAY 29, 2020

LIST OF DRAWINGS

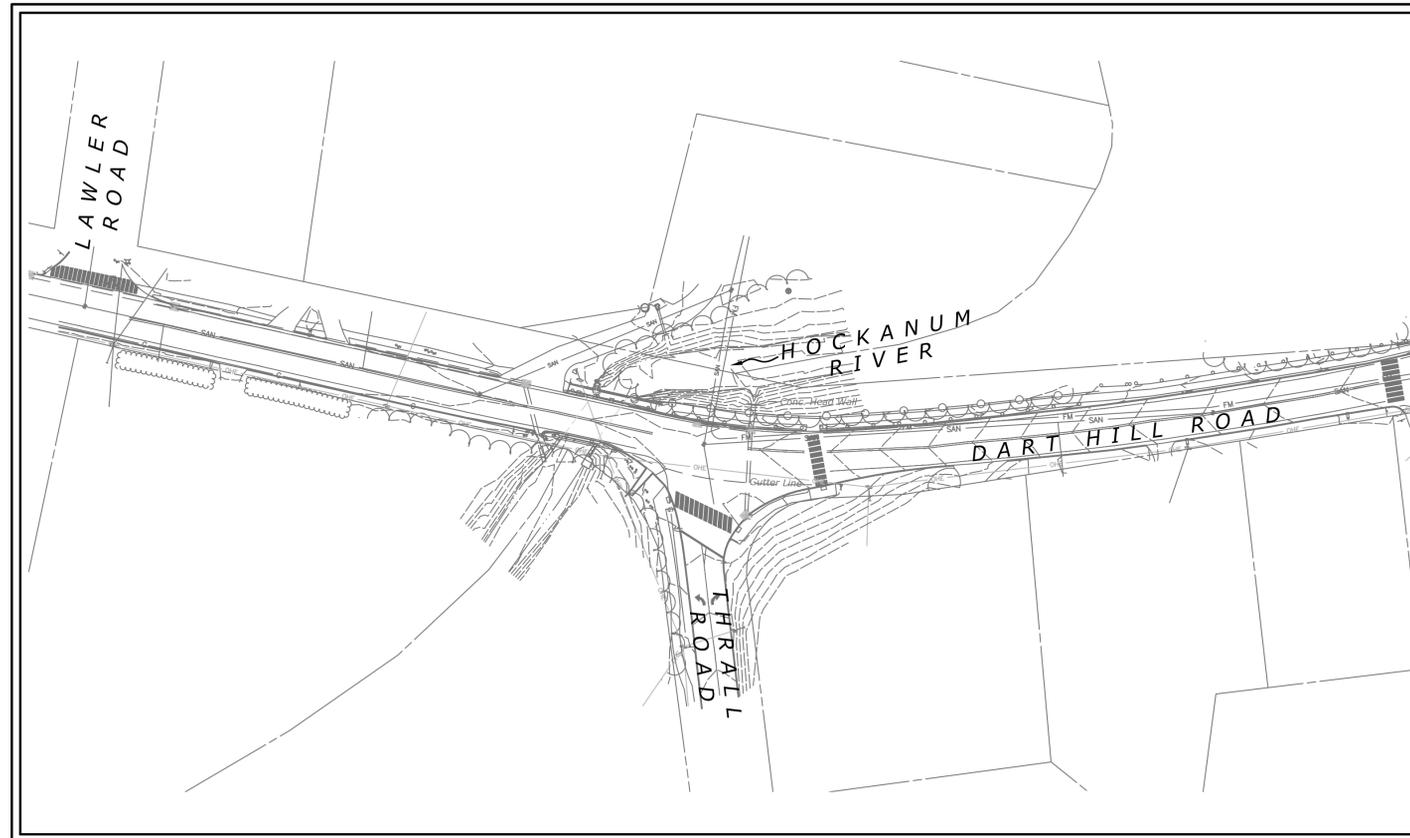
NO.	NAME	TITLE
01	TITLE	TITLE SHEET
02	N-01	NOTES, LEGEND & TYPICAL SECTION
03 - 04	EX-01 - EX-02	EXISTING CONDITIONS & PROPOSED BASELINE
05 - 06	PLN-01 - PLN-02	ROADWAY PLAN
07 - 08	PRO-01 - PRO-02	ROADWAY PROFILE
09	ROW-01	RIGHTS-OF-WAY PLAN
10	SE-01	SEDIMENT AND EROSION CONTROL PLAN
11 - 12	RES-01 - RES-02	RESTORATION PLAN
13	GRA-01	INTERSECTION GRADING PLAN
14	STR-01	BRIDGE PLAN, ELEVATION & SECTION
15	STR-02	BORING LOGS
16	STR-03	ABUTMENT NO. 1 - PLAN & ELEVATION
17	STR-04	ABUTMENT NO. 2 - PLAN & ELEVATION
18	STR-05	SUBSTRUCTURE DETAILS
19	STR-06	DECK PLAN
20	STR-07	FRAMING PLAN
21	STR-08	PRESTRESSED DECK UNITS DETAILS
22	STR-09	END BLOCK 1A, 1B, & 2B - PLAN & ELEVATION
23	STR-10	CURB WALL & END BLOCK 2A - PLAN & ELEVATION
24	STR-11	STRUCTURAL & MISCELLANEOUS DETAILS
25 - 26	STR-12 - STR-13	BRIDGE RAILING DETAILS
27	MPT-01	DETOUR PLAN
28 - 29	MPT-02 - MPT-03	CONSTRUCTION STAGING PLANS
30 - 35	XSC-01 - XSC-06	CROSS SECTIONS
36 - 40	MSD-01 - MSD-05	MISCELLANEOUS SITE DETAILS
41 - 43	TD-01 - TD-03	TRAFFIC SIGN DETAILS

CONDOT HIGHWAY STANDARD DRAWINGS

NAME	TITLE
HW_INX	HIGHWAY STANDARD SHEET INDEX (2 SHEETS)
HW-822_01	TEMPORARY PRECAST CONCRETE BARRIER CURB
HW-910_20	MASH W-BEAM HARDWARE
HW-910_21	METAL BEAM RAIL (R-B MASH) GUIDERAIL
HW-910_25	METAL BEAM RAIL TRANSITION 350 TO MASH
HW-911_01	R-B END ANCHORAGE TYPE I AND II

CONDOT TRAFFIC STANDARD DRAWINGS

NAME	TITLE
TR-STD-INDEX	TRAFFIC STANDARD SHEET INDEX
TR-1205_01	DELINEATION, DELINEATORS AND OBJECT MARKERS
TR-1208_01	SIGN PLACEMENT AND RETROREFLECTIVE STRIP DETAILS
TR-1208_02	METAL SIGN POSTS AND SIGN MOUNTING DETAILS
TR-1210_04	PAVEMENT MARKING LINE AND SYMBOLS
TR-1220_01	SIGN FOR CONSTRUCTION AND PERMIT OPERATIONS
TR-1220_02	CONSTRUCTION SIGN SUPPORTS AND CHANNELIZING DEVICES



PROJECT SITE VICINITY MAP:

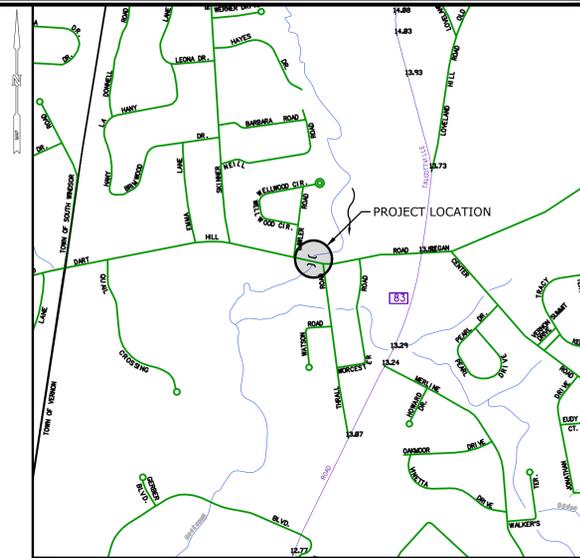


90% DESIGN SUBMISSION

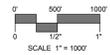
PREPARED BY:



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
WWW.MMINC.COM



LOCATION MAP:



PREPARED FOR:

TOWN OF VERNON
14 PARK PLACE
VERNON, CT 06066

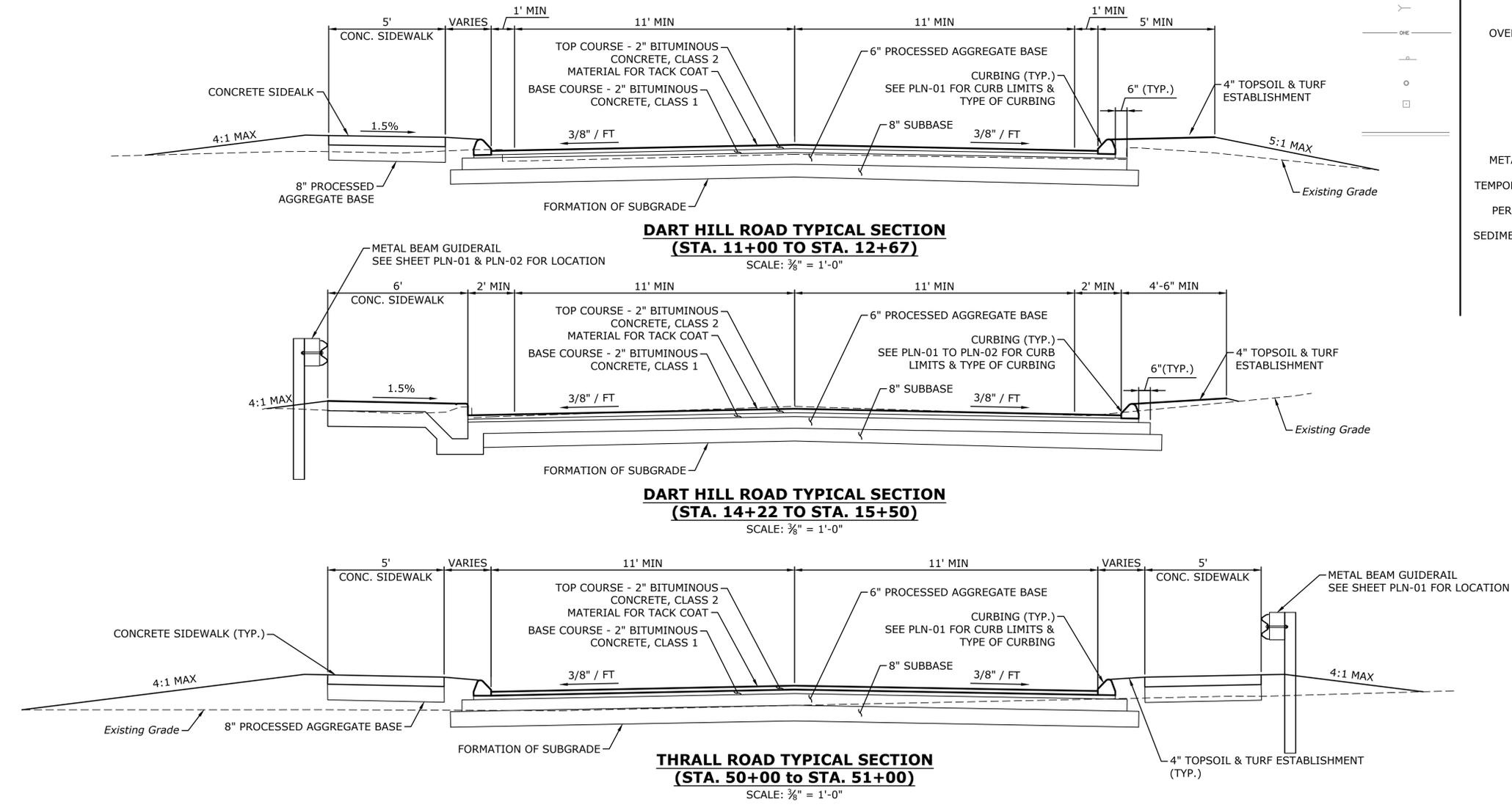


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GENERAL NOTES

- MILONE AND MACBROOM INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- THE PROPERTY LINES DEPICTED HAVE BEEN COMPILED FROM VARIOUS SOURCES INCLUDING TOWN OF VERNON LAND RECORDS AND ARE NOT TO BE CONSTRUED AS BEING OBTAINED AS THE RESULT OF A FIELD SURVEY, NOR DO THEY REPRESENT A PROPERTY/BOUNDARY OPINION.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH APPROPRIATE UTILITY COMPANIES REGARDING RELOCATION AND PROTECTION OF THEIR FACILITIES AND SCHEDULING OF SUCH WORK.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, FORM 818 (2020), AND SPECIAL PROVISIONS.
- THE CONTRACTOR SHALL BE AWARE OF THE WORK WHICH IS TO BE PERFORMED WITHIN AND ADJACENT TO PRIVATE PROPERTY RIGHT-OF-WAYS.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - REVISED 2002", AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- CONTRACTOR TO STAKE OUT WORK LIMITS AND COORDINATE SELECTIVE CLEARING WITH THE TOWN. NO SEPARATE PAYMENT.
- CONSTRUCTION EQUIPMENT SHALL BE STORED OUTSIDE OF AREAS SUBJECT TO FLOODING.

EXISTING		LEGEND		PROPOSED	
	PROPERTY LINE		STREET LINE		CONTOUR
	CONTOUR		SPOT GRADE		SPOT GRADE
	STATE WETLAND BOUNDARY		FEDERAL WETLAND BOUNDARY		FEDERAL WETLAND BOUNDARY
	WATERCOURSE LINE		ORDINARY HIGH WATER		ORDINARY HIGH WATER
	FEMA FLOODWAY		FEMA FLOODWAY & 100-YR FLOODPLAIN		FEMA FLOODWAY & 100-YR FLOODPLAIN
	FEMA 100-YEAR FLOODPLAIN		ADJUSTED 100-YEAR FLOODPLAIN		ADJUSTED 100-YEAR FLOODPLAIN
	TREE LINE		TREE		TREE
	BRUSH LINE		WIRE FENCE		WIRE FENCE
	TREE		BARBWIRE FENCE		BARBWIRE FENCE
	WIRE FENCE		GUIDERAIL		GUIDERAIL
	BARBWIRE FENCE		STORM DRAIN W/ CATCH BASIN		STORM DRAIN W/ CATCH BASIN
	GUIDERAIL		MANHOLE		MANHOLE
	STORM DRAIN W/ CATCH BASIN		UTILITY POLE		UTILITY POLE
	MANHOLE		GUY WIRE		GUY WIRE
	UTILITY POLE		OVERHEAD UTILITY LINE		OVERHEAD UTILITY LINE
	GUY WIRE		SIGN		SIGN
	OVERHEAD UTILITY LINE		IRON PIPE		IRON PIPE
	SIGN		MONUMENT		MONUMENT
	IRON PIPE		CURB		CURB
	MONUMENT		METAL BEAM GUIDERAIL		METAL BEAM GUIDERAIL
	CURB		TEMPORARY WORK EASEMENT		TEMPORARY WORK EASEMENT
	METAL BEAM GUIDERAIL		PERMANENT EASEMENT		PERMANENT EASEMENT
	TEMPORARY WORK EASEMENT		SEDIMENT EROSION CONTROL SYSTEM		SEDIMENT EROSION CONTROL SYSTEM
	PERMANENT EASEMENT		CUT LIMIT		CUT LIMIT
	SEDIMENT EROSION CONTROL SYSTEM		FILL LIMIT		FILL LIMIT
	CUT LIMIT		BORING		BORING
	FILL LIMIT				
	BORING				



BY	DATE	DESCRIPTION

NOTES, LEGEND & TYPICAL SECTION
 REPLACEMENT OF BRIDGE NO. 09336
 DART HILL ROAD OVER HOCKANUM RIVER
 DART HILL ROAD
 VERNON, CONNECTICUT

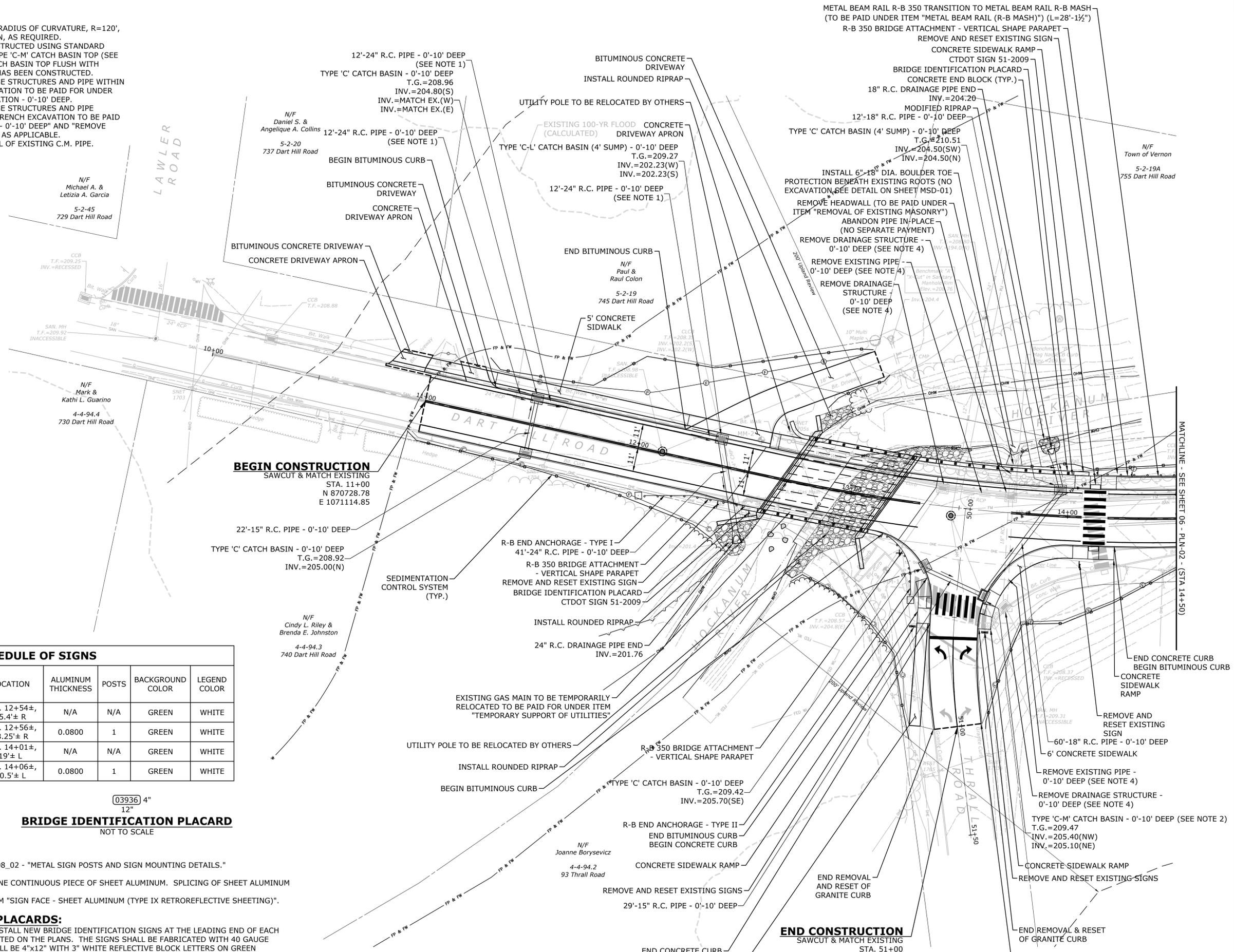
KP	JMM	KP
DESIGNED	DRAWN	CHECKED
AS SHOWN		
DATE		
MAY 29, 2020		
PROJECT NO.		
2405-19		
DRAWING NO.		
N-01		

02

10/20/2019 - 10/20/2020 - 10/20/2021 - 10/20/2022 - 10/20/2023 - 10/20/2024 - 10/20/2025 - 10/20/2026 - 10/20/2027 - 10/20/2028 - 10/20/2029 - 10/20/2030

NOTES

1. USE 4' PIPE LENGTHS AND MINIMUM RADIUS OF CURVATURE, R=120', TO RECONNECT PIPE TO CATCH BASIN, AS REQUIRED.
2. TYPE 'C-M' CATCH BASIN TO BE CONSTRUCTED USING STANDARD CATCH BASIN COMPONENTS WITH TYPE 'C-M' CATCH BASIN TOP (SEE DETAIL ON SHEET MSD-01). SET CATCH BASIN TOP FLUSH WITH SIDEWALK RAMP CURB AFTER RAMP HAS BEEN CONSTRUCTED.
3. REMOVAL OF EXISTING R.C. DRAINAGE STRUCTURES AND PIPE WITHIN LIMITS OF DRAINAGE TRENCH EXCAVATION TO BE PAID FOR UNDER "ROCK IN DRAINAGE TRENCH EXCAVATION - 0'-10' DEEP".
4. REMOVAL OF EXISTING R.C. DRAINAGE STRUCTURES AND PIPE OUTSIDE THE LIMITS OF DRAINAGE TRENCH EXCAVATION TO BE PAID FOR UNDER "REMOVE EXISTING PIPE - 0'-10' DEEP" AND "REMOVE EXISTING STRUCTURE - 0'-10' DEEP", AS APPLICABLE.
5. NO SEPARATE PAYMENT FOR REMOVAL OF EXISTING C.M. PIPE.



SCHEDULE OF SIGNS

CTDOT SIGN NO.	SIZE	LEGEND	LOCATION	ALUMINUM THICKNESS	POSTS	BACKGROUND COLOR	LEGEND COLOR
N/A	12"x4"	03936	STA. 12+54±, 15.4'± R	N/A	N/A	GREEN	WHITE
51-2009	18"x12"	HOCKANUM RIVER	STA. 12+56±, 18.25'± R	0.0800	1	GREEN	WHITE
N/A	12"x4"	03936	STA. 14+01±, 19'± L	N/A	N/A	GREEN	WHITE
51-2009	18"x12"	HOCKANUM RIVER	STA. 14+06±, 20.5'± L	0.0800	1	GREEN	WHITE

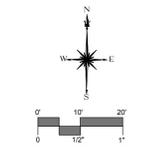


CTDOT SIGN NO. 51-2009

- SIGN NOTES:**
1. POSTS - SEE STANDARD SHEET TR-1208_02 - "METAL SIGN POSTS AND SIGN MOUNTING DETAILS."
 2. POSTS SHALL BE 4 LB/FT.
 3. SIGNS SHALL BE FABRICATED FROM ONE CONTINUOUS PIECE OF SHEET ALUMINUM. SPLICING OF SHEET ALUMINUM WILL NOT BE ACCEPTED.
 4. SIGNS SHALL BE PAID FOR UNDER ITEM "SIGN FACE - SHEET ALUMINUM (TYPE IX RETROREFLECTIVE SHEETING)".

BRIDGE IDENTIFICATION PLACARDS:

THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW BRIDGE IDENTIFICATION SIGNS AT THE LEADING END OF EACH BRIDGE END BLOCK/WINGWALL AS INDICATED ON THE PLANS. THE SIGNS SHALL BE FABRICATED WITH 40 GAUGE ALUMINUM SHEET METAL. THE SIGNS SHALL BE 4"x12" WITH 3" WHITE REFLECTIVE BLOCK LETTERS ON GREEN REFLECTIVE SHEETING. EACH SIGN SHALL READ: 03936. THE FINAL LOCATION AND ATTACHMENT METHOD FOR THE SIGN SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ALL COSTS ASSOCIATED WITH PROVIDING AND INSTALLING THE BRIDGE IDENTIFICATION PLACARDS SHALL BE PAID UNDER THE ITEM #1208931 - SIGN FACE - SHEET ALUMINUM (TYPE IX RETROREFLECTIVE SHEETING).



DATE	DESCRIPTION

ROADWAY PLAN
 REPLACEMENT OF BRIDGE NO. 03936
 DART HILL ROAD OVER HOCKANUM RIVER
 VERNON, CONNECTICUT

DP/JDM	SEP	KP
DESIGNED	DRAWN	CHECKED
SCALE: 1"=20'		
DATE: MAY 29, 2020		
PROJECT NO.: 2405-19		
DRAWING NO.: PLN-01		
05		

SEDIMENT & EROSION CONTROL SPECIFICATIONS

GENERAL

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES, AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

LAND GRADING

GENERAL

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - a. THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - b. THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - c. THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
 - d. PROVISION SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM DRAINS TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
 - e. EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING, OR CRACKING.
 - f. NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES, OR WATERBODIES.
 - g. PRIOR TO ANY REGRADING, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE. THE WORK SHALL BE PAID UNDER THE ITEM "ANTI-TRACKING PAD."

EROSION CHECKS

GENERAL

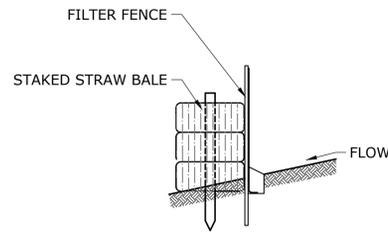
1. TEMPORARY PVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION

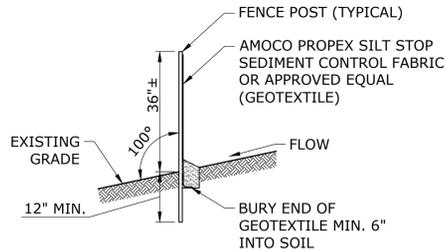
1. BALES SHOULD BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR INCHES (4").
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. GEOTEXTILE FABRIC SHALL BE SECURELY ANCHORED AT THE TOP OF A THREE FOOT (3') HIGH FENCE AND BURIED A MINIMUM OF FOUR INCHES (4") TO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO FEET (2').

INSTALLATION AND MAINTENANCE

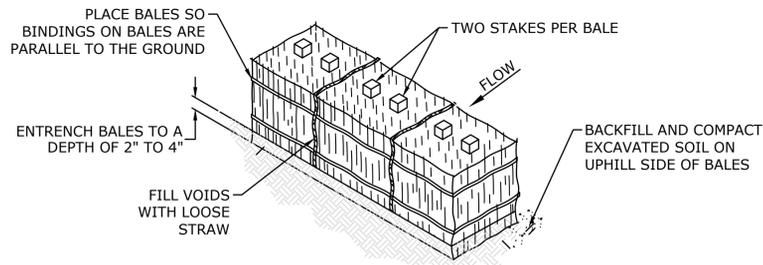
1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
2. BALED HAY EROSION BARRIERS AND GEOTEXTILE FENCE SHALL BE INSTALLED AT THE LOCATION INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.
3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
4. INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORMWATER FLOW OR DRAINAGE.



SEDIMENT FILTER FENCE AND HAY BALE
NOT TO SCALE

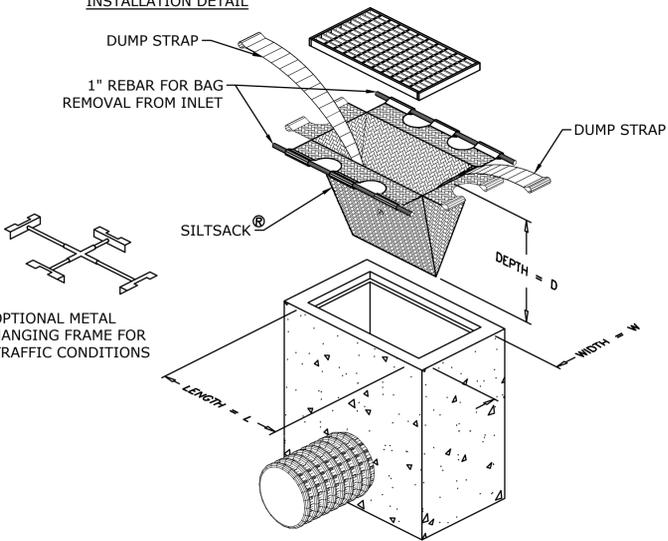
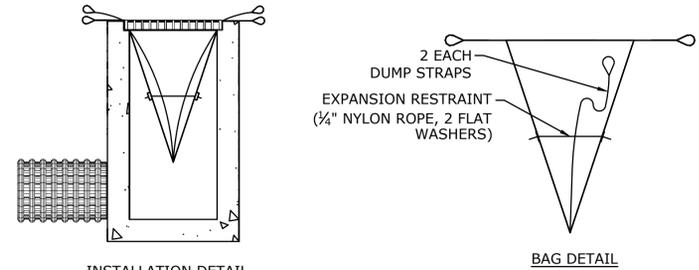


SEDIMENT FILTER FENCE
NOT TO SCALE



1. IDEALLY, BALES SHOULD BE ENTRENCHED 2 TO 4 INCHES AND TIGHTLY BUTTED TOGETHER. BALES CAN BE SUCCESSFULLY PLACED WITHOUT A TRENCH IF GOOD GROUND CONTACT IS MADE. REMOVE HEAVY BRUSH AND FILL ALL VOIDS WITH LOOSE STRAW.
2. BALES SHALL BE ONLY USED AS A TEMPORARY BARRIER AND FOR NO LONGER THAN 60 DAYS.
3. WHEN SEDIMENTATION DEPOSITS REACH WITHIN 3" OF THE TOP OF BALES, REMOVE SEDIMENTATION OR ADD ADDITIONAL BALES ON SEDIMENTATION DIRECTION BEHIND FIRST ROW OF BALES AS DIRECTED BY THE ENGINEER.
4. UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS AND WHEN DIRECTED BY THE ENGINEER, HAY BALES WILL BE REMOVED AND USED AS MULCH. ANY SEDIMENTATION WILL BE THINLY SPREAD UPON ESTABLISHED GROUND COVER.

HAYBALE BARRIER PROTECTION
NOT TO SCALE



INLET PROTECTION DETAIL
NOT TO SCALE



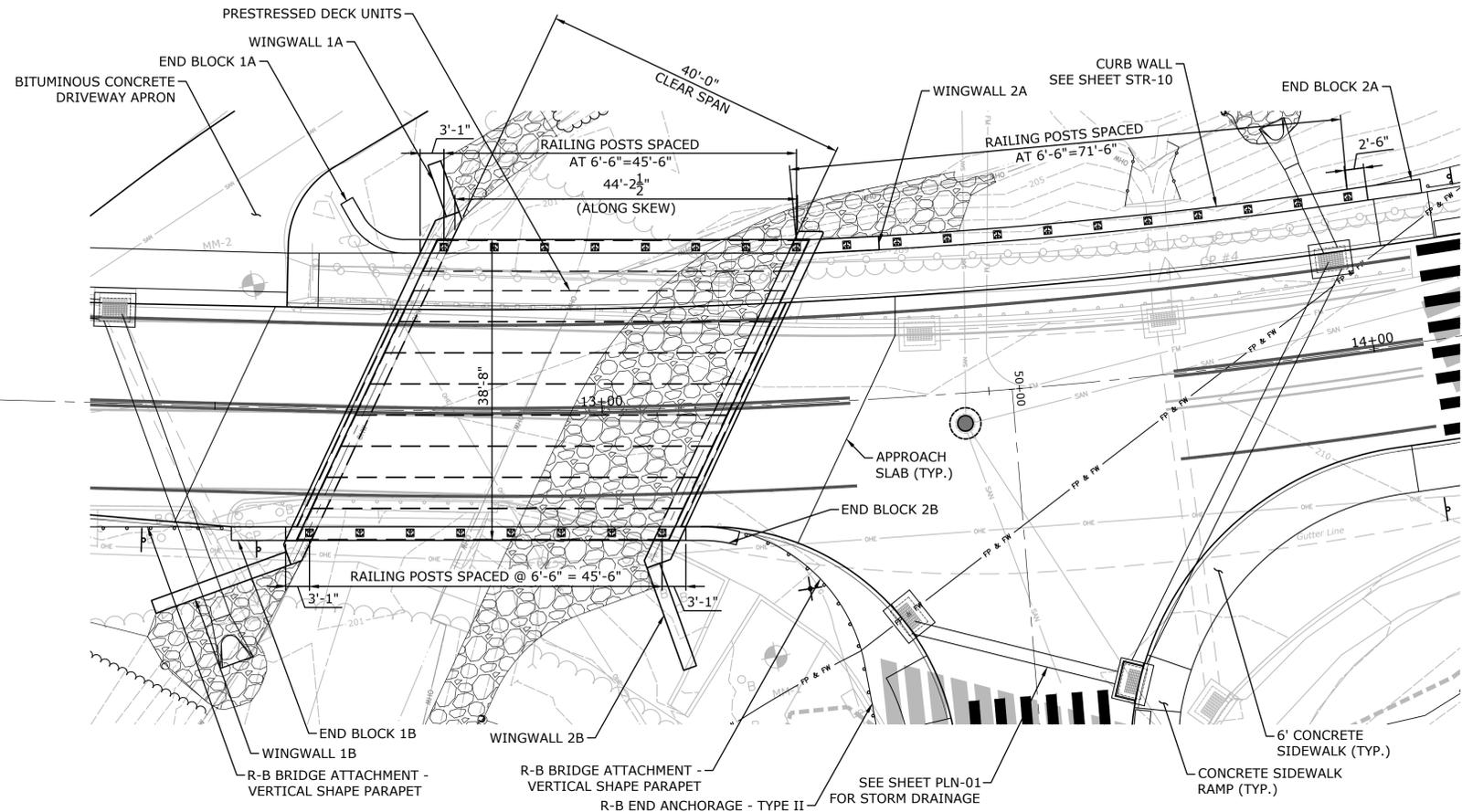
DESCRIPTION	DATE	BY

SEDIMENT AND EROSION CONTROL PLAN
REPLACEMENT OF BRIDGE NO. 09336
DART HILL ROAD OVER HOCKANUM RIVER
DART HILL ROAD
VERNON, CONNECTICUT

SEP DESIGNED	JMM DRAWN	KP CHECKED
SCALE AS SHOWN		
DATE MAY 29, 2020		
PROJECT NO. 2405-19		
DRAWING NO. SE-01		

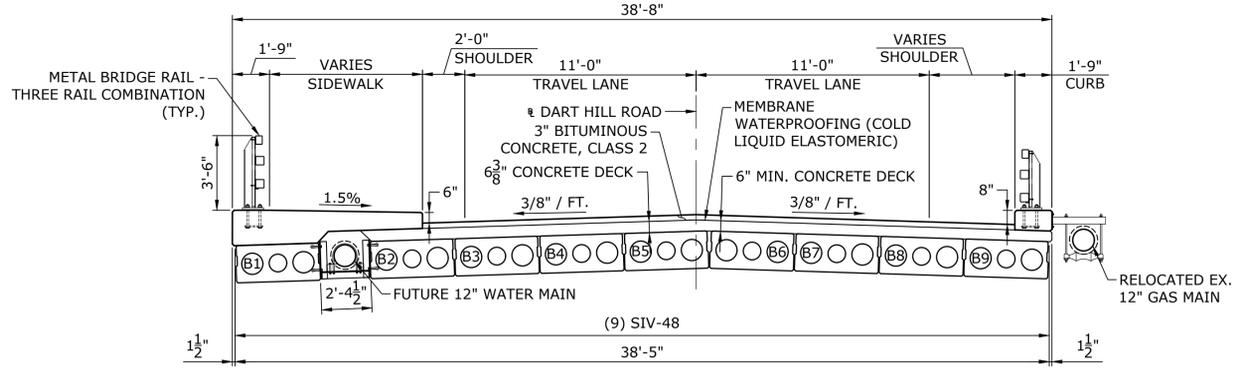
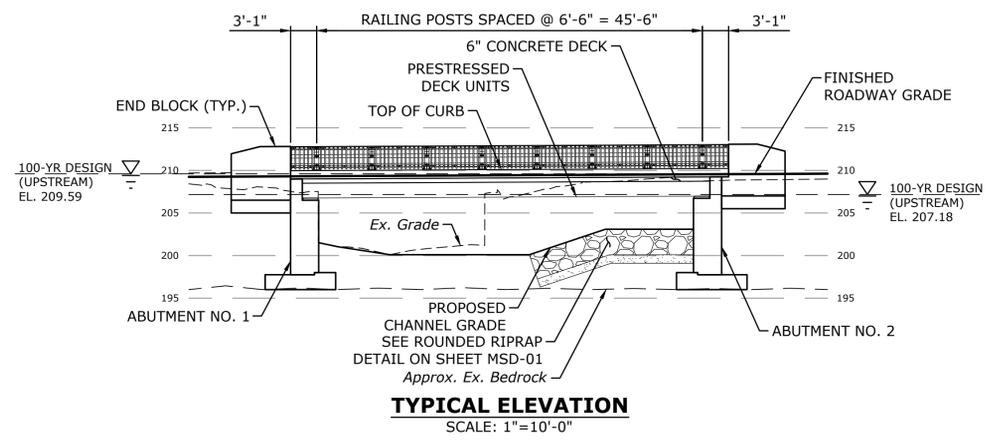
10
SHEET NO.

PROJECT NO. 2405-19, DATE 05/29/2020, DRAWING NO. STR-01, SHEET NO. 14
 PREPARED BY: MILONE & MACBROOM, INC.



HYDRAULIC DATA	
DRAINAGE AREA	26.5 SQ. MI.
DESIGN FREQUENCY	100-YR
DESIGN DISCHARGE	2,100 CFS
UPSTREAM DESIGN WATER SURFACE EL.	209.59 FT
DOWNSTREAM DESIGN WATER SURFACE EL.	207.18 FT
OVERTOPPING FREQUENCY	60-YR
OVERTOPPING DISCHARGE	1,700 CFS
WORST CASE SCOUR SUB-STRUCTURE	EAST ABUTMENT
MAXIMUM SCOUR ELEVATION	188.8 FT
AVERAGE DAILY FLOW	46 CFS
AVERAGE SPRING FLOW	98 CFS

* ELEVATION WITHOUT CONSIDERATION OF PROPOSED ARMORING OR THE PRESENCE OF COMPETENT BEDROCK



GENERAL NOTES

- SPECIFICATIONS:** CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 818 (2020), AND SPECIAL PROVISIONS.
- DESIGN SPECIFICATIONS:** AASHTO LRFD DESIGN SPECIFICATIONS, 8TH EDITION, 2017, AS SUPPLEMENTED BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BRIDGE DESIGN MANUAL (2003) WITH INTERIM REVISIONS UP TO AND INCLUDING 2019.
- MATERIAL STRENGTHS:**

CONCRETE:
 CLASS PCC 03340 $f_c = 3,000$ PSI
 CLASS PCC 04460 $f_c = 4,000$ PSI
 CLASS PCC 04462 $f_c = 4,000$ PSI

THE CONCRETE STRENGTH, (f_c), USED IN OF THE CONCRETE COMPONENTS IS NOTED ABOVE. THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE IN THE CONSTRUCTED COMPONENTS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 6.01 - CONCRETE FOR STRUCTURES AND M.03 - PORTLAND CEMENT CONCRETE.

REINFORCEMENT:
 ASTM A615 GRADE 60 $f_y = 60,000$ PSI
- LIVE LOAD:** HL-93, LEGAL, AND PERMIT VEHICLES
- FUTURE PAVING ALLOWANCE:** NONE
- BITUMINOUS CONCRETE OVERLAY:** THIS SHALL CONSIST OF 3" OF BITUMINOUS CONCRETE, CLASS 2.
- EXISTING DIMENSIONS:** DIMENSIONS AND ELEVATIONS OF THE EXISTING STRUCTURE SHOWN ON THESE PLANS ARE FOR GENERAL REFERENCE ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF THE FINISH WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. WHEN SHOP DRAWINGS BASED ON FIELD MEASUREMENTS ARE SUBMITTED FOR APPROVAL, THE FIELD MEASUREMENTS SHALL ALSO BE SUBMITTED FOR REFERENCE BY THE REVIEWER.

CONCRETE NOTES

- REMAIN-IN-PLACE FORMS:** THE USE OF REMAIN-IN-PLACE FORMS ON THIS STRUCTURE IS NOT ALLOWED.
- THE FOLLOWING PAY ITEMS AND CONCRETE CLASSES ARE REQUIRED FOR CAST-IN-PLACE BRIDGE COMPONENTS:

ITEM	BRIDGE COMPONENTS	PCC CLASS
FOOTING CONCRETE	ABUTMENT FOOTINGS, WINGWALL FOOTINGS, END BLOCK FOOTINGS	PCC03340
ABUTMENT AND WALL CONCRETE	ABUTMENT STEMS, WINGWALL STEMS	PCC03340
APPROACH SLAB CONCRETE	APPROACH SLABS	PCC04460
BARRIER WALL CONCRETE	END BLOCK STEMS	PCC04462
BRIDGE DECK CONCRETE	BRIDGE DECK, BRIDGE CURB, AND CURB WALL	PCC04462
BRIDGE SIDEWALK CONCRETE	BRIDGE SIDEWALKS	PCC04462

- EXPOSED EDGES:** EXPOSED EDGES OF CONCRETE SHALL BE BEVELED 1"x1" UNLESS DIMENSIONED OTHERWISE.
- CONCRETE COVER:** ALL REINFORCEMENT SHALL HAVE TWO INCHES COVER UNLESS DIMENSIONED OTHERWISE.
- REINFORCEMENT:** ALL REINFORCEMENT SHALL BE GALVANIZED AFTER FABRICATION UNLESS NOTED OTHERWISE. ALL REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM A767, CLASS 1, INCLUDING SUPPLEMENTAL REQUIREMENTS. THE COST OF FURNISHING AND PLACING THIS REINFORCEMENT SHALL BE INCLUDED IN THE ITEM "DEFORMED STEEL BARS - GALVANIZED."
- PREFORMED EXPANSION JOINT FILLER:** THE COST OF FURNISHING AND INSTALLING PREFORMED EXPANSION JOINT FILLER SHALL BE INCLUDED IN THE COST OF THE ITEM "1/2" PREFORMED EXPANSION JOINT FILLER FOR BRIDGES."
- CONSTRUCTION JOINTS:** CONSTRUCTION JOINTS, OTHER THAN THOSE SHOWN ON THE PLANS, WILL NOT BE PERMITTED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.

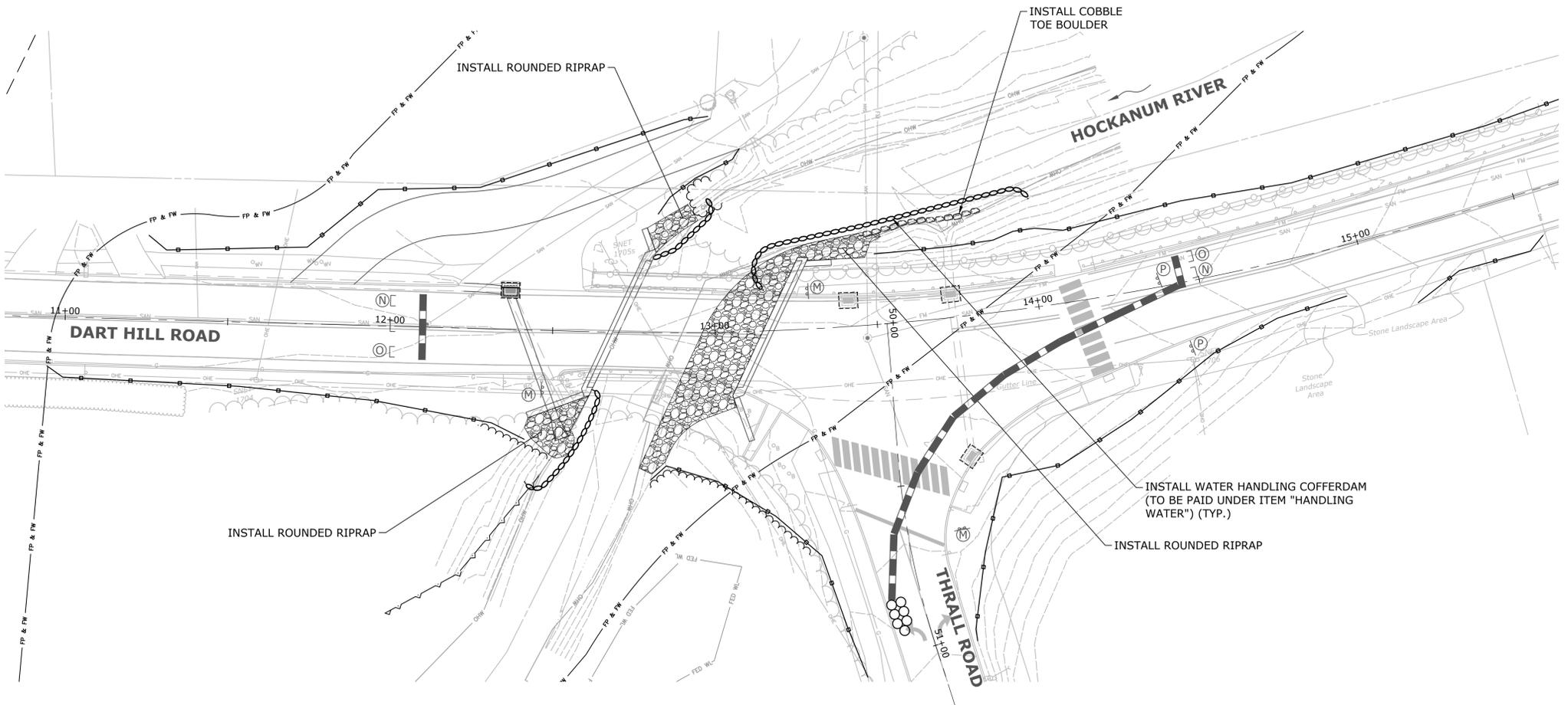


DESCRIPTION	DATE	BY

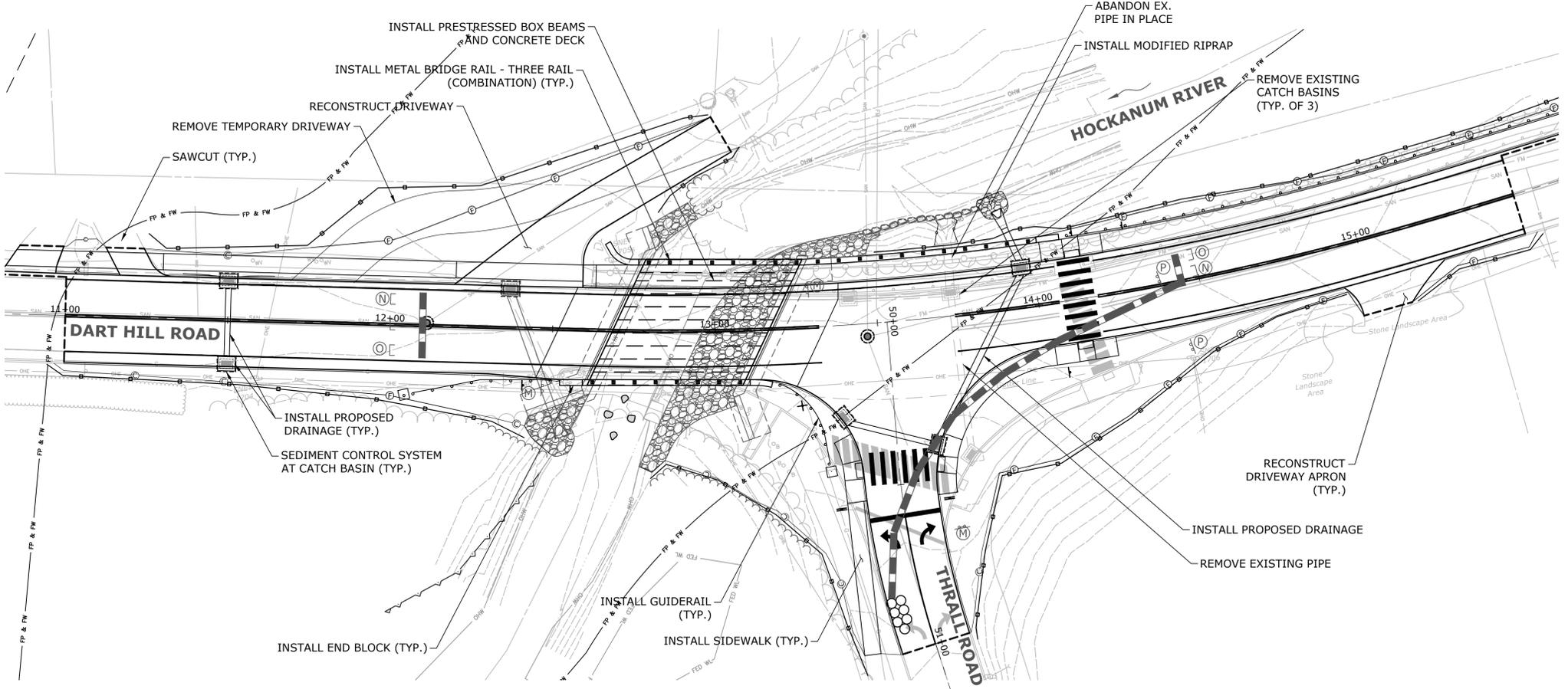
BRIDGE PLAN, ELEVATION & SECTION
 REPLACEMENT OF BRIDGE NO. 09396
 DART HILL ROAD OVER HOCKANUM RIVER
 DART HILL ROAD
 VERNON, CONNECTICUT

KP	NP	KP
DESIGNED	DRAWN	CHECKED
SCALE: 1"=10'		
DATE: MAY 29, 2020		
PROJECT NO.: 2405-19		
DRAWING NO.: STR-01		

SHEET NO. 29
 PROJECT NO. 2405-19
 DRAWING NO. MPT-04
 DATE: MAY 29, 2020
 SCALE: 1"=20'
 DESIGNED: NP
 DRAWN: NP
 CHECKED: SEP



STAGE III



STAGE IV

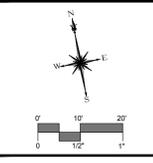
CONSTRUCTION SEQUENCE

STAGE III

1. INSTALL WATER HANDLING COFFERDAMS AS SHOWN.
2. INSTALL ROUNDED RIPRAP AS SHOWN AT WESTERN WINGWALLS AND WINGWALL 2A. PLACE ADDITIONAL RIPRAP ALONG FACE OF EASTERN ABUTMENT AND WINGWALL 2B AS NEEDED.
3. INSTALL BOULDER TOE PROTECTION ALONG THE NORTHERN ROADWAY EMBANKMENT.
4. REMOVE WATER HANDLING COFFERDAMS.

STAGE IV

1. INSTALL PRESTRESSED CONCRETE DECK UNITS, APPROACH SLABS, AND CONCRETE DECK.
2. INSTALL END BLOCKS 1A, 1,B AND 2B.
3. RECONSTRUCT ROADWAY APPROACHES AND COMPLETE DRAINAGE INSTALLATION.
4. CONSTRUCT SIDEWALK THICKENED SLAB, RECONSTRUCT SIDEWALK WITHIN PROJECT LIMITS.
5. RECONSTRUCT DRIVEWAYS AND DRIVEWAY APRONS WITHIN PROJECT LIMITS AS SHOWN.
6. INSTALL BRIDGE RAIL AND APPROACH GUIDERAIL.
7. FINALIZE GRADING, TURF ESTABLISHMENT & ROADWAY IMPROVEMENTS.
8. REMOVE SEDIMENT AND EROSION CONTROLS.
9. REMOVE DETOUR SIGNAGE AND REOPEN DART HILL ROAD TO TRAFFIC.



DESCRIPTION	DATE	BY

CONSTRUCTION STAGING PLANS
 REPLACEMENT OF BRIDGE NO. 09336
 DART HILL ROAD OVER HOCKANUM RIVER
 DART HILL ROAD
 VERNON, CONNECTICUT

NP	NP	SEP
DESIGNED	DRAWN	CHECKED
1"=20'		
MAY 29, 2020		
2405-19		
PROJECT NO.		
MPT-04		
DRAWING NO.		

STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only** the **completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the pdf version at www.ct.gov/deep/inlandwetlands (click the "status & trends" tab). Do NOT submit a reporting form for withdrawn actions.

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (e.g.: if an enforcement notice was given and subsequent permit issued - two forms for the two separate actions are to be completed).
 - A** = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B** = Any Permit Denied by the Inland Wetlands Agency
 - C** = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D** = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E** = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F** = A Jurisdictional Ruling by the Inland Wetlands Agency (i.e.: activities "permitted as of right" or activities considered non-regulated)
 - G** = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H** = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map that contains the location of the action/project/activity. USGS Quad Map information is available at: http://ct.gov/deep/lib/deep/gis/resources/Index_NamedQuadTown.pdf

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps available at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief description of the action/project/activity. It is always best to provide as much information as possible (i.e., don't just state "forestry", provide details such as "20 acre forestry harvest, permit required for stream crossing".)

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- | | |
|--|---|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of
concept plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the project or activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|--|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review
Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body". For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream". Remember that these figures represent only the acreage altered not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses (question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered). You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.*

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: [Click Here for Year](#) month: [Click Here for Month](#)
- CHOOSE ACTION TAKEN (see instructions for codes): [Click Here to Choose a Code](#)
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Vernon
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): [USGS quad map name](#): Rockville or [quad number](#): 39
[subregional drainage basin number](#): 4500
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Town of Vernon
- NAME & ADDRESS / LOCATION OF PROJECT SITE (type information): Dart Hill Road Bridge over Hockanum River
briefly describe the action/project/activity (check and type information): temporary permanent description: _____
Replacement of Dart Hill Road Bridge
- ACTIVITY PURPOSE CODE (see instructions for codes): E
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 9, 12, NA
- WETLAND / WATERCOURSE AREA ALTERED (type acres or linear feet as indicated):
wetlands: 0.00 acres open water body: 0.00 acres stream: 71.00 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.74 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

**TOWN OF VERNON IWC APPLICATION
ABUTTING PROPERTY OWNERS
REPLACEMENT OF DART HILL ROAD OVER HOCKANUM RIVER (BRIDGE NO. 03936)
APPLICANT: TOWN OF VERNON**

Block Casey Reilly & Dulepski Cassandra L

740 Dart Hill Road

Vernon, CT 06066

Borysevicz Francis

93 Thrall Road

Vernon, CT 06066

Colon Paul Jr & Raul

745 Dart Hill Road

Vernon, CT 06066

Livermore Diane E

760 Dart Hill Road

Vernon, CT 06066-2301

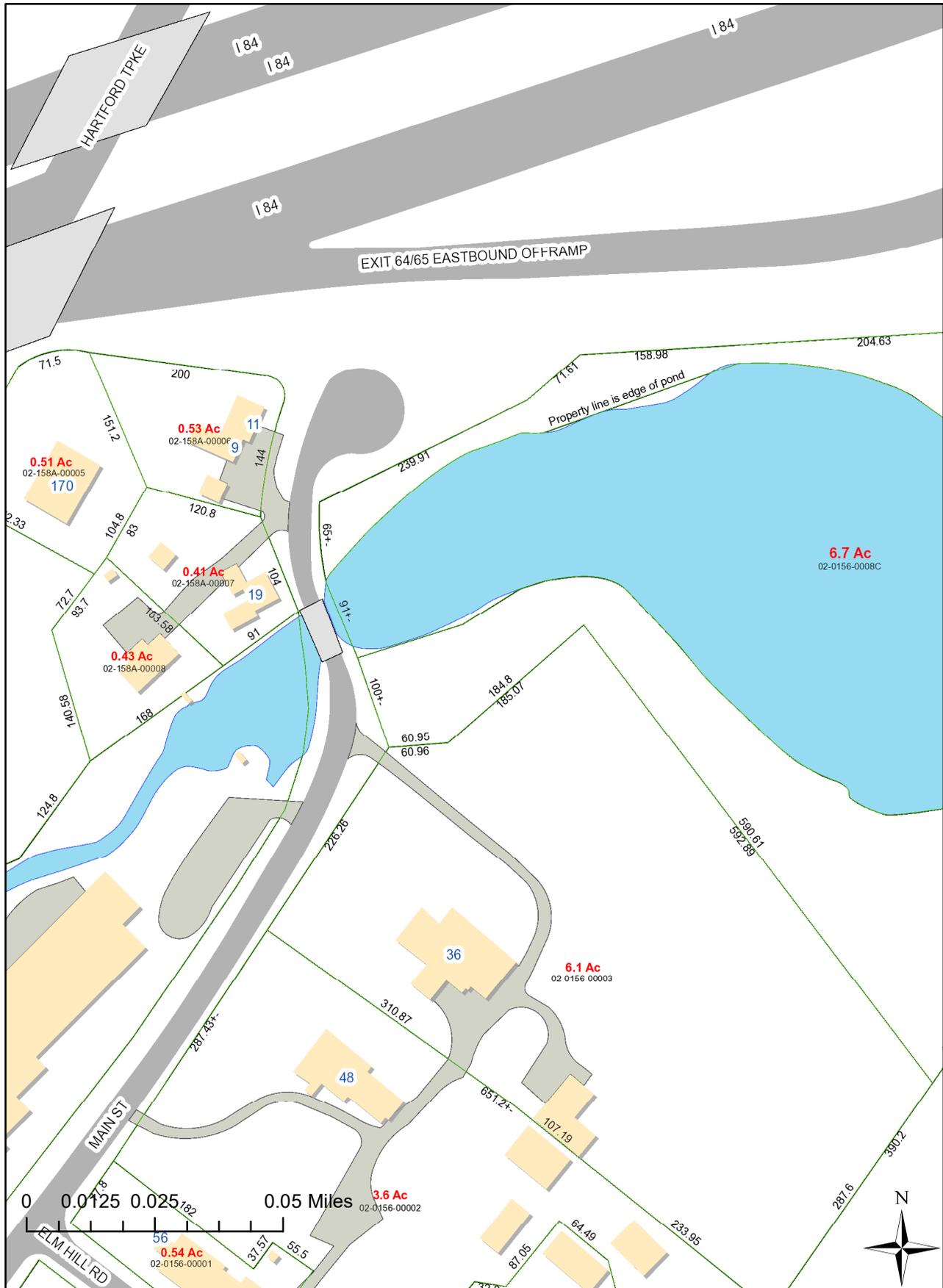
Town of Vernon

14 Park Place

Vernon, CT 06066-3291

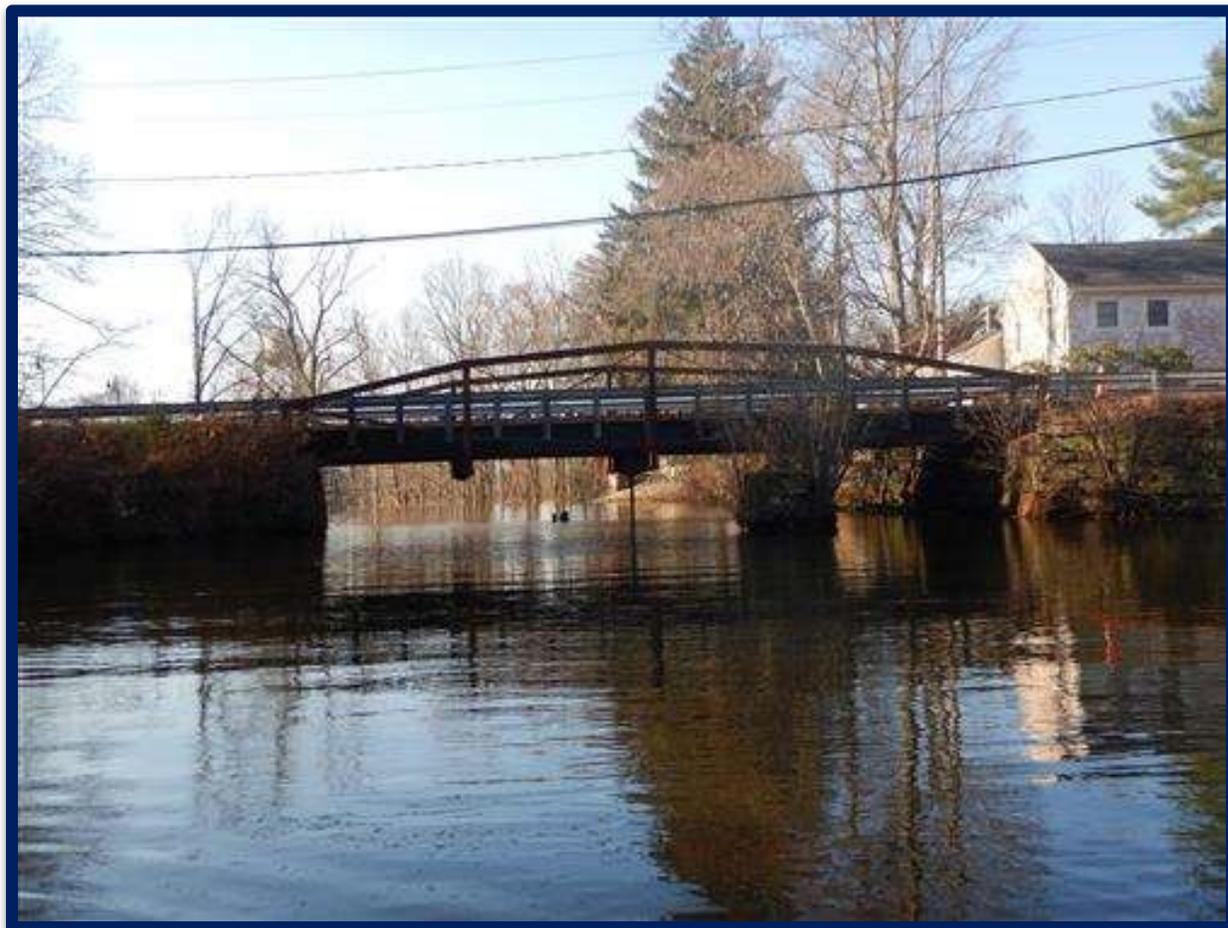
APPLICATION 1

Main St. Bridge @ Tankerhoosen River



INLAND WETLANDS AND WATERCOURSES APPLICATION
MAIN STREET BRIDGE REPLACEMENT
OVER TANKERHOOPEN RIVER
VERNON, CONNECTICUT

MAY 2020



1084 Cromwell Avenue
Rocky Hill, CT 06067
Tel: 860-436-4364
MartinezCouch.com



115 Glastonbury Boulevard
Glastonbury, CT 06033
Tel: 860-659-1416
Gm2inc.com

PREPARED FOR:

Town of Vernon

14 Park Place

Vernon, Connecticut 06066

PREPARED FOR SUBMISSION TO:

Inland Wetlands Commission

Town of Vernon

PREPARED BY:

Martinez Couch & Associates, LLC

IN CONJUNCTION WITH:

GM2 Associates, Inc.



1084 Cromwell Avenue Suite, A-2
Rocky Hill, CT 06067
Tel: 860-436-4364
Fax: 860-436-4626
www.martinezcouch.com

Inland Wetlands Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

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Attachment C: Project Plan Set	7



TOWN OF VERNON

INLAND WETLANDS COMMISSION (IWC)

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: Town of Vernon

Title: _____

Company: _____

Address: 14 Park Place, Vernon, CT 06066

Telephone: 860-870-3599 Fax: 860-870-3580

E-mail: _____

II. PROPERTY OWNERS

Name: Town of Vernon

Title: _____

Company: _____

Address: 14 Park Place, Vernon, CT 06066

Telephone: 860-870-3599 Fax: 860-870-3580

E-mail: _____

III. PROPERTY

Address: Main Street over Tankerhoosen River

Assessor ID Code: Map # 2 Block # N/A Lot/Parcel # N/A

Land Record Reference to Deed Description: Volume: N/A Page N/A

USGA Location:

Circle the Map Quadrangle Name: Manchester # 38 **Rockville #39**

Circle the Sub regional Drainage Basin #: 3108 4500 4502 **4503**

Zoning District: R-27 (adjacent to I and Open Space)

IV. PROJECT

Project Name: Bridge No. 04575, Main Street over Tankerhoosen River

Project Contact Person:

Name: Dennis A. Garceau, P.E.

Title: Project Manager

Company: GM2

Address: 115 Glastonbury Blvd, Glastonbury, CT 06033

Telephone: 860-659-1416 ext. 0139 Fax: _____

E-mail: DGarceau@GM2INC.com

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the **"The Town of Vernon Inland Wetlands and Watercourses Regulations"**.

Purpose: Bridge replacement

General Activities: Demolition and replacement of existing vehicular bridge carrying Main Street over the Tankerhoosen River

Regulated Activities:

Watercourse disturbance (linear feet): See attached plans for locations of in water work with 630 Square feet inside turbidity curtains

Wetlands disturbance (acres or sq. ft.): See attached plans for locations of disturbance in wetlands. Temporary Impacts: 175 sq. ft., Permanent Impacts: 20 sq. ft.

Upland Review Area (URA)disturbance: See attached plans for locations of disturbance Area of disturbance in 200' URA from Tankerhoosen River: 20,230 sq. ft.

Nonregulated activities & activities outside URA: See attached plans

VI. APPLICATION

- Redesignation of Wetlands
- Amendment of Inland Wetlands and Watercourses Regulations
- Modification of a Wetlands Redesignation
- Wetlands Permit
 - Non-significant activity
 - Significant activity with less than 1/2 acre site disturbance
 - Significant activity with site disturbance from 1/2 acre to and including 2 acres
 - Significant activity with site disturbance greater than 2 acres
 - Commission modification of a wetland permit in effect
 - Modification of a wetland permit by ;the Wetlands Agent
- Approval of a license by the Wetlands Agent for activities in an upland
- Appeal of a decision by the Wetlands Agent
- Subdivision review per CGS Section 8-26
- Jurisdictional ruling regarding permitted and nonregulated uses
- Waiver, reduction, or delayed payment of fees (attach statement of justification)
 - Waiver (Town as Applicant)
 - Reduction to \$_____
 - Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

	Dennis A. Garceau, PE	5/15/20
_____ Applicant or Agent Signature	_____ Printed Name	_____ Date
_____ Owner's Signature, if different	_____ Printed Name	_____ Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____



1084 Cromwell Avenue Suite, A-2
Rocky Hill, CT 06067
Tel: 860-436-4364
Fax: 860-436-4626
www.martinezcouch.com

Inland Wetland Commission Application

ConnDOT Project No: 146-199
City/Town: Town of Vernon, CT
Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

Vernon Inland Wetlands and Watercourses Regulations requirements:

7.5 All applications shall include the following information in writing and on maps or drawings:

- a. the applicant's name, home and business mailing addresses and telephone numbers; if the applicant is a Limited Liability Corporation or a Corporation the managing member's or responsible corporate officer's name, address, and telephone number;

Applicant's Name: Town of Vernon
Applicant's Mailing Address: 14 Park Place, Vernon, CT 06066
Applicant's Telephone Number: 860-870-3599

- b. the applicant's name, home and business mailing addresses and telephone numbers; if the applicant is a Limited Liability Corporation or a Corporation the managing member's or responsible corporate officer's name, address, and telephone number;

Owner's Name: Town of Vernon
Owner's Mailing Address: 14 Park Place, Vernon, CT 06066
Owner's Telephone Number: 860-870-3599

- c. **Applicant's Interest in the Land:**

The Applicant is the Town of Vernon, the owner of the right of way that the work is being performed within.

- d. the geographical location of the land which is the subject of the proposed activity and a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation;

Geographical Location

Main Street bridge over Tankerhoosen River located 700± ft. north of Elm Hill Road. The bridge location coordinates are Latitude 41.82216N, Longitude 72.49800W (coordinates obtained from Connecticut Environmental Conditions Online).

Areas of Disturbance

Portions of the proposed activity are immediately adjacent to the watercourse of the Tankerhoosen River with temporary and permanent impacts to inland wetlands and

Inland Wetland Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

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watercourses. The areas of impacts are shown in plan view on the attached plan set on sheet PMT-05 titled 'Wetland Impact Plan'. A summary of the areas of disturbance are,

- Temporary Wetland Impacts: 175 SF
- Permanent Wetland Impacts: 25 Square Feet
- Temporary Watercourses Impacts: 630 Square Feet
- 200' Upland Review Area Disturbance: 20,230 Square Feet

Soils

Wetland soils were delineated and classified 100 feet Upstream (East) and downstream (West) of the existing bridge along the banks of the Tankerhoosen River. Wetlands flags were numbered 1 to 5, 1 to 5, 1 to 6, and 1 to 5 on the map in the attached wetlands report. The wetlands flags are also shown on the attached drawing set.

Two wetland soil map units were found in the investigation area.

- Raypol Silt loam (map symbol 12) - Parent material of glacial outwash with slopes of 0 to 3 percent having a poorly drained drainage class. Soil type found on upstream and down stream sides of the existing bridge on the North and South banks of the Tankerhoosen river.
- Water (map symbol W) – This mapping unit is used by the NRCS to show open water. This is the *predominant* unit within the stream corridor.

The upland soils found in the investigation include the following,

- Udorthents (map symbol 306) - Parent material of excavated or filled soil with slopes of 0 to 45 percent having a drainage class of well drained to somewhat poorly drained.

Vegetation

The vegetative cover in the investigation area is a broadleaved deciduous woodland wetland. Along the Northwestern bank of the river a stone masonry wall defines the edge of the wetland and this area is sparsely vegetated.

- e. **the purpose and a description of the proposed activity and proposed erosion and sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to (1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance and create productive wetland or watercourse resources;**

Inland Wetland Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

The purpose of the project is to demolish and reconstruct an existing vehicular bridge carrying Main Street over the Tankerhoosen River. Associated proposed activities include,

- Reconstruction of a portion of Main Street approximately 150' North and 200' South of the Tankerhoosen river of the historic bridge truss
- Rehabilitation and preservation of the historic bridge truss
- Milling and repaving of Main Street cul-de-sac.

The attached plan set identifies the locations of the proposed erosion and sedimentation controls and other management practices and mitigation measures. Measures to minimize pollution and other environmental damage during the proposed activity include the following

- a perimeter sedimentation control system at the edges of land disturbance
- catch basin sedimentation control system at each catch basin inlet structure
- type 3 turbidity curtain at existing bridge abutments
- debris shield for existing bridge superstructure demolition
- containment system for rehabilitation of historic bridge truss

Measures to maintain or enhance existing environmental quality include:

- The replacement bridge substructure will be constructed behind the existing stone masonry substructure upland of the wetland soils and watercourse not requiring a modification of the watercourse.
- The replacement of two catch basin structures South of the bridge with new structures with 4' deep sump catch basins provide an increased measure of stormwater treatment for land are tributary to the structures.

Measures to restore, enhance, and create productive wetland or watercourse resources include:

- The existing bridge deck does not have curbing allowing direct runoff of stormwater from the bridge deck to the Tankerhoosen River. The replacement bridge will have curbing and direct surface stormwater to existing storm drainage systems North and South of the bridge.

- f. alternative which would cause less or no environmental impact to wetlands or watercourses and why the alternative as set forth in the application was chosen; all such alternatives shall be diagramed on a site plan or drawing;**

The proposed activity alternative was selected as the alternative of rehabilitating the existing bridge was determined to be not feasible. The existing bridge was reconstructed in 1995 and was rated with a sufficiency rating of 49.7 with a structural evaluation ration of 4 based on the 2017 Bridge Inspection Report. The proposed alternative will construct new bridge substructure behind the existing dry laid masonry stone abutments.

Inland Wetland Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

g. the date the application was signed by the applicant;

See Application.

- h. a site plan showing the proposed activity and existing and proposed conditions, structures, and areas where material may be deposited or removed and the quantity thereof in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses; if the proposed activity comprises a regulated activity that affects one-half (½) acre or more of wetlands and/or uplands, the site plan shall be prepared and sealed by a licensed surveyor or professional engineer registered in the state of Connecticut.**

See the attached plan set for the location of all proposed activities. The sequence of construction adjacent to the Tankerhoosen river associated with bridge reconstruction is indicated on drawing PMT-07.

i. names and mailing addresses of adjacent land owners;

1. Owner: Barbara O. Woods
Location: 11 Main Street, Vernon, CT 06066
Mailing Address: 347 Main Street, Windsor, CT 06074-3906
MBL: 02-158A-00006
2. Owner: Tankerhoosen Real Estate Holding Company LLC
Location: 19 Main Street, Vernon, CT 06066
Mailing Address: 17 Main Street, Vernon, CT 06066
MBL: 02-158A-00007
3. Owner: Historic Talcott Mill LLC
Location: 47 Main Street, Vernon, CT 06066
Mailing Address: 56 Arbor Street, Hartford, CT 06106
MBL: 02-158A-00003
4. Owner: Michael B. & Marcia E. Ambrose
Location: 36 Main Street, Vernon, CT 06066
Mailing Address: 36 Main Street, Vernon, CT 06066
MBL: 02-156-00003



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Inland Wetland Commission Application

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City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

5. Owner: Justo Danielle Trustee, Talcott Connecticut Trust C/O A Parsons
Location: 20 Main Street, Vernon, CT 06066
Mailing Address: 36 Pinewood Drive, Vernon, CT 06066
MBL: 02-156-00008

6. Owner: State of Connecticut
Location: 32 Main Street, Vernon, CT 06066
Mailing Address: 165 Capital Avenue, Hartford, CT 06106-1659
MBL: 02-156-00008C

7. Owner: The North Connecticut Land Trust Inc.
Location: 26 Main Street, Vernon CT 006066
Mailing Address: PO Box 324, Somers, CT 06071
MBL: 02-156-00008D

- j. statement by the applicant that the applicant (1) is familiar with all the information provided in the application, (2) certifies the accuracy of the application and all supporting information, and (3) is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information;**

By signing the Application under VII. Certification and Signature, the Applicant (1) is familiar with all the information provided in the application, (2) certifies the accuracy of the application and all supporting information, and (3) is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

- k. authorization for the members and agents of the Commission to inspect the subject land, at reasonable times, during the pendency of an application and for the life of the permit;**

The Commissioners and agents of the Commission are hereby granted the Authority to inspect the property, at reasonable times, both before and after a final decision has been issued.

- l. a completed DEP reporting form; the Commission shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies;**

CT DEEP Statewide Inland Wetlands & Watercourses Activity Reporting Form is attached.

Inland Wetland Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

m. any other information the Commission deems necessary to the understanding of what the applicant is proposing; and

- None.

n. submission of the appropriate filing fee based on the fee schedule established in section 20 of these regulations.

Standard Non-Significant Activity Fee: $\$125 + \$60 = \$185$. If this project is deemed to have a significant impact, then the additional \$125 will be provided to increase the \$125 to the required \$250 for the significant activity fee.

Since the Town is Applicant, the Town requests that the Commission waive the Town Inland Wetland Application fees. The \$60 for the State mandatory fee (per CGS 22a-27j) may still apply.

7.6 At the discretion of the Commission or its agent, or when the proposed activity involves a significant impact, additional information, based on the nature and anticipated effects of the activity, including but not limited to the following, is required:

a. site plans for the proposed activity and the land which will be affected thereby which show existing and proposed conditions, wetland and watercourse boundaries, land contours at two (2) foot intervals, boundaries of land ownership, proposed alterations and uses of wetlands and watercourses, and other pertinent features of the land and the proposed activity, prepared by a professional engineer, land surveyor, architect or landscape architect licensed by the state, or by such other qualified person;

See attached plan set depicting existing and proposed conditions, wetland and water course boundaries, land contours, boundaries of land ownership, and proposed activity in and adjacent to wetlands and watercourses as well as the upland review area.

b. engineering reports and analyses and additional drawings to fully describe the proposed activity including any filling, excavation, drainage or hydraulic modifications to watercourses and the proposed erosion and sedimentation control plan;

No hydraulic modification to the Tankerhoosen River is proposed. The proposed erosion and sedimentation controls are shown on the attached plan set.

c. mapping of soil types consistent with the categories established by the National Cooperative Soil Survey of the U.S. Natural Resources Conservation Service; the wetlands shall be

Inland Wetland Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

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delineated in the field by a soil scientist and the soil scientist's field delineation shall be depicted on the site plans;

See attached mapping in wetlands report.

- d. a description of the ecological communities and functions of the wetlands or watercourses involved with the application and the effects of the proposed activity on these communities and wetland functions;**

See attached Wetlands Report. The propose activity does not anticipate any effect to the ecological communities or functions of the wetlands and watercourse in the project area.

- e. a description of how the applicant will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application and each alternative which would cause less or no environmental impact to wetlands or watercourses, and a description of why each alternative considered was deemed neither feasible nor prudent;**

No change or diminishment of the ecological communities and functions of the wetlands or watercourses is proposed by the selected proposed alternative. The alternative of rehabilitation of the existing bridge was determined not feasible.

- f. analysis of chemical or physical characteristics of any fill material; and**

Fill materials for the project will conform to project specifications of the Connecticut Department of Transportation (CT DOT) Form 818. Roadway reconstruction fill material in the upland review area will include granular fill (processed aggregate base, gravel, and subbase) and hot mix asphalt for the roadway surface. Adjacent to the bridge abutments topsoil will be spread, and turf established on slopes up to 2 horizontal to 1 vertical. The Southwest approach to the bridge will have modified rip rap placed on a portion of the slope.

- g. management practices and other measures designed to mitigate the impact of the proposed activity.**

See attached plans with construction sequence procedures and erosion and sedimentation control measures designed to mitigate the impact of the proposed activity. The construction of new bridge substructure behind the existing substructure mitigates the impact of the proposed activity allowing a greater physical distancing of the work from the wetlands and watercourses.



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Inland Wetlands Commission Application

ConnDOT Project No: 146-199

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ATTACHMENTS TABLE OF CONTENTS

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Attachment B: Wetlands Report	B-1
Attachment C: Project Plan Set	C-1



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Inland Wetlands Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

Attachment A: **CT DEEP SIWWARF**

Located after this page is a completed CT DEEP Statewide Inland Wetlands & Watercourses Activity Reporting Form (SIWWARF)



Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.*

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: Click Here for Year month: Click Here for Month
- CHOOSE ACTION TAKEN (see instructions for codes): Click Here to Choose a Code
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Town of Vernon
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): USGS quad map name: Rockville or quad number: 39
subregional drainage basin number: 4503
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Town of Vernon
- NAME & ADDRESS / LOCATION OF PROJECT SITE (type information): Main Street over Tankerhoosen River, Vernon, CT
briefly describe the action/project/activity (check and type information): temporary permanent description: Demolition and reconstruction of Bridge No. 04575 Main Street over Tankerhoosen River.
- ACTIVITY PURPOSE CODE (see instructions for codes): E
- ACTIVITY TYPE CODE(S) (see instructions for codes): 12, 14, 9, 1
- WETLAND / WATERCOURSE AREA ALTERED (type acres or linear feet as indicated):
wetlands: 0.0005 acres open water body: 0.00 acres stream: 0 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.46 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



1084 Cromwell Avenue Suite, A-2
Rocky Hill, CT 06067
Tel: 860-436-4364
Fax: 860-436-4626
www.martinezcouch.com

Inland Wetlands Commission Application

ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

Attachment B: **Wetlands Report**

Located after this page is the wetlands investigation report prepared by William Kenney Associates, LLC.

September 3, 2015

Mr. Anand Seshadri, PhD, PE
Dewberry
59 Elm Street
New Haven, CT 06510

Re: Wetland and Watercourse Delineation
Main Street Bridge, Main Street, Vernon, Connecticut

Dear Mr. Seshadri:

As requested, I investigated portions of properties in the area of Main Street and Tankerhoosen River to determine the presence or absence of wetlands and/or watercourses, to demarcate (flag) the boundaries of wetlands and watercourses identified, and to identify onsite soil types. This letter includes the methods and results of my investigation, which I completed today, September 3, 2015. In summary, one inland wetland and watercourse system was identified and delineated. The system, which extends and flows through the investigation area, is a segment of the Tankerhoosen River and includes bordering forested wetlands.

Regulatory Definitions

The Inland Wetlands and Watercourses Act (Connecticut General Statutes §22a-38) defines inland wetlands as “land, including submerged land...which consists of any soil types designated as poorly drained, very poorly drained, alluvial, and floodplain.” Watercourses are defined in the act as “rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs and all other bodies of water, natural or artificial, vernal or intermittent, public or private, which are contained within, flow through or border upon the state or any portion thereof.” The Act defines Intermittent Watercourses as having a defined permanent channel and bank and the occurrence of two or more of the following characteristics: A) evidence of scour or deposits of recent alluvium or detritus, B) the presence of standing or flowing water for a duration longer than a particular storm incident, and C) the presence of hydrophytic vegetation.

The Tidal Wetlands Act (Connecticut General Statutes §22a-28) defines wetlands as those areas which border on or lie beneath tidal waters, such as, but not limited to banks, bogs, salt marsh, swamps, meadows, flats, or other low lands subject to tidal action, including those areas now or

formerly connected to tidal waters, and whose surface is at or below an elevation of one foot above local extreme high water; and upon which may grow or be capable of growing hydrophytic vegetation as identified in the Statutes.

Methodology

A second order soil survey in accordance with the principles and practices noted in the USDA publication *Soil Survey Manual* (1993) was completed at the subject site. The classification system of the National Cooperative Soil Survey was used in this investigation. Soil map units identified at the project site generally correspond to those included in the *Soil Survey of the State of Connecticut* (USDA 2005).

Wetland determinations were completed based on the presence of poorly drained, very poorly drained, alluvial, or floodplain soils and submerged land (e.g. a pond). Soil types were identified by observation of soil morphology (soil texture, color, structure, etc.). To observe the morphology of the property's soils, test pits and/or borings (maximum depth of two feet) were completed at the site.

Tidal wetland determinations were completed based on the presence of a predominance of tidal wetland vegetation and physical markings or water laid deposits resulting from tidal action.

Intermittent watercourse determinations were made based on the presence of a defined permanent channel and bank and the occurrence of two or more of the following characteristics: A) evidence of scour or deposits of recent alluvium or detritus, B) the presence of standing or flowing water for a duration longer than a particular storm incident, and C) the presence of hydrophytic vegetation.

Wetland boundaries were demarcated (flagged) with pink surveyor's tape (hung from vegetation) or small flags (on wire stakes) labeled "William Kenny Associates" that are generally spaced a maximum of every 50 feet. Complete boundaries are located along the lines that connect these sequentially numbered flags. The wetland boundaries are subject to change until adopted by local, state, or federal regulatory agencies.

On the day of the review, the sky was clear and air temperatures were in the 70's ° F. The upland soil was moist and wetland soil was moist to inundated.

Results

The investigation was limited to the areas within 100 feet upstream and downstream of the Main Street bridge over the Tankerhoosen River in Vernon. The vegetative cover at the investigation area is generally a broadleaved deciduous woodland wetland. A vertical masonry wall comprises the northwestern bank of the river within the study area and that area is sparsely vegetated. The river is impounded downstream of the study area.

One inland wetland and watercourse system was identified and delineated. The system, which extends and flows through the investigation area, is a segment of the Tankerhoosen River and includes bordering forested wetlands. Wetland soils are primarily poorly drained fine sandy loams that formed from alluvial deposits. The approximate location of the system is shown on the attached map. The boundary of the system was marked at the site with flags numbered 1 to 5, 1 to 5, 1 to 6 and 1 to 5.

Three soil map units were identified on the property (two wetland and one upland). Each map unit represents a specific area on the landscape and consists of one or more soils for which the unit is named. Other soils (inclusions that are generally too small to be delineated separately) may account for 10 to 15 percent of each map unit. The mapped units are identified in the following table by name and symbol and typical characteristics (parent material, drainage class, high water table, depth to bedrock, and slope). These characteristics are generally the primary characteristics to be considered in land use planning and management. A description of each characteristic and their land use implications follows the table. A complete description of each soil map unit can be found in the *Soil Survey of the State of Connecticut* (USDA 2005), and at <http://soils.usda.gov/technical/classification/osd/index.html>.

<u>Sym.</u>	<u>Map Unit Name</u>	<u>Parent Material</u>	<u>Slope (%)</u>	<u>Drainage Class</u>	<u>High Water Table</u>			<u>Depth To Bedrock (in)</u>
					<u>Depth (ft)</u>	<u>Kind</u>	<u>Mos.</u>	
<u>Upland Soil</u>								
306	Udorthents - Urban Land Complex	Excavated or Filled Soil (>2 feet) Pavement & structures account for 85% or more of the area. Additional investigations required to determine characteristics	0-45	Well Drained to Somewhat Poorly Drained	1.5->6.0	Apparent	Nov-May	>60
<u>Wetland Soil</u>								
12 W	Raypol silt loam Water	Glacial Outwash	0-3	Poorly Drained	0.0-1.0	Apparent	Nov-May	>60

Parent material is the unconsolidated organic and mineral material in which soil forms. Soil inherits characteristics, such as mineralogy and texture, from its parent material. Glacial till is unsorted, nonstratified glacial drift consisting of clay, silt, sand, and boulders transported and deposited by glacial ice. Glacial outwash consists of gravel, sand, and silt, which are commonly stratified and deposited by glacial melt water. Alluvium is material such as sand, silt, or clay, deposited on land by streams. Organic deposits consist of decomposed plant and animal parts.

A soil's texture affects the ease of digging, filling, and compacting and the permeability of a soil. Generally sand and gravel soils, such as outwash soils, have higher permeability rates than most glacial till soils. Soil permeability affects the cost to design and construct subsurface sanitary disposal facilities and, if too slow or too fast, may preclude their use. Outwash soils are generally excellent sources of natural aggregates (sand and gravel) suitable for commercial use, such as construction sub base material. Organic layers in soils can cause movement of structural footings. Compacted glacial till layers make excavating more difficult and may preclude the use of subsurface sanitary disposal systems or increase their design and construction costs if fill material is required.

Generally, soils with steeper slopes increase construction costs, increase the potential for erosion and sedimentation impacts, and reduce the feasibility of locating subsurface sanitary disposal facilities.

Drainage class refers to the frequency and duration of periods of soil saturation or partial saturation during soil formation. Seven classes of natural drainage classes exist. They range from excessively

drained, where water is removed from the soil very rapidly, to very poorly drained, where water is removed so slowly that free water remains at or near the soil surface during most of the growing season. Soil drainage affects the type and growth of plants found in an area. When landscaping or gardening, drainage class information can be used to assure that proposed plants are adapted to existing drainage conditions or that necessary alterations to drainage conditions (irrigation or drainage systems) are provided to assure plant survival.

High water table is the highest level of a saturated zone in the soil in most years. The water table can affect the timing of excavations; the ease of excavating, constructing, and grading; and the supporting capacity of the soil. Shallow water tables may preclude the use of subsurface sanitary disposal systems or increase design and construction costs if fill material is required.

The depth to bedrock refers to the depth to fixed rock. Bedrock depth affects the ease and cost of construction, such as digging, filling, compacting, and planting. Shallow depth bedrock may preclude the use of subsurface sanitary disposal systems or increase design and construction costs if fill material is required.

Conclusions

Today, I investigated portions of properties in the area of Main Street and Tankerhoosen River in Vernon, Connecticut and identified and delineated one inland wetland and watercourse system. Thank you for the opportunity to assist you. If you should have any questions or comments, please do not hesitate to contact me.

Sincerely,



Megan B. Raymond
Soil Scientist

Enclosure

Ref. No. 3070

SOIL LEGEND:

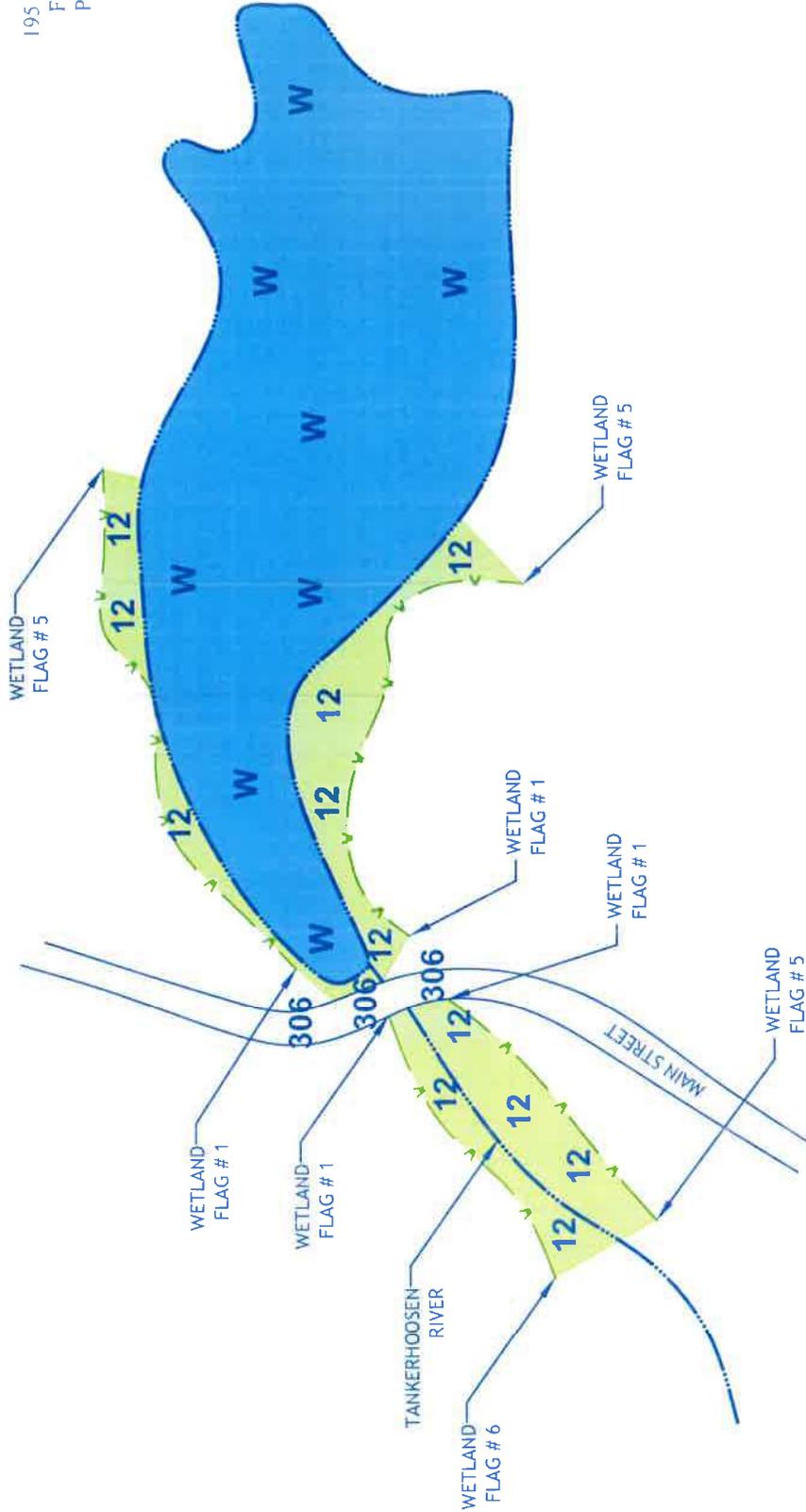
UPLAND:
306 UDORTHENTS-URBAN LAND COMPLEX

WETLAND:
12 RAYPOL-SILT LOAM
W WATER

**WILLIAM KENNY
ASSOCIATES LLC**

SOIL SCIENCE
ECOLOGICAL SERVICES
LAND USE PLANNING
LANDSCAPE ARCHITECTURE

195 TUNXIS HILL ROAD
FAIRFIELD, CT 06825
PHONE: 203 366 0588
FAX: 203 366 0067
wkassociates.net



NOTES:

- INFORMATION SHOWN ON THIS DRAWING, INCLUDING THE WETLAND BOUNDARY, IS APPROXIMATE. THE BOUNDARY IS NOT A SURVEYED REPRESENTATION OF WHAT WAS FIELD MARKED (FLAGGED).
- WETLAND AND SOIL INFORMATION PROVIDED BY WILLIAM KENNY ASSOC. OTHER INFORMATION TAKEN FROM A GOOGLE MAP.
- 306, 12 AND W ARE SOIL MAPPING UNIT SYMBOLS. SEE WETLAND DELINEATION REPORT FOR THE SOIL MAP UNIT NAMES AND ADDITIONAL RELATED INFORMATION.

I CERTIFY THAT THIS WETLAND MAP
SUBSTANTIALLY REPRESENTS THE SOILS
AND WETLANDS MAPPED IN THE FIELD

Megan B. Raymond
MEGAN B. RAYMOND, SOIL SCIENTIST

WETLAND & WATERCOURSE MAP

**MAIN STREET
VERNON, CONNECTICUT**

SCALE: NOT TO SCALE
DATE: SEPTEMBER 3, 2015



Ref. No. 3070



1084 Cromwell Avenue Suite, A-2
Rocky Hill, CT 06067
Tel: 860-436-4364
Fax: 860-436-4626
www.martinezcouch.com

Inland Wetlands Commission Application

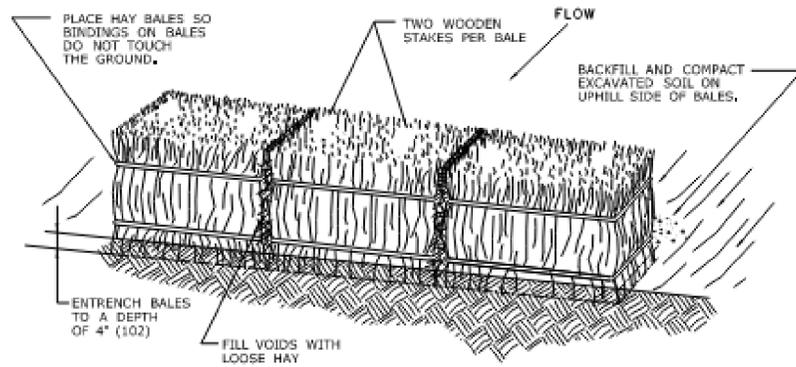
ConnDOT Project No: 146-199

City/Town: Town of Vernon, CT

Project Name: Replacement of Bridge No. 04575, Main Street over Tankerhoosen River

Attachment C: Project Plan Set

Located after this page is a plan set titled, "Town of Vernon, Plans for Replacement of Bridge No. 04575 Main Street Over Tankerhoosen River" prepared by GM2, Inc.

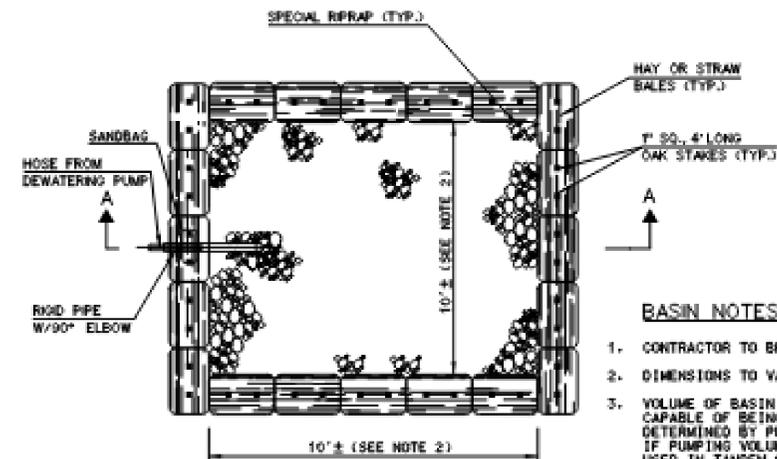


HAY BALE SYSTEM

GENERAL NOTES:

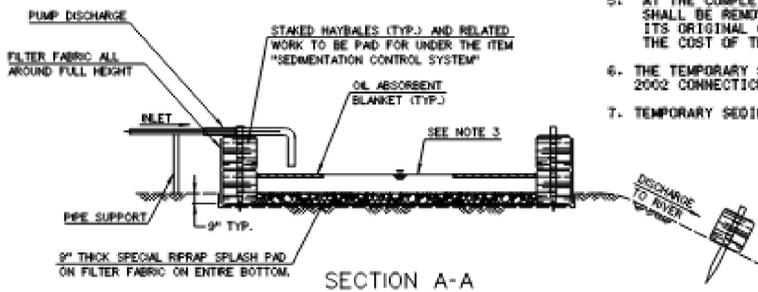
- HAY BALES SHALL NOT BE USED IN A WATERCOURSE.
- HAY BALES SHALL BE ENTRENCHED 4" (102) AND TIGHTLY BUTTED TOGETHER. REMOVE HEAVY BRUSH AND FILL ALL VOIDS WITH LOOSE HAY.
- WOOD STAKES SHALL HAVE A MINIMUM CROSS-SECTION SIZE OF AT LEAST 1" (102) X 1" (102) AND MINIMUM LENGTH OF 4" (1219)
- CLEAN OUT ACCUMULATED SEDIMENT WHEN ONE-HALF (1/2) OF THE ORIGINAL HEIGHT OF THE HAY BALE FENCE, AS INSTALLED, BECOMES FILLED WITH SEDIMENT OR AS DIRECTED BY THE ENGINEER.
- NOT TO BE USED IN THE VICINITY OF URBAN AND RESIDENTIAL AREAS.

BITUMINOUS CONCRETE DRIVEWAY

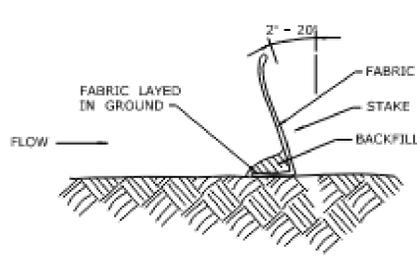


Basin Notes:

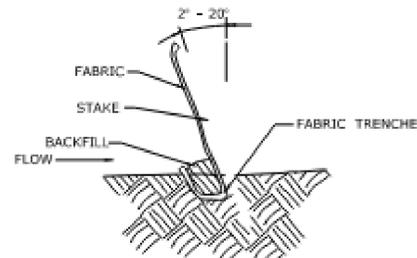
- CONTRACTOR TO BRACE HAY BALES AS REQUIRED FOR STABILITY.
- DIMENSIONS TO VARY DEPENDENT UPON DE-WATERING RATE.
- VOLUME OF BASIN IS EQUAL TO THE MAXIMUM VOLUME OF WATER CAPABLE OF BEING PUMPED OVER ONE HOUR. THIS VOLUME CAN BE DETERMINED BY PUMP MANUFACTURER'S SPECIFICATIONS. IF PUMPING VOLUME EXCEEDS BASIN CAPACITY, BASIN MAY BE USED IN TANDEN OR IN TIERS.
- SPECIAL RIPRAP STONE SHALL CONFORM TO NO. 3 STONE AS SHOWN IN SECTION M.01.01 OF CONDOT FORM 816.
- AT THE COMPLETION OF THE WORK, THE BASIN AND ALL RELATED MATERIALS SHALL BE REMOVED FROM THE SITE, AND THE AREA SHALL BE RETURNED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER. THE COST OF THIS WORK WILL BE INCLUDED IN THE GENERAL COST OF THE WORK.
- THE TEMPORARY SEDIMENT BASIN SHALL BE DESIGNED IN ACCORDANCE WITH 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL
- TEMPORARY SEDIMENT BASIN SHALL BE PAID FOR UNDER THE PAY ITEM "HANDLING WATER".



TEMPORARY SEDIMENT BASIN FOR DEWATERING DISCHARGE
NOT TO SCALE



BACKFILLING GEOTEXTILE TOE



TRENCHING GEOTEXTILE TOE

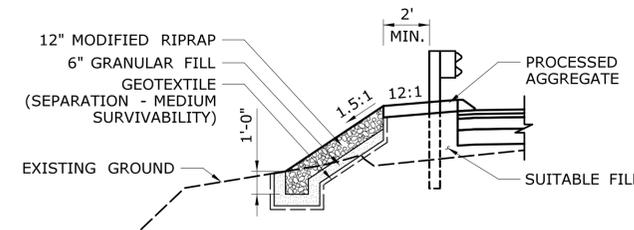
- 2" HMA S0.375 TRAFFIC LEVEL 2
- 2" HMA S0.5 TRAFFIC LEVEL 2
- 6" PROCESSED AGGREGATE BASE

END VIEW

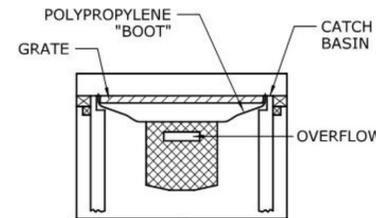
RIPRAP

GENERAL NOTES:

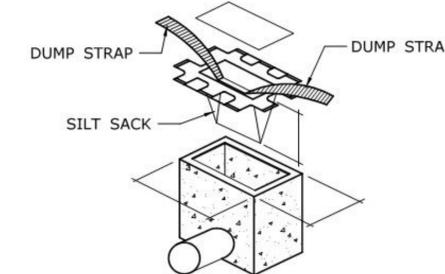
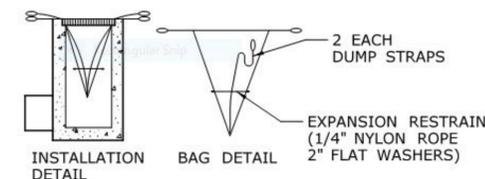
- GEOTEXTILE FENCE SHOULD BE PLACED SO THE FENCE LEANS TOWARD THE SOURCE OF SEDIMENT.
- MAXIMUM SPACING FOR WOODEN STAKES OR STEEL POSTS IS 10.0' (3048).
- WOOD STAKES SHALL HAVE A MINIMUM CROSS-SECTION SIZE OF 1.5" (457) X 1.5" (457) AND MINIMUM LENGTH OF 4" (1219) STEEL POSTS SHALL BE AT LEAST 0.5 LB. PER FOOT (0.22KG PER CM) WITH A MINIMUM LENGTH OF 4" (1219).
- WOODEN STAKES OR STEEL POSTS SHALL BE DRIVEN TO A MINIMUM OF 1" (305) INTO THE GROUND.
- 6" (152) OF GEOTEXTILE SHALL BE BURIED BY BACKFILLING OR TRENCHING AND AT LEAST 2.5" (762) IN HEIGHT OF GEOTEXTILE SHALL BE EXPOSED.
- FABRIC SHALL BE JOINED ONLY AT A SUPPORT POST WITH A MINIMUM OF 6" (152) OVERLAP AND SECURITY SEALED.
- UPON RE-ESTABLISHMENT OF GROUND COVER IN DISTURBED AREAS AND WHEN DIRECTED BY THE ENGINEER, OR UPON FINAL INSPECTION FENCE AND ANY SEDIMENT SHALL BE REMOVED. AT NO TIME WILL THE FENCE REMAIN IN PLACE AFTER PROJECT COMPLETION.
- GEOTEXTILE FENCE SHALL NOT BE USED IN A WATER COURSE.
- ONLY GEOTEXTILE FROM THE DEPARTMENTS APPROVED PRODUCT LIST SHALL BE USED.
- BACKFILLING OF GEOTEXTILE SHALL ONLY BE USED WHEN GROUND IS FROZEN OR WHERE OTHER OBSTRUCTIONS ARE ENCOUNTERED THAT PROHIBIT TRENCHING, IE, STUMPS OR ROCKS.
- CLEAN OUT ACCUMULATED SEDIMENT WHEN ONE-HALF (1/2) OF THE ORIGINAL HEIGHT OF THE GEOTEXTILE FENCE, AS INSTALLED, BECOMES FILLED WITH SEDIMENT OR AS DIRECTED BY THE ENGINEER.



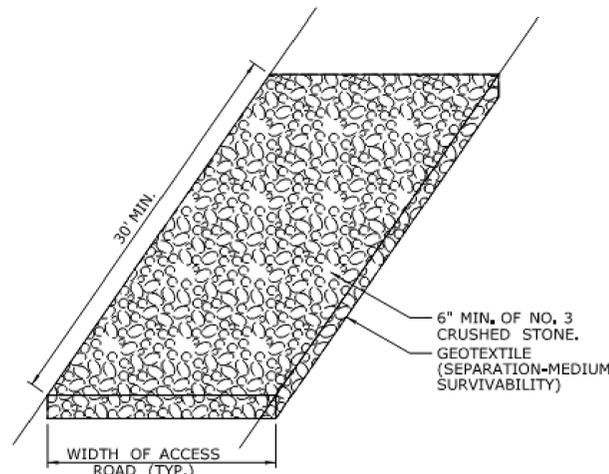
RIPRAP FOR SLOPE PROTECTION DETAIL
NOT TO SCALE



NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. CLEAN FILTER AS NEEDED.

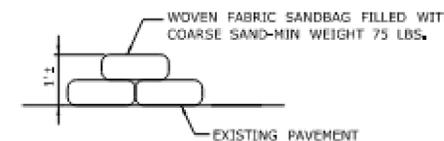


INLET PROTECTION SILT SACK DETAIL
NOT TO SCALE



ANTI-TRACKING PAD
NOT TO SCALE

NOTE: ALL ITEMS INCLUDED SHALL BE PAID UNDER "ANTI-TRACKING PAD".



SUGGESTED TEMPORARY CHECK DAM CROSS SECTION
NOT TO SCALE

NOTES:

- REFER TO DWG. NO. STR-3 FOR LOCATION OF CHECK DAMS.
- COST OF TEMPORARY CHECK DAM TO BE PAID FOR IN THE ITEM "SEDIMENTATION CONTROL SYSTEM".

ENVIRONMENTAL PERMIT PLANS - 05/15/2020

REV.	DATE	REVISION DESCRIPTION	SHEET NO.	Plotted Date: 5/15/2020

DESIGNER/DRAFTER: CCJ
CHECKED BY: PMB
NOT TO SCALE

TOWN OF VERNON

File name: ...VHW_MSH-146-199_PMT-02.dgn

SIGNATURE/BLOCK:	GM2 ASSOCIATES, INC. 115 GLASTONBURY BLVD GLASTONBURY, CT 06033
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PROJECT TITLE:
REPLACEMENT OF BRIDGE NO. 04575 MAIN STREET OVER TANKERHOUSEN RIVER

TOWN: VERNON
DRAWING TITLE: MISCELLANEOUS DETAILS

PROJECT NO. 146-199
DRAWING NO. PMT-02
SHEET NO.

**BEGIN PROJECT NO. 146-199
LIMIT OF FULL DEPTH CONSTRUCTION
STA. 10+20
N 860189.41
E 1068650.12**

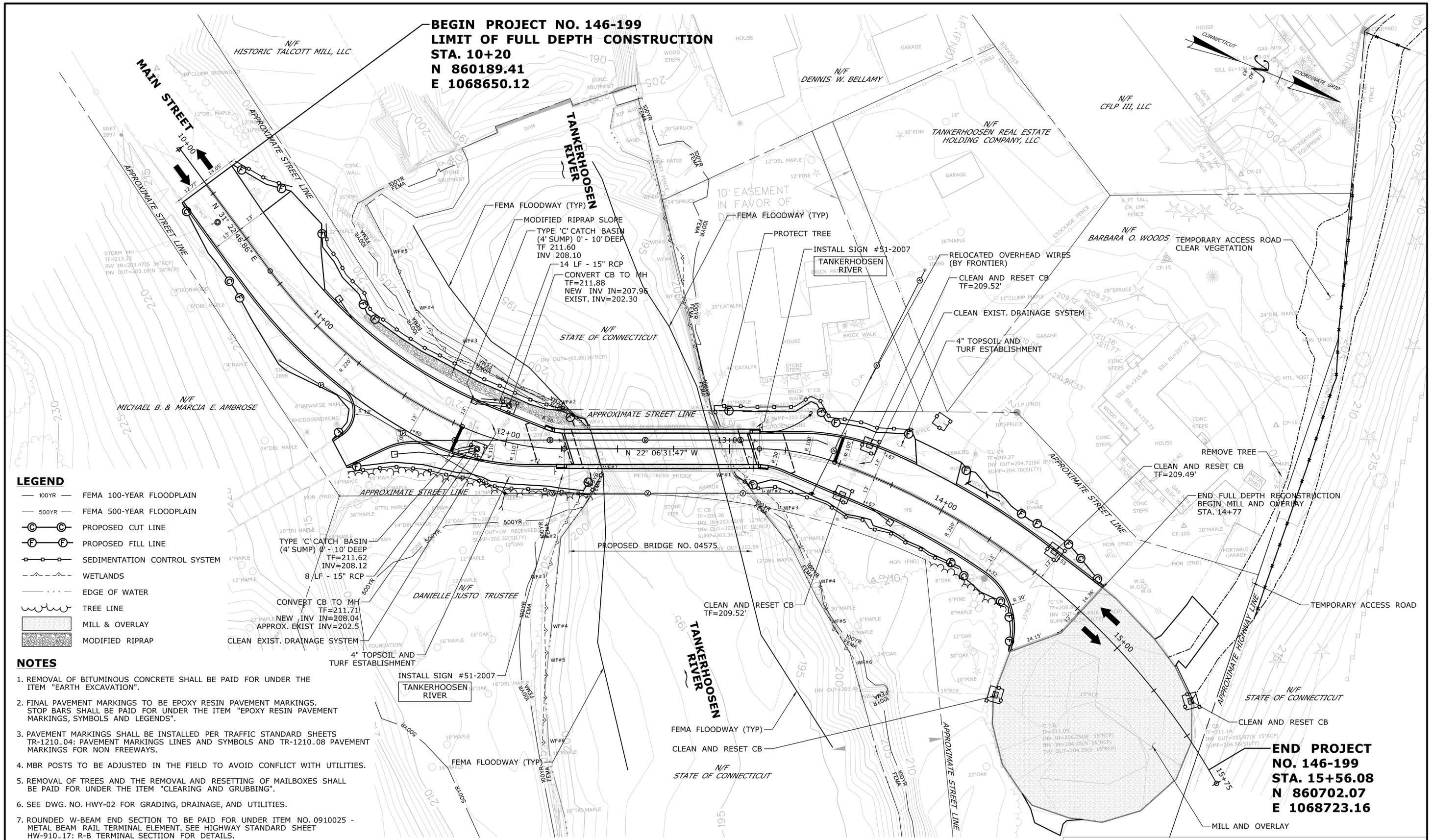
**END PROJECT
NO. 146-199
STA. 15+56.08
N 860702.07
E 1068723.16**

LEGEND

- 100YR — FEMA 100-YEAR FLOODPLAIN
- 500YR — FEMA 500-YEAR FLOODPLAIN
- ⊖ ⊖ PROPOSED CUT LINE
- ⊕ ⊕ PROPOSED FILL LINE
- ⊖ ⊕ SEDIMENTATION CONTROL SYSTEM
- WETLANDS
- EDGE OF WATER
- TREE LINE
- ▨ MILL & OVERLAY
- ▨ MODIFIED RIPRAP

NOTES

1. REMOVAL OF BITUMINOUS CONCRETE SHALL BE PAID FOR UNDER THE ITEM "EARTH EXCAVATION".
2. FINAL PAVEMENT MARKINGS TO BE EPOXY RESIN PAVEMENT MARKINGS. STOP BARS SHALL BE PAID FOR UNDER THE ITEM "EPOXY RESIN PAVEMENT MARKINGS, SYMBOLS AND LEGENDS".
3. PAVEMENT MARKINGS SHALL BE INSTALLED PER TRAFFIC STANDARD SHEETS TR-1210.04: PAVEMENT MARKING LINES AND SYMBOLS AND TR-1210.08 PAVEMENT MARKINGS FOR NON FREEWAYS.
4. MBR POSTS TO BE ADJUSTED IN THE FIELD TO AVOID CONFLICT WITH UTILITIES.
5. REMOVAL OF TREES AND THE REMOVAL AND RESETTING OF MAILBOXES SHALL BE PAID FOR UNDER THE ITEM "CLEARING AND GRUBBING".
6. SEE DWG. NO. HWY-02 FOR GRADING, DRAINAGE, AND UTILITIES.
7. ROUNDED W-BEAM END SECTION TO BE PAID FOR UNDER ITEM NO. 0910025 - METAL BEAM RAIL TERMINAL ELEMENT. SEE HIGHWAY STANDARD SHEET HW-910.17: R-B TERMINAL SECTION FOR DETAILS.
8. REMOVAL AND RESETTING OF HISTORICAL SIGNS SHALL BE PAID FOR UNDER THE ITEM "REMOVAL AND RELOCATION OF EXISTING SIGNS".



ENVIRONMENTAL PERMIT PLANS - 05/15/2020

	DESIGNER/DRAFTER: CCJ CHECKED BY: PMB SCALE IN FEET 0 20 40 SCALE 1"=20' Plotted Date: 5/15/2020	 TOWN OF VERNON Filename: ...VHW_MSH_146-199_PMT-03.dgn	SIGNATURE/ BLOCK: GM2 ASSOCIATES, INC. 115 GASTONBURY BLVD GASTONBURY, CT 06033	PROJECT TITLE: REPLACEMENT OF BRIDGE NO. 04575 MAIN STREET OVER TANKERHOUSEN RIVER	TOWN: VERNON DRAWING TITLE: ROADWAY PLAN	PROJECT NO. 146-199 DRAWING NO. PMT-03 SHEET NO.
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**BEGIN PROJECT NO. 146-199
LIMIT OF FULL DEPTH CONSTRUCTION
STA. 10+20
N 860189.41
E 1068650.12**

**END PROJECT
NO. 146-199
STA. 15+56.08
N 860702.07
E 1068723.16**

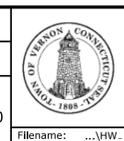
- LEGEND**
- 100YR — FEMA 100-YEAR FLOODPLAIN
 - 500YR — FEMA 500-YEAR FLOODPLAIN
 - ⊖ ⊖ PROPOSED CUT LINE
 - ⊕ ⊕ PROPOSED FILL LINE
 - ⊖ ⊖ SEDIMENTATION CONTROL SYSTEM
 - WETLANDS
 - EDGE OF WATER
 - TREE LINE
 - ▨ MILL & OVERLAY
 - ▨ MODIFIED RIPRAP

- NOTES**
- SEE DWG. NO. HWY-01 FOR ROADWAY DIMENSIONS.
 - ALL AREAS OF DISTURBED EARTH WITH SLOPES STEEPER THAN 2:1 REQUIRE "MODIFIED RIPRAP" FOR SLOPE PROTECTION UNLESS SHOWN OTHERWISE.

REV.	DATE	REVISION DESCRIPTION	SHEET NO.

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.

DESIGNER/DRAFTER:
CCJ
CHECKED BY:
PMB
SCALE IN FEET
0 20 40
SCALE 1"=20'

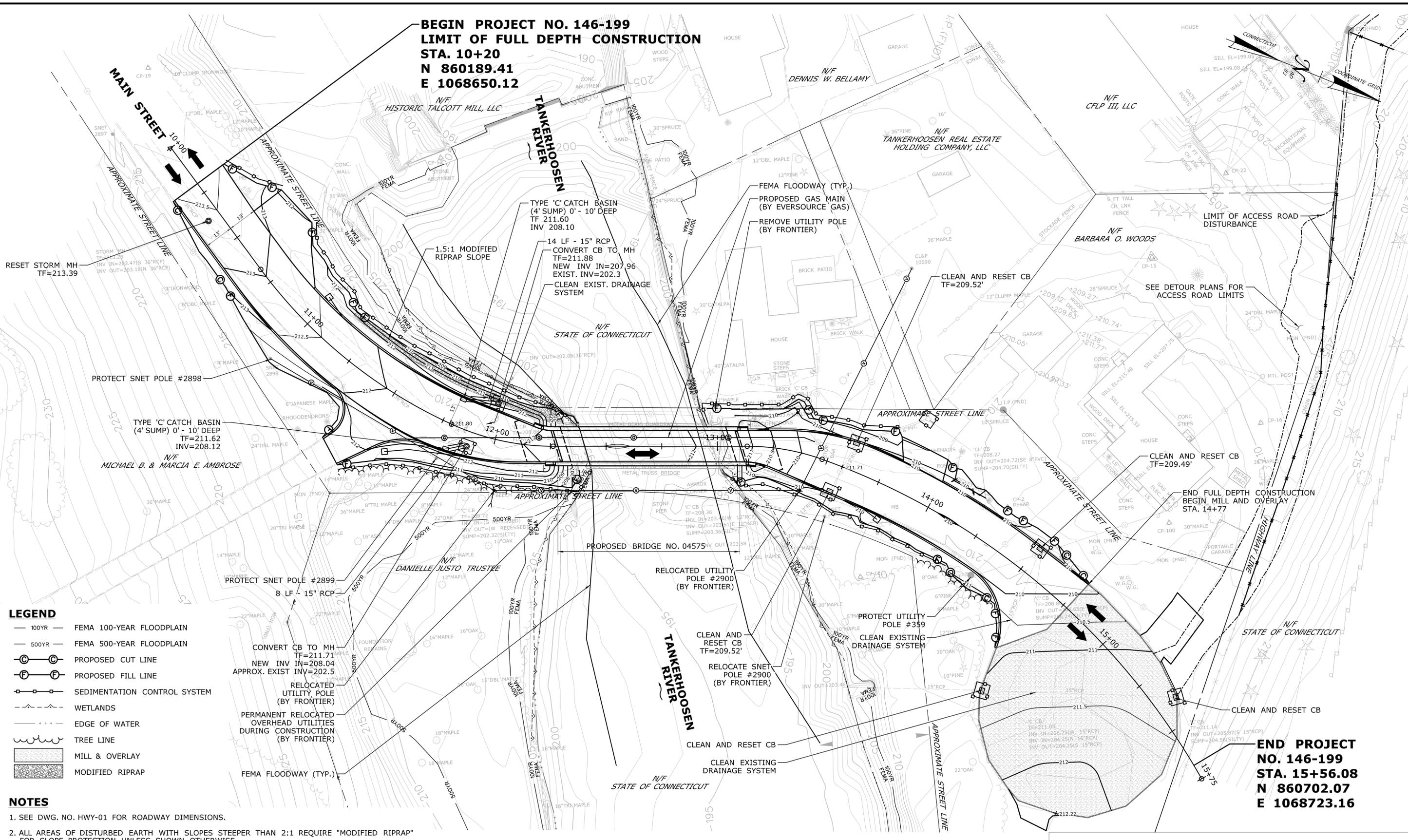


TOWN OF VERNON
Filename: ...VHW_MSH-146-199_PMT-04.dgn

SIGNATURE/
BLOCK:
GM2 ASSOCIATES, INC.
115 GASTONBURY BLVD
GASTONBURY, CT 06033

PROJECT TITLE:
**REPLACEMENT OF BRIDGE
NO. 04575 MAIN STREET
OVER TANKERHOUSEN RIVER**

TOWN: **VERNON**
PROJECT NO. **146-199**
DRAWING NO. **PMT-04**
DRAWING TITLE: **GRADING, DRAINAGE
AND UTILITY PLAN**
SHEET NO.



**BEGIN PROJECT NO. 146-199
LIMIT OF FULL DEPTH CONSTRUCTION
STA. 10+20
N 860189.41
E 1068650.12**

**END PROJECT NO. 146-199
STA. 15+56.08
N 860702.07
E 1068723.16**

LEGEND

- 100YR — FEMA 100-YEAR FLOODPLAIN
- 500YR — FEMA 500-YEAR FLOODPLAIN
- 200' TANKERHOSEN RIVER UPLAND REVIEW AREA
- ⊖ ⊖ PROPOSED CUT LINE
- ⊕ ⊕ PROPOSED FILL LINE
- ⊖ ⊕ SEDIMENTATION CONTROL SYSTEM
- WETLANDS
- EDGE OF WATER
- TREE LINE
- MODIFIED RIPRAP

WETLAND IMPACT TABLE

	WETLAND IMPACTS	WATERWAY IMPACTS	TOTAL
PERMANENT	20 SF	0 SF	20 SF
TEMPORARY	175 SF	630 SF	805 SF
TOTAL	195 SF	630 SF	825 SF

LEGEND OF IMPACTS

- PERMANENT WETLAND IMPACTS
- TEMPORARY WETLAND IMPACTS
- TEMPORARY WATERWAY IMPACTS

100-YEAR FLOODPLAIN AREA IMPACTS, CUT & FILL INFORMATION

VOLUME IMPACTS	
EXCAVATION IN FEMA FLOODPLAIN	FILL IN FEMA FLOODPLAIN
0 CY	0 CY

SEDIMENTATION CONTROL SYSTEM (TYP.)
TEMPORARY SEDIMENT BASIN

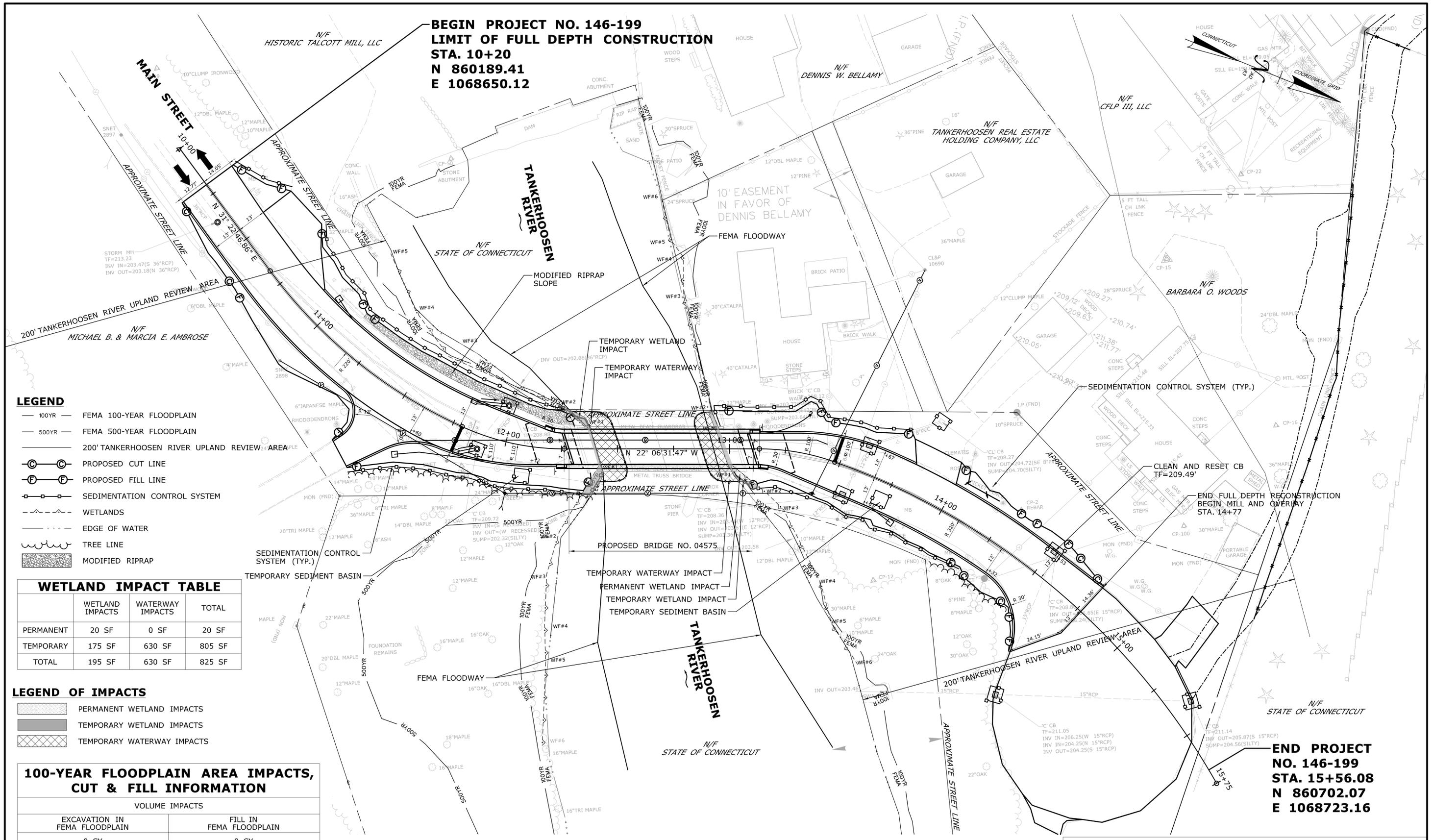
PROPOSED BRIDGE NO. 04575
TEMPORARY WATERWAY IMPACT
PERMANENT WETLAND IMPACT
TEMPORARY WETLAND IMPACT
TEMPORARY SEDIMENT BASIN

SEDIMENTATION CONTROL SYSTEM (TYP.)

CLEAN AND RESET CB
TF=209.49'

END FULL DEPTH RECONSTRUCTION
BEGIN MILL AND OVERLAY
STA. 14+77

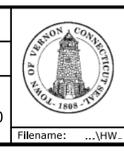
ENVIRONMENTAL PERMIT PLANS - 05/15/2020



REV.	DATE	REVISION DESCRIPTION	SHEET NO.

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.

DESIGNER/DRAFTER:
CCJ
CHECKED BY:
PMB
SCALE IN FEET
0 20 40
SCALE 1"=20'



TOWN OF VERNON
Filename: ...VHW_MSH_146-199_PMT-05.dgn

SIGNATURE/BLOCK:
GM2 ASSOCIATES, INC.
115 GLASTONBURY BLVD
GLASTONBURY, CT 06033

PROJECT TITLE:
REPLACEMENT OF BRIDGE NO. 04575 MAIN STREET OVER TANKERHOSEN RIVER

TOWN: **VERNON**
DRAWING TITLE:
WETLAND IMPACT PLAN

PROJECT NO. **146-199**
DRAWING NO. **PMT-05**
SHEET NO.

N/F HISTORIC TALCOTT MILL, LLC

N/F DENNIS W. BELLAMY

N/F TANKERHOSEN REAL ESTATE HOLDING COMPANY, LLC

N/F C.F.P. III, LLC

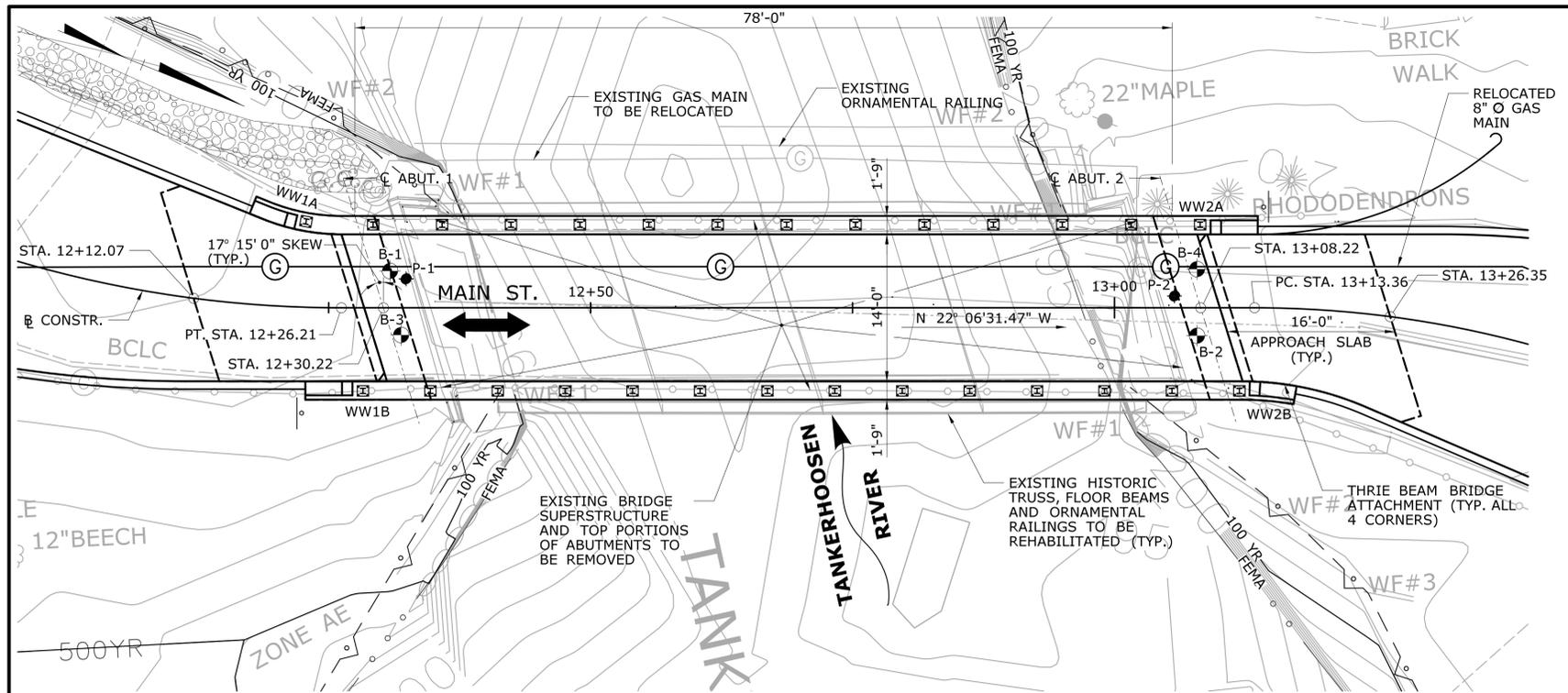
N/F BARBARA O. WOODS

N/F MICHAEL B. & MARCIA E. AMBROSE

N/F STATE OF CONNECTICUT

N/F STATE OF CONNECTICUT

N/F STATE OF CONNECTICUT



GENERAL NOTES:

SPECIFICATIONS: CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 817 (2016), SUPPLEMENTAL SPECIFICATIONS DATED JULY 2019 AND SPECIAL PROVISIONS.

DESIGN SPECIFICATIONS: AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS (8TH EDITION - 2017), AS SUPPLEMENTED BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BRIDGE DESIGN MANUAL (2003), WITH THE LATEST REVISIONS.

MATERIAL STRENGTHS:

CONCRETE:
 CLASS PCC 03340f_c=3,000 psi
 CLASS PCC 04460f_c=4,000 psi
 CLASS PCC 04462f_c=4,000 psi

THE CONCRETE STRENGTH, f_c, USED IN DESIGN OF THE CONCRETE COMPONENTS IS NOTED ABOVE. THE COMPRESSIVE STRENGTH OF THE CONCRETE IN THE CONSTRUCTED COMPONENTS SHALL CONFORM TO THE REQUIREMENTS OF 6.01- CONCRETE FOR STRUCTURES AND M.03- PORTLAND CEMENT CONCRETE.

REINFORCEMENT: (ASTM A615 GRADE 60)..... f_y = 60,000 PSI

STRUCTURAL STEEL: (AASHTO M270, GRADE 50)..... f_y = 50,000 PSI

LIVE LOAD: HL-93, LEGAL AND PERMIT VEHICLES.

FUTURE PAVING ALLOWANCE: NONE.

STRUCTURAL STEEL: SEE STRUCTURAL STEEL NOTES ON DWG S-15 FOR DESIGNATIONS AND REQUIREMENTS.

PAINT: PAINT SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIAL PROVISION, "ABRASIVE BLAST CLEANING AND FIELD PAINTING OF STRUCTURE". THE COLOR OF THE TOPCOAT MATERIAL ON THE STRUCTURAL STEEL SHALL CONFORM TO FEDERAL STD. 595B COLOR NO. 17038, (BLACK).

BITUMINOUS CONCRETE OVERLAY: THIS SHALL CONSIST OF TWO LIFTS: THE FIRST SHALL BE "HMA S0.25" (1" THICK) AND THE SECOND LIFT SHALL BE "HMA S0.5" (2" THICK).

FOUNDATION PRESSURES: THE LIMIT STATES NOTED ON THE SUBSTRUCTURE PLAN SHEETS REFER TO LOAD COMBINATIONS AS GIVEN IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.

DIMENSIONS: WHEN DECIMAL DIMENSIONS ARE GIVEN LESS THAN THREE DECIMAL PLACES, THE OMITTED DIGITS SHALL BE ASSUMED TO BE ZEROS.

EXISTING DIMENSIONS: DIMENSIONS OF THE EXISTING STRUCTURE SHOWN ON THESE PLANS ARE FOR GENERAL REFERENCE ONLY. THEY HAVE BEEN TAKEN FROM THE ORIGINAL DESIGN DRAWINGS AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF THE FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. WHEN SHOP DRAWINGS BASED ON FIELD MEASUREMENTS ARE SUBMITTED FOR REVIEW, THE FIELD MEASUREMENTS SHALL ALSO BE SUBMITTED FOR REFERENCE BY THE REVIEWER.

EXISTING BRIDGE: THE WORK FOR REMOVAL OF THE EXISTING SUPERSTRUCTURE SHALL BE INCLUDED AND PAID FOR UNDER THE ITEM "REMOVAL OF SUPERSTRUCTURE". THE WORK FOR REMOVAL OF TOPS OF EXISTING ABUTMENTS SHALL BE PAID FOR UNDER ITEM "REMOVAL OF EXISTING MASONRY".

UTILITIES: THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE PROJECT LIMITS AND SHALL BE PROTECTED DURING CONSTRUCTION: EVERSOURCE ELECTRIC, EVERSOURCE GAS, FRONTIER COMMUNICATIONS AND COMCAST CABLE. THE CONTRACTOR SHALL COORDINATE ALL WORK RELATED TO UTILITY RELOCATION WITH THE RESPECTIVE UTILITY COMPANIES.

BRIDGE IDENTIFICATION PLACARDS: THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW BRIDGE IDENTIFICATION SIGNS AT THE LEADING END OF EACH BRIDGE PARAPET ON THE TRAFFIC SIDE. THE SIGNS SHALL BE FABRICATED WITH 40 GAUGE ALUMINUM SHEET METAL. THE SIGNS SHALL BE 4" X 12" WITH 3" WHITE RETROREFLECTIVE BLOCK LETTERS ON GREEN RETROREFLECTIVE SHEETING. EACH SIGN SHALL READ 04575. ALL COSTS ASSOCIATED WITH PROVIDING AND INSTALLING THE BRIDGE SIGNS SHALL BE COVERED UNDER ITEM #1208931- SIGN FACE SHEET ALUMINUM (TYPE IX RETROREFLECTIVE SHEETING). THE FINAL LOCATION AND ATTACHMENT METHOD FOR THE SIGNS SHALL BE APPROVED BY THE ENGINEER PRIOR TO ATTACHMENT.

CONCRETE NOTES:

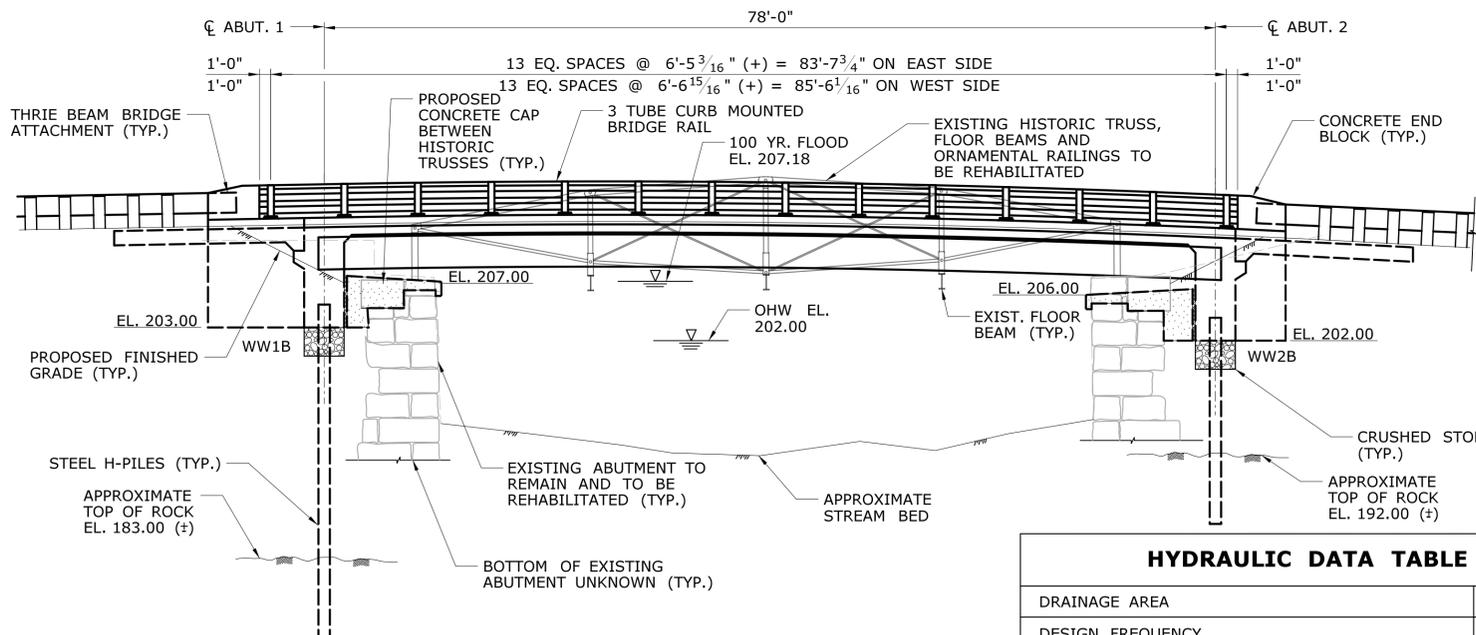
FOR CONCRETE NOTES SEE NEXT SHEET.

LEGEND:

- SOIL BORING LOCATION
- PROBE LOCATION

PLAN

SCALE: 1/8" = 1'-0"



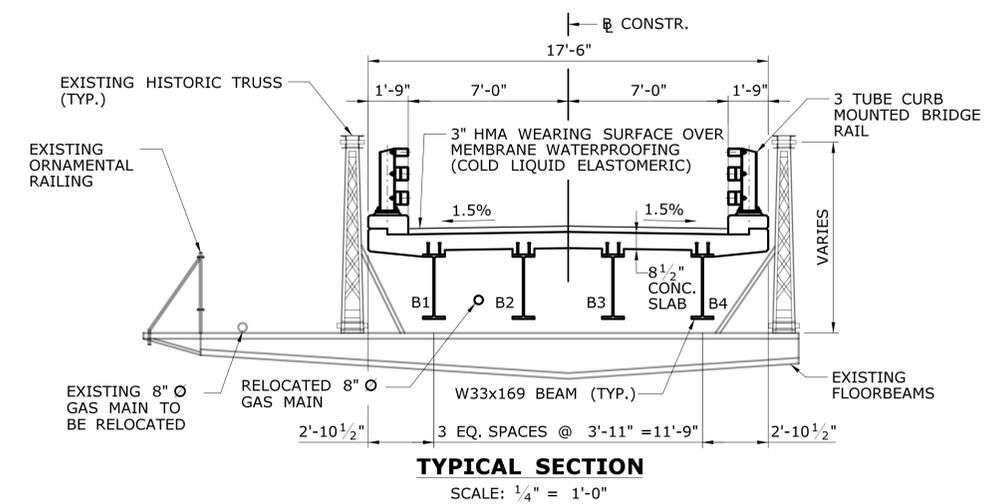
ELEVATION

SCALE: 1/8" = 1'-0"

HYDRAULIC DATA TABLE	
DRAINAGE AREA	12.7 SQ MI
DESIGN FREQUENCY	100 YEAR
DESIGN DISCHARGE	2505 CFS
AVERAGE DAILY FLOW ELEVATION	202 (OBS. 6/26/2019)
UPSTREAM DESIGN WATER SURFACE ELEVATION	207.18
DOWNSTREAM DESIGN WATER SURFACE ELEVATION	207.00
MAXIMUM SCOUR ELEVATION FREQUENCY DISCHARGE	184.1 200 YEAR 3050 CFS
WORST CASE SCOUR SUBSTRUCTURE UNIT	SOUTHERN ABUTMENT

CONCRETE DISTRIBUTION		
SUPERSTRUCTURE	C.Y.	111
SUBSTRUCTURE	C.Y.	52
FOOTINGS	C.Y.	-
TOTAL	C.Y.	163

INSPECTION OF FIELD WELDS			
METHOD	UNIT	QUANTITY	
ULTRASONIC	IN	0	
MAGNETIC PARTICLE	IN	0	

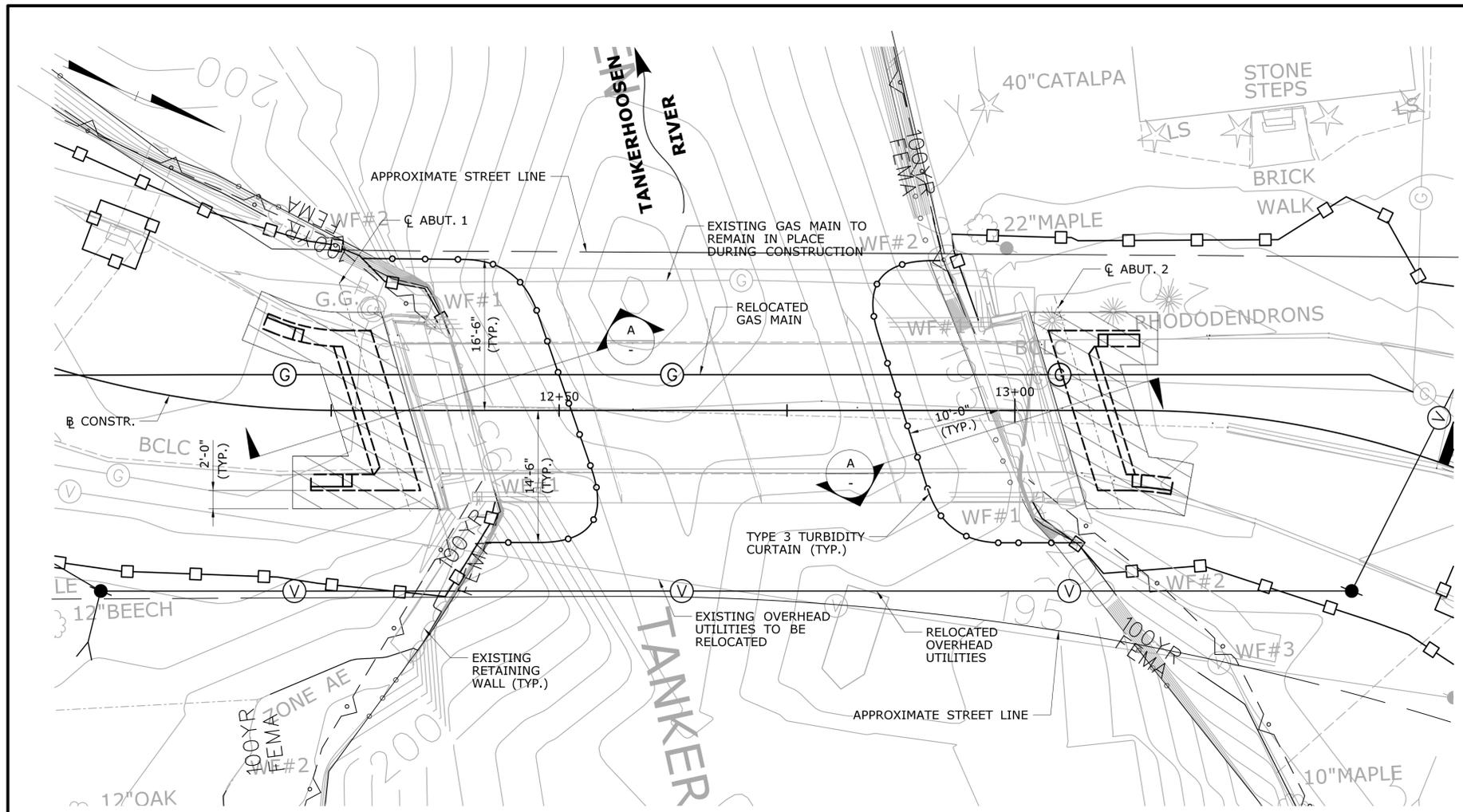


TYPICAL SECTION

SCALE: 1/4" = 1'-0"

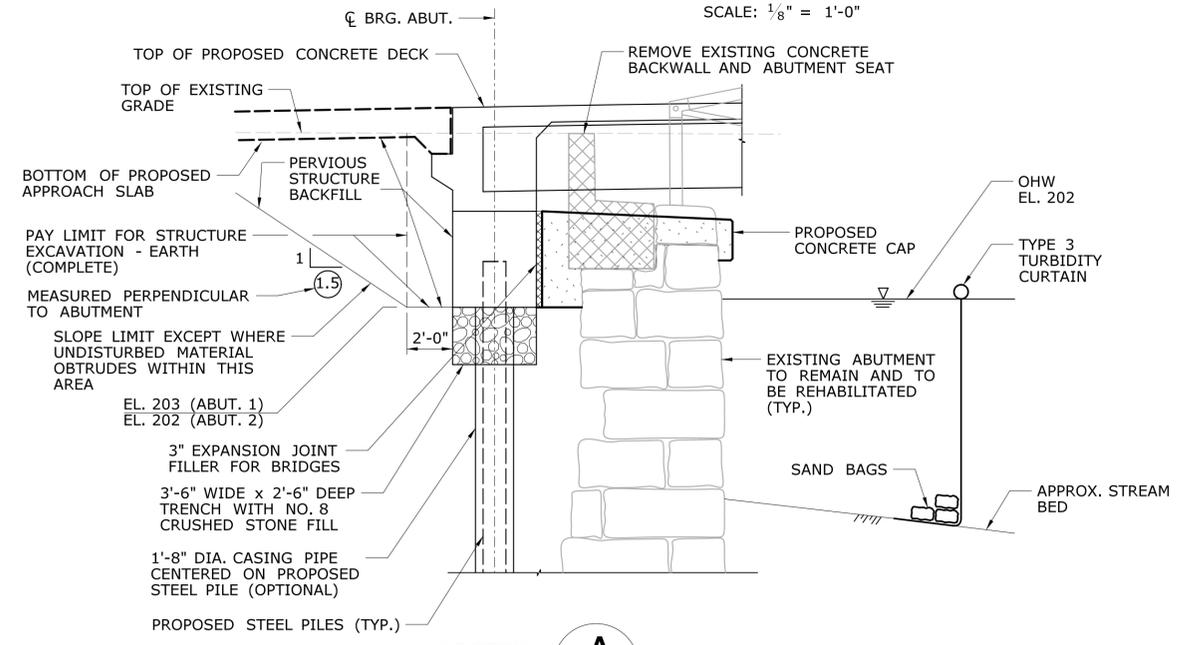
ENVIRONMENTAL PERMIT PLANS - 05/15/2020

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.	DESIGNER/DRAFTER: SD CHECKED BY: VLL SCALE AS NOTED	<p>TOWN OF VERNON</p>	SIGNATURE/BLOCK: GM2 ASSOCIATES, INC. 115 GLASTONBURY BLVD GLASTONBURY, CT 06033	PROJECT TITLE: <p>REPLACEMENT OF BRIDGE NO. 04575 MAIN STREET OVER TANKERHOUSEN RIVER</p>	TOWN: <p>VERNON</p>	PROJECT NO. <p>146-199</p>
Plotted Date: 5/15/2020				DRAWING TITLE: <p>GENERAL PLAN</p>	SHEET NO. <p>PMT-06</p>	



PLAN

SCALE: 1/8" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"

SUGGESTED SEQUENCE OF CONSTRUCTION:

THE FOLLOWING IS THE SUGGESTED SEQUENCE OF CONSTRUCTION THAT MAY BE FOLLOWED. THE CONTRACTOR SHALL SUBMIT HIS SEQUENCE OF CONSTRUCTION TO THE ENGINEER FOR APPROVAL.

1. CONSTRUCT TEMPORARY ACCESS ROAD AS SHOWN ON THE PLANS, SEE DWG. DTR-02.
2. INSTALL DETOUR SIGNS AND PLACE TEMPORARY PRECAST CONCRETE BARRIER CURB, CLOSING MAIN STREET IN THE VICINITY OF THE PROJECT TO THROUGH TRAFFIC. PRIOR TO ANY ROAD CLOSURE, THE CONTRACTOR SHALL COORDINATE WITH THE TOWN OF VERNON. SEE SPECIAL PROVISIONS FOR THE ITEM "MAINTENANCE AND PROTECTION OF TRAFFIC" AND THE DETOUR PLAN FOR ADDITIONAL REQUIREMENTS.
3. INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROLS AND TYPE 3 TURBIDITY CURTAINS.
4. INSTALL DEBRIS SHIELD AND REMOVE EXISTING SUPERSTRUCTURE.
5. INSTALL CONTAINMENT SYSTEM AND REHABILITATE EXISTING HISTORIC TRUSS, FLOORBEAMS, AND ORNAMENTAL RAILING.
6. FILL IN VOIDS / MISSING STONES ON THE FRONT OF EXISTING ABUTMENTS WITH THE USE OF A DIVER TO THE LIMITS SHOWN ON THESE PLANS.
7. REMOVE TOP PORTIONS OF EXISTING ABUTMENTS TO THE ELEVATIONS SHOWN ON THESE PLANS.
8. EXCAVATE BEHIND THE EXISTING ABUTMENTS.
9. POUR CONCRETE CAP ON TOP AND BEHIND THE EXISTING ABUTMENTS TO THE LIMITS SHOWN ON THESE PLANS.
10. INSTALL DRILLED PILES.
11. CONSTRUCT 3'-6" WIDE X 2'-6" DEEP TRENCH OF NO. 8 CRUSHED STONE.
12. CONSTRUCT BOTTOM OF PROPOSED ABUTMENTS TO BRIDGE SEAT ELEVATION.
13. INSTALL STEEL BEAMS.
14. POUR CONCRETE DECK AND END DIAPHRAGMS.
15. BACKFILL PROPOSED ABUTMENTS.
16. CONSTRUCT APPROACH SLABS, CURB, AND END BLOCKS. INSTALL METAL BRIDGE RAILS.
17. APPLY MEMBRANE WATERPROOFING AND FIRST LIFT OF BITUMINOUS OVERLAY.
18. CONSTRUCT ROADWAY APPROACHES TO THE BRIDGE.
19. APPLY FINAL LIFT OF THE BITUMINOUS OVERLAY TO THE ENTIRE PROJECT.
20. INSTALL ASPHALTIC PLUG EXPANSION JOINTS.
21. OPEN ROAD TO TRAFFIC AND COMPLETE MISCELLANEOUS WORK.

LEGEND

- EXCAVATION LIMIT
- FEMA/DESIGN 100-YEAR FLOODPLAIN
- SEDIMENTATION CONTROL SYSTEM
- TURBIDITY CONTROL CURTAIN
- WETLANDS
- EDGE OF WATER
- ORDINARY HIGH WATER (OHW)

ENVIRONMENTAL PERMIT PLANS - 05/15/2020

REV.	DATE	REVISION DESCRIPTION	SHEET NO.	Plotted Date: 5/15/2020

DESIGNER/DRAFTER: DK
CHECKED BY: VLL
SCALE AS NOTED

TOWN OF VERNON

File name: ..._SB_MSH_Br04575_146_199_Constr_Seq - Permits.dgn

SIGNATURE/BLOCK: GM2 ASSOCIATES, INC.
115 GLASTONBURY BLVD
GLASTONBURY, CT 06033

PROJECT TITLE:
REPLACEMENT OF BRIDGE NO. 04575 MAIN STREET OVER TANKERHOUSEN RIVER

TOWN: **VERNON**
DRAWING TITLE: **CONSTRUCTION SEQUENCE**

PROJECT NO. **146-199**
DRAWING NO. **PMT-07**
SHEET NO.

STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15th day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only the completed** reporting form to:

DEEP Land & Water Resources Division
Inland Wetlands Management Program
79 Elm Street, 3rd Floor
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the pdf version at www.ct.gov/deep/inlandwetlands (click the "status & trends" tab). Do NOT submit a reporting form for withdrawn actions.

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (e.g.: if an enforcement notice was given and subsequent permit issued - two forms for the two separate actions are to be completed).
 - A** = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B** = Any Permit Denied by the Inland Wetlands Agency
 - C** = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D** = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E** = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F** = A Jurisdictional Ruling by the Inland Wetlands Agency (i.e.: activities "permitted as of right" or activities considered non-regulated)
 - G** = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H** = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map that contains the location of the action/project/activity. USGS Quad Map information is available at: http://ct.gov/deep/lib/deep/gis/resources/Index_NamedQuadTown.pdf

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps available at UConn CLEAR's website: http://clear.uconn.edu/data/map_set/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief description of the action/project/activity. It is always best to provide as much information as possible (i.e., don't just state "forestry", provide details such as "20 acre forestry harvest, permit required for stream crossing".)

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- | | |
|--|--|
| A = Residential Improvement by Homeowner | I = Storm Water / Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of |
| H = Wetland Restoration, Enhancement, Creation | concept plans with no-on-the-ground work) |

10. Enter between one and four code numbers to best characterize the project or activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|---|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway / Driveway Construction |
| 3 = Land Clearing / Grubbing (no other activity) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging / Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body". For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream". Remember that these figures represent only the acreage altered not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses (question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered). You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART III: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.*

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: Click Here for Year month: Click Here for Month
- CHOOSE ACTION TAKEN (see instructions for codes): Click Here to Choose a Code
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Town of Vernon
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (type name(s)): _____, _____
- LOCATION (click on hyperlinks for information): USGS quad map name: Rockville or quad number: 39
subregional drainage basin number: 4503
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Town of Vernon
- NAME & ADDRESS / LOCATION OF PROJECT SITE (type information): Main Street over Tankerhoosen River, Vernon, CT
briefly describe the action/project/activity (check and type information): temporary permanent description: Demolition and reconstruction of Bridge No. 04575 Main Street over Tankerhoosen River.
- ACTIVITY PURPOSE CODE (see instructions for codes): E
- ACTIVITY TYPE CODE(S) (see instructions for codes): 12, 14, 9, 1
- WETLAND / WATERCOURSE AREA ALTERED (type acres or linear feet as indicated):
wetlands: 0.00 acres open water body: 0.00 acres stream: 0 linear feet
- UPLAND AREA ALTERED (type acres as indicated): 0.46 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Inland Wetlands Commission

FROM: George K. McGregor, AICP, Town Planner

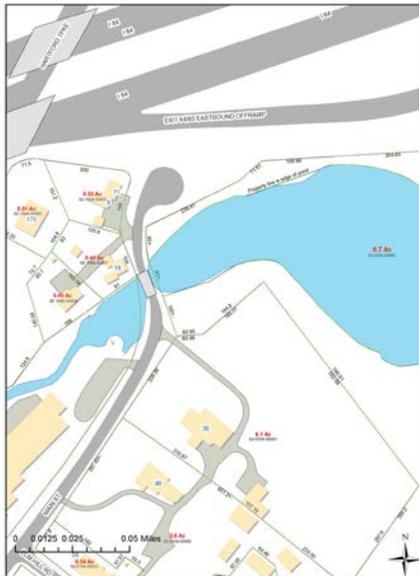
SUBJECT: IWC 2020-03, Town of Vernon Main St. Bridge

DATE: June 23, 2020

Request

The Town of Vernon has applied for a Wetlands Permit by Commission, for the demolition and replacement of the existing vehicular bridge (bridge number 04575) on Main St., north of Elm Hill Rd, over the Tankerhoosen River (no specific address or parcel id).

Main St. Bridge @ Tankerhoosen River



Staff Comments

The Town of Vernon plans to demolish and replace the existing bridge along with reconstruction and other improvements to Main St. and the Main St. cul-de-sac. The project also will preserve the historic bridge truss, dated to the late 19th century. The Town has engaged MCA consulting engineers to design the project. The application packet details the engineering approach.

The design appears to minimize impacts on the watercourse and takes management efforts to reduce erosion, pollution, as well as improve environmental quality. Based on safety reviews and a 2017 Bridge Inspection Report, replacement is the most reasonable option.

Draft Motions

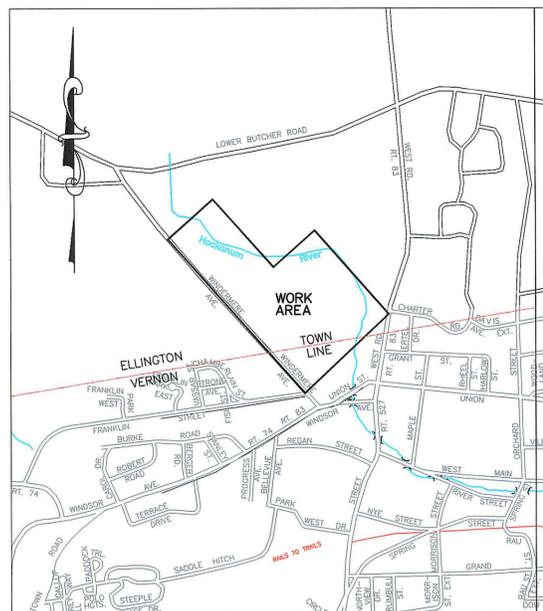
MOVED, that the Vernon Inland Wetlands and Watercourses Commission does hereby **APPROVE**, the application (**IWC-2020-03**) of the Town of Vernon for a Wetlands permit by Commission for the demolition and replacement of the Main St. Bridge over the Tankerhoosen River upon consideration of the decision criteria in Section 10.2 of the Town of Vernon Inland Wetland and Watercourse Regulations, and based upon the following findings:

1. The application presents no adverse impact to wetlands and watercourses as evaluated by the criteria of Section 10.2 of the Vernon Inland Wetlands Regulations.
2. No prudent or feasible alternative exists

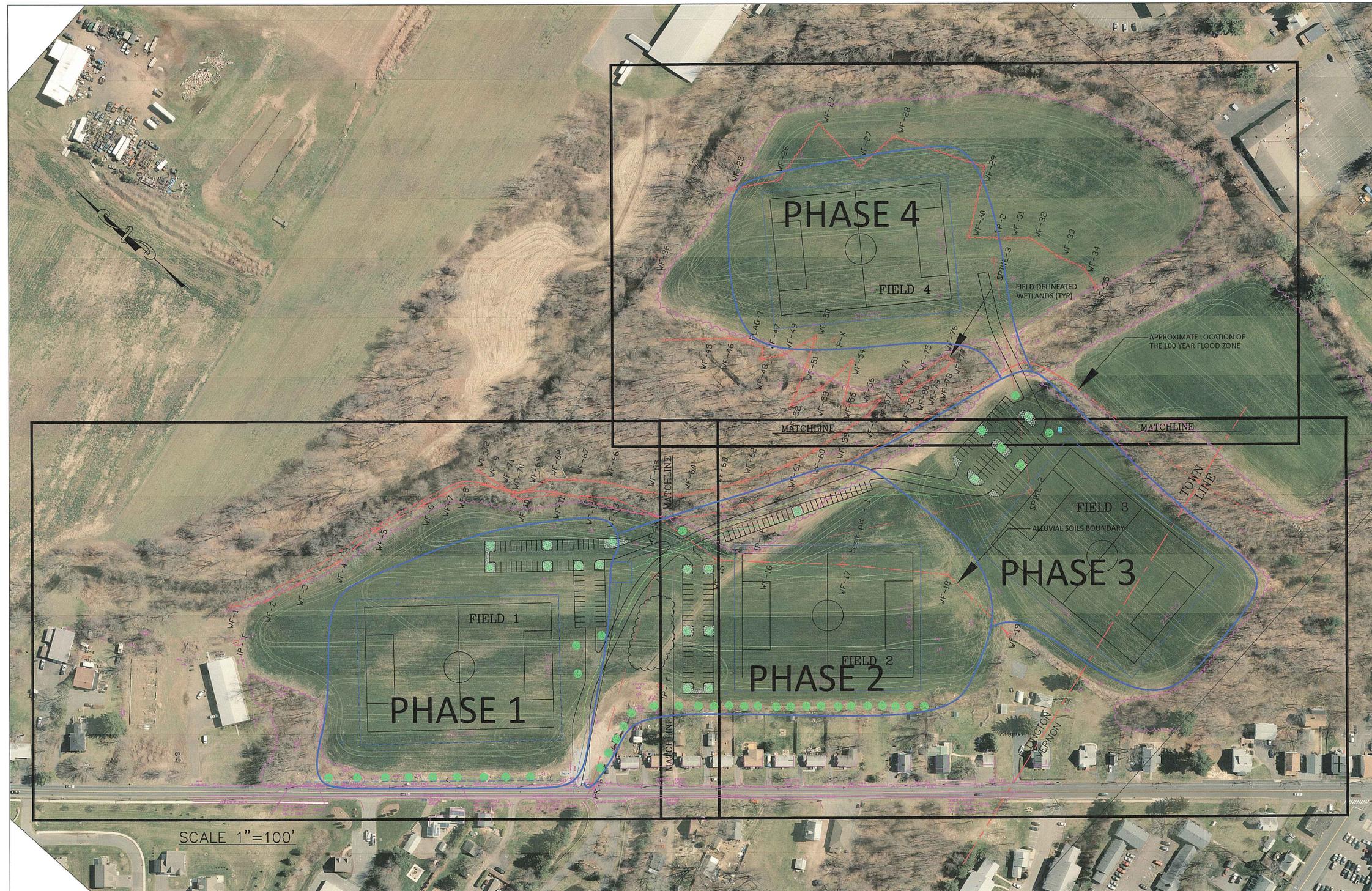
Or,

MOVED, an Alternate Motion

APPLICATION 2



KEY MAP
SCALE 1" = 1000'



SCALE 1" = 100'

MAP REFERENCE:

1. BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - A. "REVISION TO SUBDIVISION MAP" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. LANDMARK SURVEYS, LLC DATED 4/27/2020.
 - B. PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC LANDMARK SURVEYS, LLC DATED 4/27/2020
2. CONNECTICUT WATER MAP - PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.

WETLANDS NOTE:

 RICHARD ZULIK /CERT. SOIL SCIENTIST DATE

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
 #2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300a-20. It is a Compilation Plan and is considered Class A-2 and T-D Accuracy Standard.
 To my knowledge and belief, this map is substantially correct as noted hereon.

 David A. Smith Connecticut PELS #14173
 This certification not valid unless this plan bears a live signature and my embossed seal



OVERALL SITE PLAN - PHOTO
 WINDERMERE FIELDS
 WINDERMERE ROAD
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: AS NOTED DATE: MAY 7, 2020 SHEET: 1 OF 7
 FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS

RECEIVED



TOWN OF VERNON MAY 18 2020

INLAND WETLANDS COMMISSION (IWC)

TOWN PLANNERS OFFICE

APPLICATION

This form is to be used to apply to the Vernon Inland Wetlands Commission (IWC) for approval for a redesignation of a wetlands area, a change to the Inland Wetlands and Watercourses Regulations, and/or a permit to conduct a regulated activity in a wetland, watercourse, or upland review area (URA), which are defined as areas within one hundred (100) feet from the boundary of a wetland, watercourse, or intermittent watercourse and areas within two hundred (200) feet from the boundary of Gage's Brook, Hockanum River, Ogden Brook, Railroad Brook, Tankerhoosen River, Valley Falls Pond, Walker Reservoir East, Walker Reservoir West. Any activity that the Commission determines is likely to impact or affect wetlands or watercourses may be considered a regulated activity. **Provide all the information requested.**

The Applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property. Said interest shall be explained. If the applicant is not the property owner, written permission for this Application must be obtained from the property owner and submitted by letter signed by the property owner authorizing submission of the Application.

The Applicant understands that the Application is complete only when all information and documents required by IWC have been submitted and that any approval by the IWC relies upon complete and accurate information being provided by the Applicant. Incorrect information provided by the Applicant may make the approval invalid. The IWC may require additional information to be provided by the Applicant.

I. APPLICANT (S)

Name: David Smith
 Title: Vernon Town Engineer
 Company: Town of Vernon
 Address: 55 West Main Street
 Telephone: 860 870 3663 Fax: _____
 E-mail: dsmith@vernon-ct.gov

II. PROPERTY OWNERS

Name: MJS Leasing c/o Atty Tim Johnston
 Title: 62 Hyde Ave
 Company: Vernon, CT 06066
 Address: 27 Standish Road 860-872-
Ellington, CT 06029 8720
 Telephone: _____ Fax: _____
 E-mail: tim@vernonctlaw.com

III. PROPERTY

Address: Windermere Rd

Assessor ID Code: Map # 22 Block # 39 Lot/Parcel # 00003

Land Record Reference to Deed Description: Volume: 2397 Page 187

USGA Location:

Circle the Map Quadrangle Name: Manchester # 38 Rockville #39

Circle the Sub regional Drainage Basin #: 3108 4500 4502 4503

Zoning District: PRD

IV. PROJECT

Project Name: Windermere Fields

Project Contact Person:

Name: David Smith

Title: Town Engineer

Company: Town of Vernon

Address: 55 West Main Street
Vernon

Telephone: 860 870 3663 Fax: _____

E-mail: dsmith@vernon-ct.gov

V. PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "The Town of Vernon Inland Wetlands and Watercourses Regulations".

Purpose: Site Development for Recreation Complex

General Activities: Leveling existing grade - seed to grass

Regulated Activities:

Watercourse disturbance (linear feet): 0

Wetlands disturbance (acres or sq. ft.): 2+ acres of Alluvial Soils

Upland Review Area (URA) disturbance: NA

Nonregulated activities & activities outside URA: NA

VI. APPLICATION

- Redesignation of Wetlands
- Amendment of Inland Wetlands and Watercourses Regulations
- Modification of a Wetlands Redesignation
- Wetlands Permit
 - Non-significant activity
 - Significant activity with less than 1/2 acre site disturbance
 - Significant activity with site disturbance from 1/2 acre to and including 2 acres
 - Significant activity with site disturbance greater than 2 acres
 - Commission modification of a wetland permit in effect
 - Modification of a wetland permit by the Wetlands Agent
- Approval of a license by the Wetlands Agent for activities in an upland
- Appeal of a decision by the Wetlands Agent
- Subdivision review per CGS Section 8-26
- Jurisdictional ruling regarding permitted and nonregulated uses
- Waiver, reduction, or delayed payment of fees (attach statement of justification)
 - Waiver
 - Reduction to \$ _____
 - Delay of payment to _____

VII. CERTIFICATION AND SIGNATURE

I, the undersigned Applicant or applicant's Agent, hereby certify that I have reviewed the "Town of Vernon Inland Wetlands and Watercourses Regulations" and have prepared this Application with complete and accurate information.

Property Owner, Applicant, or Applicant's Agent:

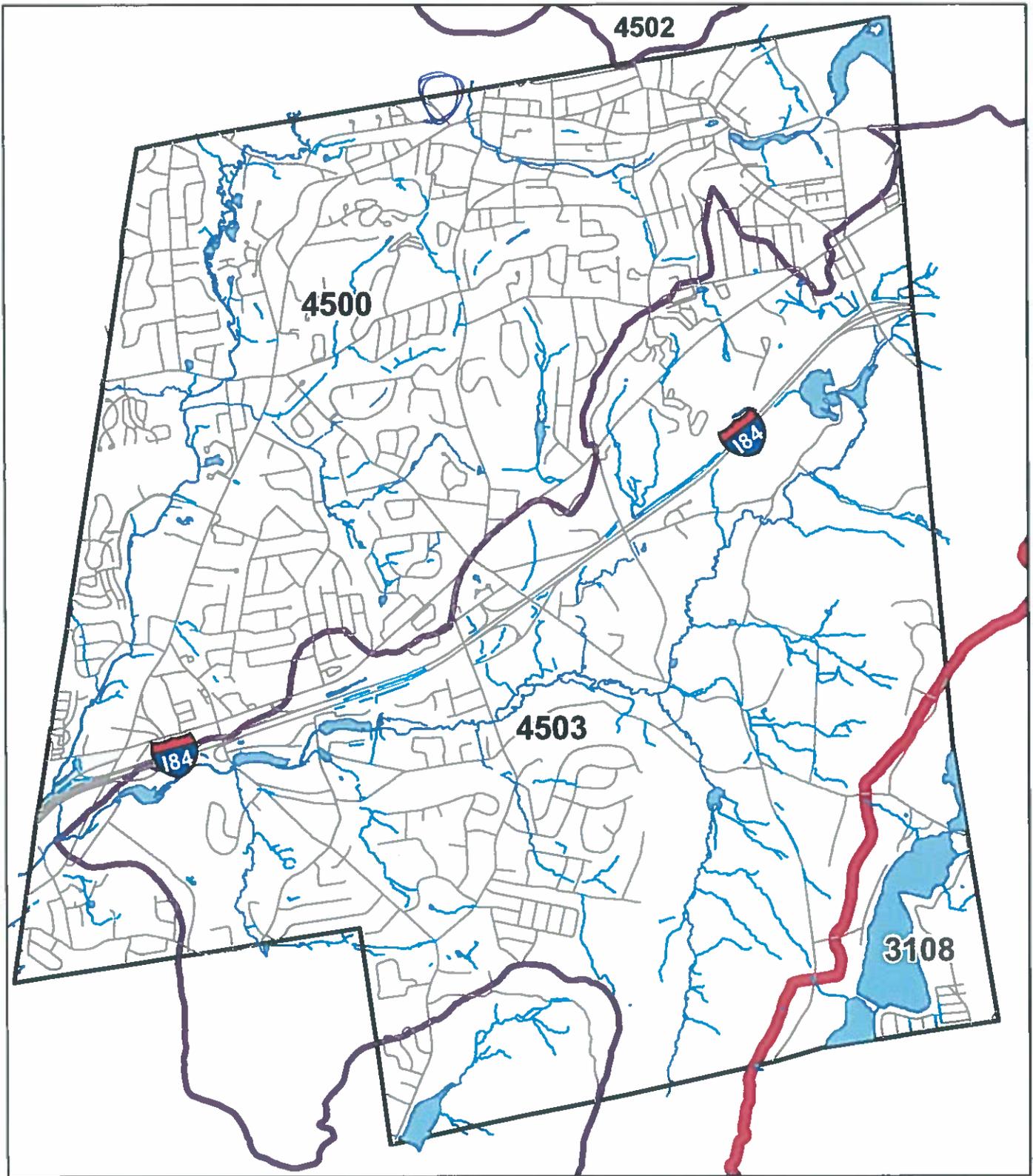
 Applicant or Agent Signature	<u>DAVID A SMITH</u> Printed Name	<u>5/13/2020</u> Date
_____ Owner's Signature, if different	_____ Printed Name	_____ Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

DATE APPLICATION SUBMITTED _____

DATE APPLICATION RECEIVED BY COMMISSION _____

IWC FILE: _____



Legend

- Water Bodies
- Major Basin
- Subregional Basin
- 4503 Basin ID#

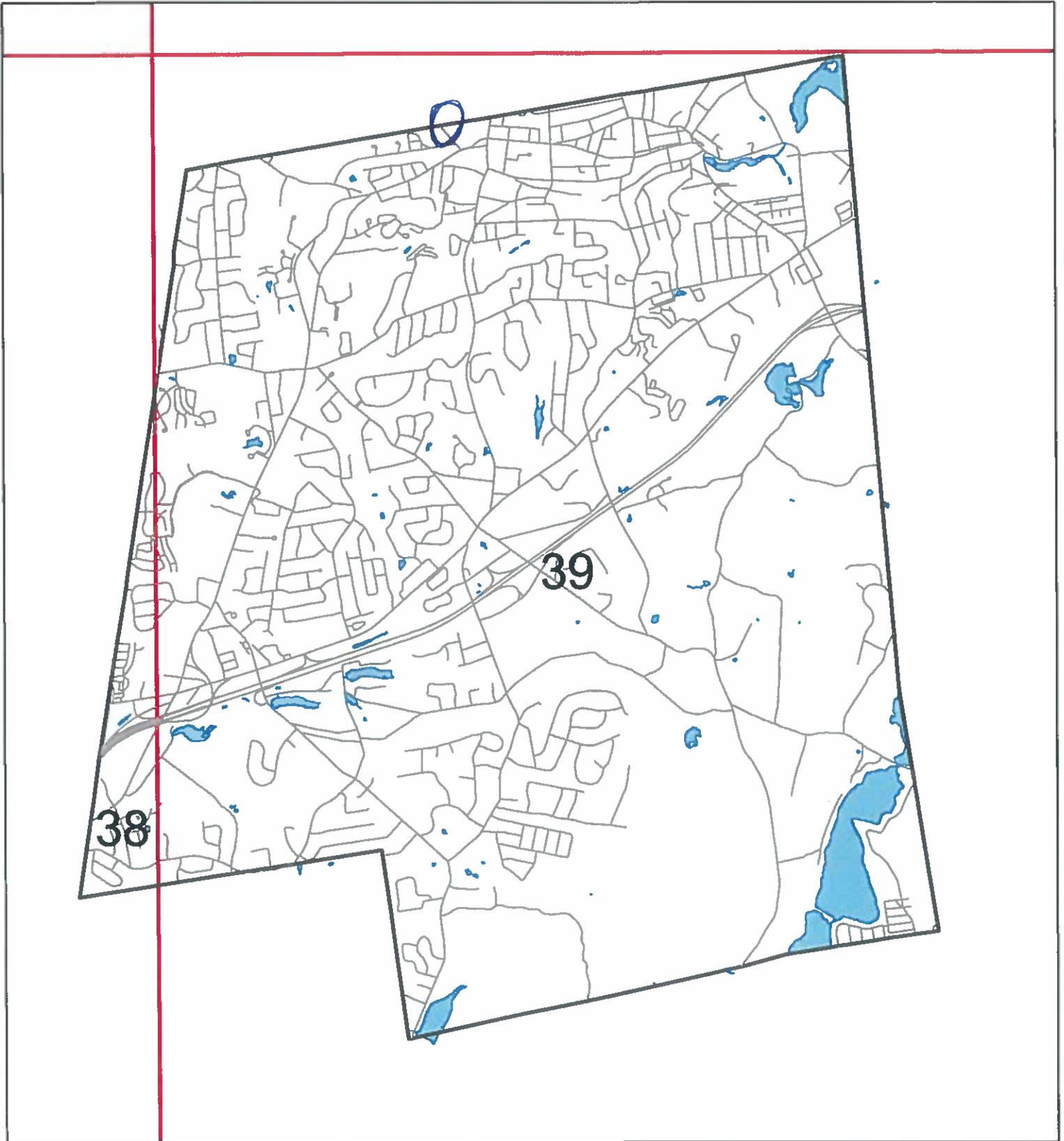
**Town of Vernon
Subregional Drainage Basins**

Source: CT DEP

This map was created by the
Vernon Planning Department
June 2010



This map is for information only, and its utilization and verification shall be the sole responsibility of the user. No warranty, expressed or implied, is made by the Town of Vernon as to the accuracy or completeness of this map, nor shall the fact of distribution constitute any such warranty.



Legend

- Street Center Line
- ▭ Town Line
- Water Bodies
- ▭ Quad Index NAD83

USGS Quadrangles for Vernon, CT

- 38 - Manchester
- 39 - Rockville





Inland Water Resources Division
 Department of Environmental Protection
 79 Elm Street, 3rd Floor
 Hartford, CT 06106-5127
www.ct.gov/dep

GIS CODE #: _____
 For DEP Use Only

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Complete, print, sign, and mail this form in accordance with the instructions on pages 2 and 3.

PART I: To Be Completed By The Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (use drop-down box): Year _____ Month _____
- ACTION TAKEN (use drop-down box): _____
- WAS A PUBLIC HEARING HELD? (select one only) Yes No
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
 (print): _____ (signature) _____

PART II: To Be Completed By The Municipal Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING: VERNON
 Does this project cross municipal boundaries? (select one only) Yes No
 If Yes, list the other town(s) in which the action is occurring: Ellington
 - LOCATION: USGS Quad Map Name (see hyperlink): _____
Quad Number (see hyperlink): Rockville #39
Subregional Drainage Basin Number (see hyperlink): 4500
 - NAME OF APPLICANT, VIOLATOR OR PETITIONER: Town of Vernon
 - NAME & ADDRESS/LOCATION OF PROJECT SITE:
Windermease Ave Vernon Ct
- Briefly describe the action/project/activity: Temporary Permanent
Create recreational area
- ACTIVITY PURPOSE CODE (Use drop-down box): E
 - ACTIVITY TYPE CODE(S) (Use drop-down box) 1, 2
 - WETLAND / WATERCOURSE AREA ALTERED [must be provided in acres or linear feet as indicated]:
Alluvial Wetlands: 2 acres Open Water Body: 0 acres Stream: 0 linear feet
 - UPLAND REVIEW AREA ALTERED [must be provided in acres]: 0 acres
 - AREA OF WETLANDS AND / OR WATERCOURSES RESTORED, ENHANCED OR CREATED: 0 acres
 [must be provided in acres]

PART III: To Be Completed By The DEP

DATE RECEIVED: _____ DATE RETURNED TO DEP: _____
 FORM COMPLETED: YES NO FORM CORRECTED / COMPLETED: YES NO

22-0039-00001
KRAJEWSKI STEPHEN E & DANIELLE D
61 THRALL RD
VERNON CT 06066

22-0039-00002
KRAJEWSKI JOHN S & SOPHIE A
30 WINDERMERE AVE
VERNON CT 06066-2426

22-0039-00003
MJS LEASING LLC
27 STANDISH RD
ELLINGTON CT 06029

22-0039-00004
OLEARY BRENDA
5 FOX GLEN RD
BURLINGTON CT 06013

22-0039-00007
GREEN GARDEN LLC
192 TALCOTT RIDGE RD
SOUTH WINDSOR CT 06074

22-0039-00013
ROCKSAN LLC
C/O CVS #2109-01/OCCUP EXP DEPT
1 CVS DRIVE
WOONSOCKET RI 02895

22-0029-00043
HOUSING AUTHORITY OF CITY OF
ROCKVILLE
21 COURT ST
VERNON CT 06066

22-0039-00005
BOHONOWICZ MATTHEW P & JANELLE L
22 WINDERMERE AVE
VERNON CT 06066

22-0029-00044
WINDSONG 33 LLC
444A NO MAIN ST
EAST LONGMEADOW MA 01028

USE THIS FORM ONLY IF THE REQUIREMENTS OF
22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK

FROM:

REFERENCE:

DATE"

The attached documents, consisting of:

are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: _____

Vernon Town Clerk _____
Signature

Date: _____

Project Narrative

The current proposal includes four full size soccer fields, associated parking and access roads surfaced with recycled bituminous millings, amenities such as a concession building with restrooms and storage facilities on the upper level and a second separate building with restrooms for the lower terrace fields. Additionally, an area has been reserved for a more formal playground. Potable water will be provided by Ct Water, sanitary waste will be directed to an on-site disposal field. Storm water runoff from the fields, parking and other grass surfaces will be directed to localized recharge systems.

The proposed project is located on two separate parcels which will be acquired by the Town of Vernon and merged into a single tract. The 21.3 Acre parcel currently owned by Chilson Realty Co. (m19-b5-15) is located in the northerly portion of the project, and the 11.2 Acre parcel currently owned by MJS Leasing, llc. (m11-b33-100) is located in the southerly portion of the project, 9.3 acres and 1.9 acres in Ellington and Vernon respectively.

The site contains upland soils, soils of alluvial origin and traditional Poorly or Very Poorly wetland soils. The limits of these various soils as determined by a field investigation are shown on the attached plans. The official wetland limits as shown on the Town of Ellington Website is also shown on the plans along with the 100-year flood limit as published by the FEMA FIRM map. Both Parcels have recently been in active crop production, throughout the parcels without regard to soil category or flood potential.

Using the limit of the Alluvial Origin soils as a starting point, it is clear that approximately 2 acres of activities are proposed in an 'upland review area'. Using the Alluvial soil limit as the regulated area, the proposal further shows 4+ acres of activity within that area. It should note that no activities are proposed which would disturb any Poorly or Very Poorly drained Soils. No activities are proposed near any watercourses.

The activities adjacent to and/or in the alluvial areas comprise minor re-grading of existing soils to provide uniform recreation surfaces and low impact access roads and parking areas. The change from the current agricultural practices to a stable lawn cover should reduce soil erosion and maintain/improve rainwater infiltration. In order to prepare drought resistant fields and reduce the needs for irrigation in fields 1, 2, and 3 it is suggested that topsoil and loam layers be separately stripped and reserved for replacement after the sandy/gravelly soils are shaped to mirror the finished grading. This will ensure favorable conditions for deep rooted plantings and rainwater infiltration.

These techniques and the installation of leaching catch basins will capture runoff to the maximum extent possible. The configuration of the fields and access roads have been developed to eliminate any increases to streamflow volumes and velocity.

Initial Step – the site has been in corn production for a number of years and may or may not be clear of vegetation depending on when or if a cover crop has been planted. The first activity should be to protect the native topsoil from wind and water erosion with a vigorous cover crop. Presently, the fields are in what appears to be annual ryegrass. If this area is disturbed or dies off over the winter, the area should be reseeded.

Phase 1 -includes the construction of the park access road to future Concession Stand and northerly most parking area; the actual parking area, and field #1 and the extension of the Utilities to a central terminus. Landscaping, water management elements and stabilization of the surrounding non-play grass areas.

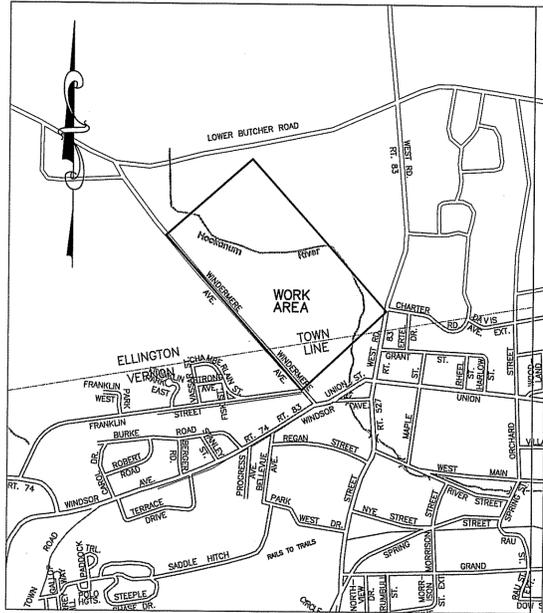
Phase 2 -includes the construction of field #2, the second parking area, the concession stand, landscaping, water management elements, septic system and leaching field, and stabilization of the surrounding non-play grass areas.

Phase 3 -includes the extension of the access drive and the remaining parking area, field #3, landscaping, water management elements, second restroom building, required utilities connections and stabilization of the surrounding non-play grass areas.

Phase 4 -includes the construction of the service road, construction of field #4, and stabilization of the surrounding non-play grass areas. Field #4 is located within the 100-yr flood area and the final grades are developed to balance the volumes of cuts and fills such that no loss of flood storage will occur. The access path will mimic the existing grades and is only for emergency or maintenance use. No parking areas or structures are proposed in this vicinity.

Applications to the Ellington PZC, Vernon IWC, North Central District Health Department, and the CT DEEP Stormwater division will be part of this Project.

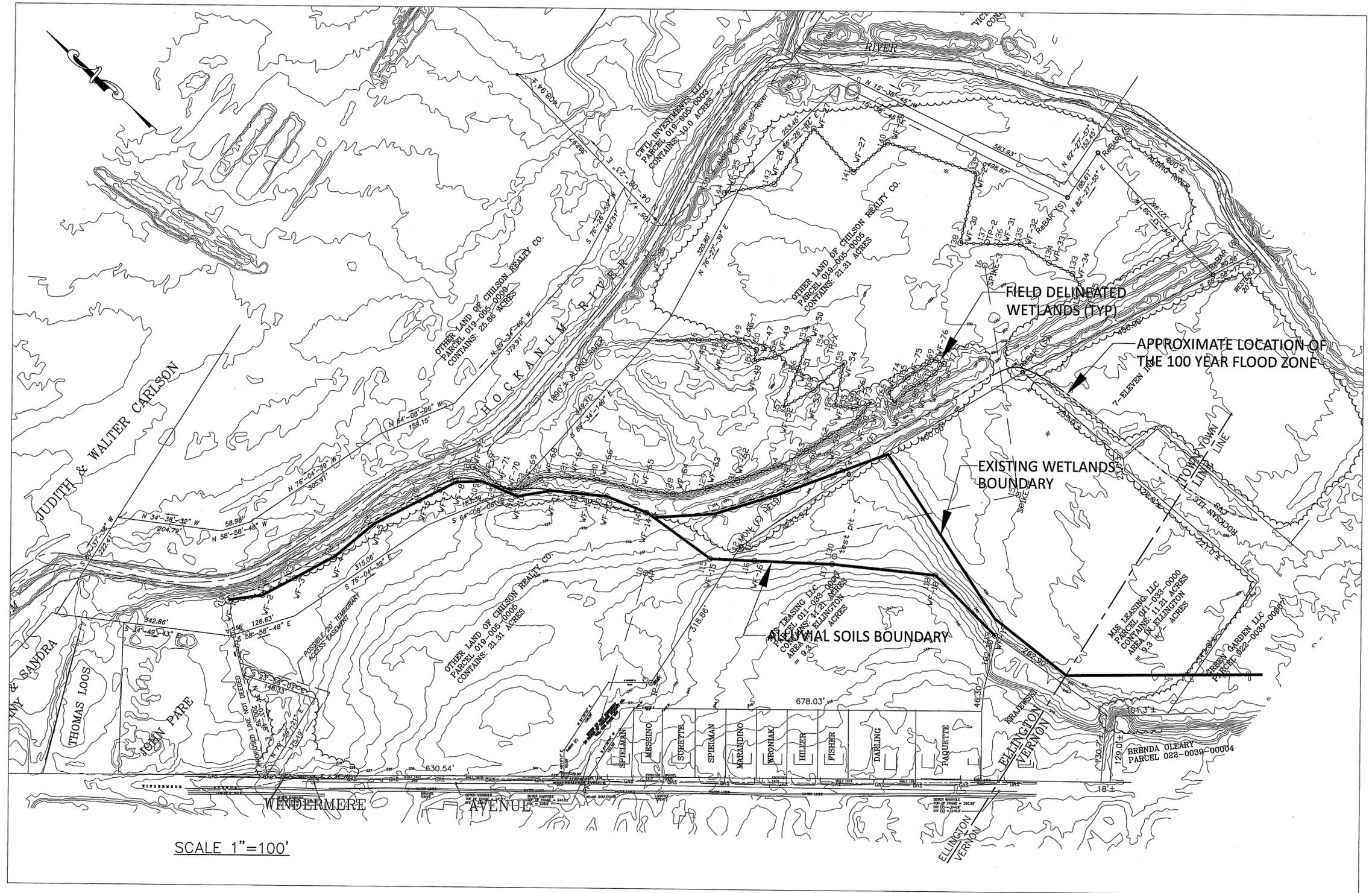
That attached plan set and supplemental documents have been provided to assist the Ellington Inland Wetlands Agency in their review of this proposal.



KEY MAP
SCALE 1" = 1000'

MAP REFERENCE:

- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "REVISION TO SUBDIVISION MAP" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. LANDMARK SURVEYS, LLC DATED 4/27/2020.
 - PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC LANDMARK SURVEYS, LLC DATED 4/27/2020
- CONNECTICUT WATER MAP - PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.



SCALE 1"=100'

WETLANDS NOTE:

 RICHARD ZULIK /CERT. SOIL SCIENTIST _____ DATE _____

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
 #2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-20. It is a Compilation Plan and is considered Class A-2 and T-D Accuracy Standard.
 To my knowledge and belief, this map is substantially correct as noted hereon.

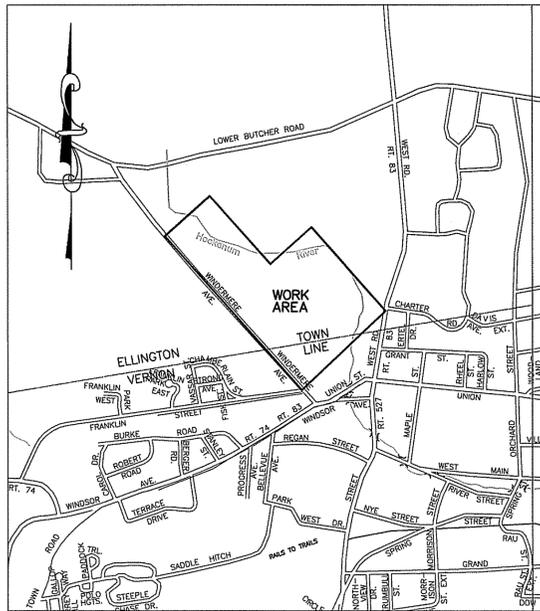
 David A. Smith Connecticut PELS #14173
 This certification not valid unless this plan bears a live signature and my embossed seal

MAP AMENDMENT / WETLAND RE-DESIGNATION

WINDERMERE FIELDS
 WINDERMERE AVENUE
 ELLINGTON & VERNON CT

TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED DATE: MAY 7, 2020 SHEET: 1 OF 1
 FILE: G:\PARKS and REC\WINDERMERE SOCCER FIELDS



KEY MAP
SCALE 1" = 1000'

MAP REFERENCE:

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 - B. PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC LANDMARK SURVEYS, LLC DATED 4/27/2020
2. CONNECTICUT WATER MAP – PROPOSED WATER MAIN REPLACEMENT PREPARED BY GESICK & ASSOCIATES, P.C. DATED 11/9/2018.



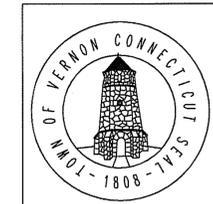
SCALE 1" = 100'

WETLANDS NOTE:

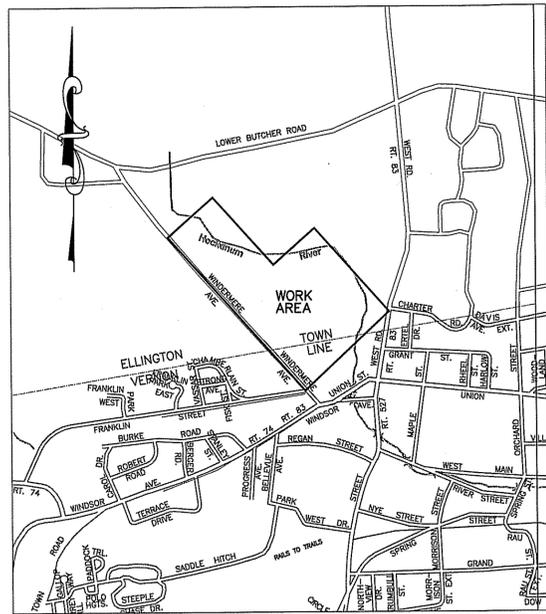
RICHARD ZULIK /CERT. SOIL SCIENTIST DATE

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
#2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-20. It is a Compilation Plan and is considered Class A-2 and T-D Accuracy Standard.
To my knowledge and belief, this map is substantially correct as noted hereon.

David A. Smith Connecticut PELS #14173
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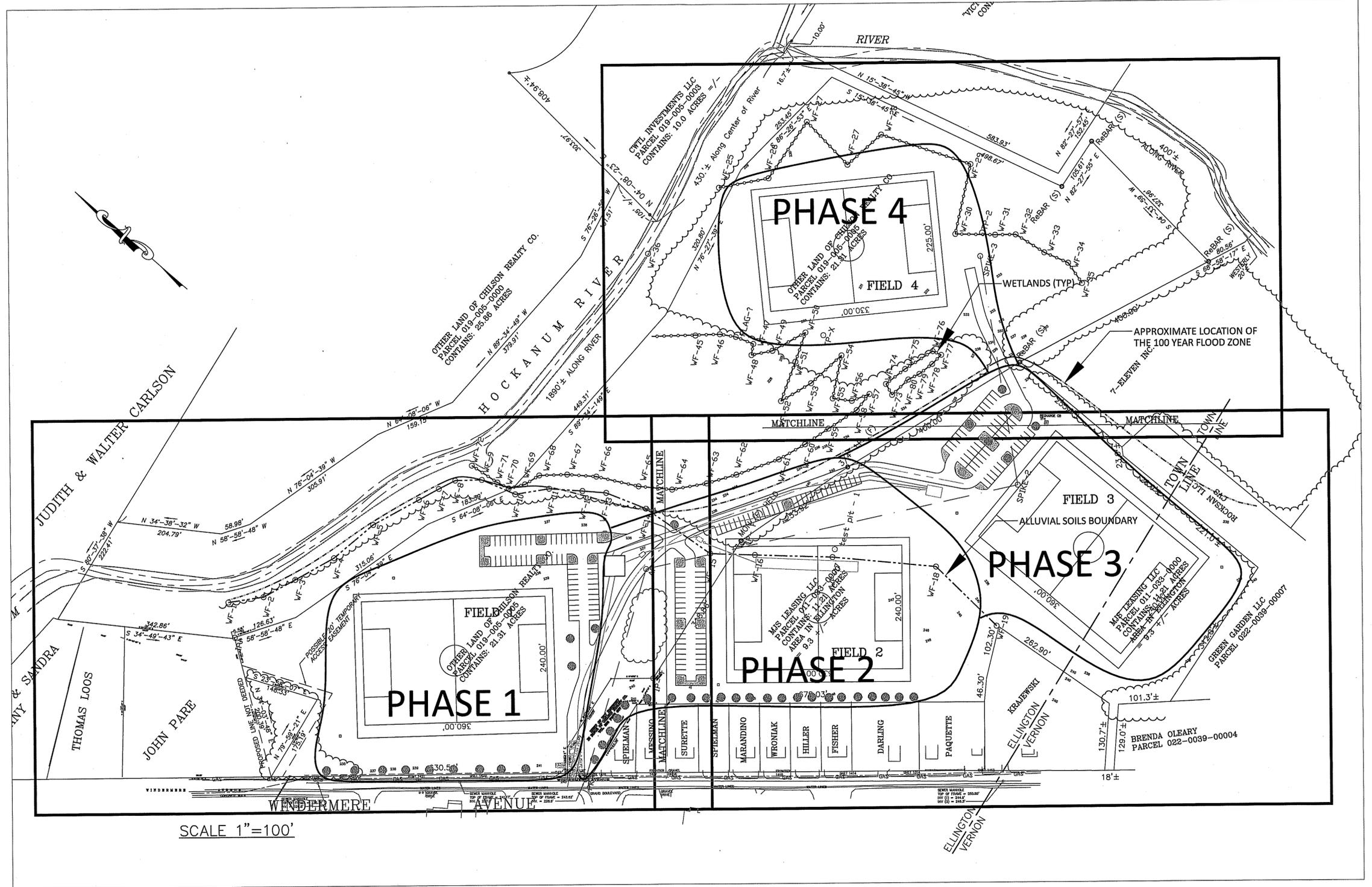
OVERALL SITE PLAN - PHOTO
WINDERMERE FIELDS
WINDERMERE ROAD
ELLINGTON & VERNON CT
TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066
SCALE: AS NOTED DATE: MAY 7, 2020 SHEET: 1 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



KEY MAP
SCALE 1" = 1000'

MAP REFERENCE:

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SCALE 1" = 100'

WETLANDS NOTE:
RICHARD ZULIK /CERT. SOIL SCIENTIST
DATE

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David A. Smith Connecticut PELS #14173

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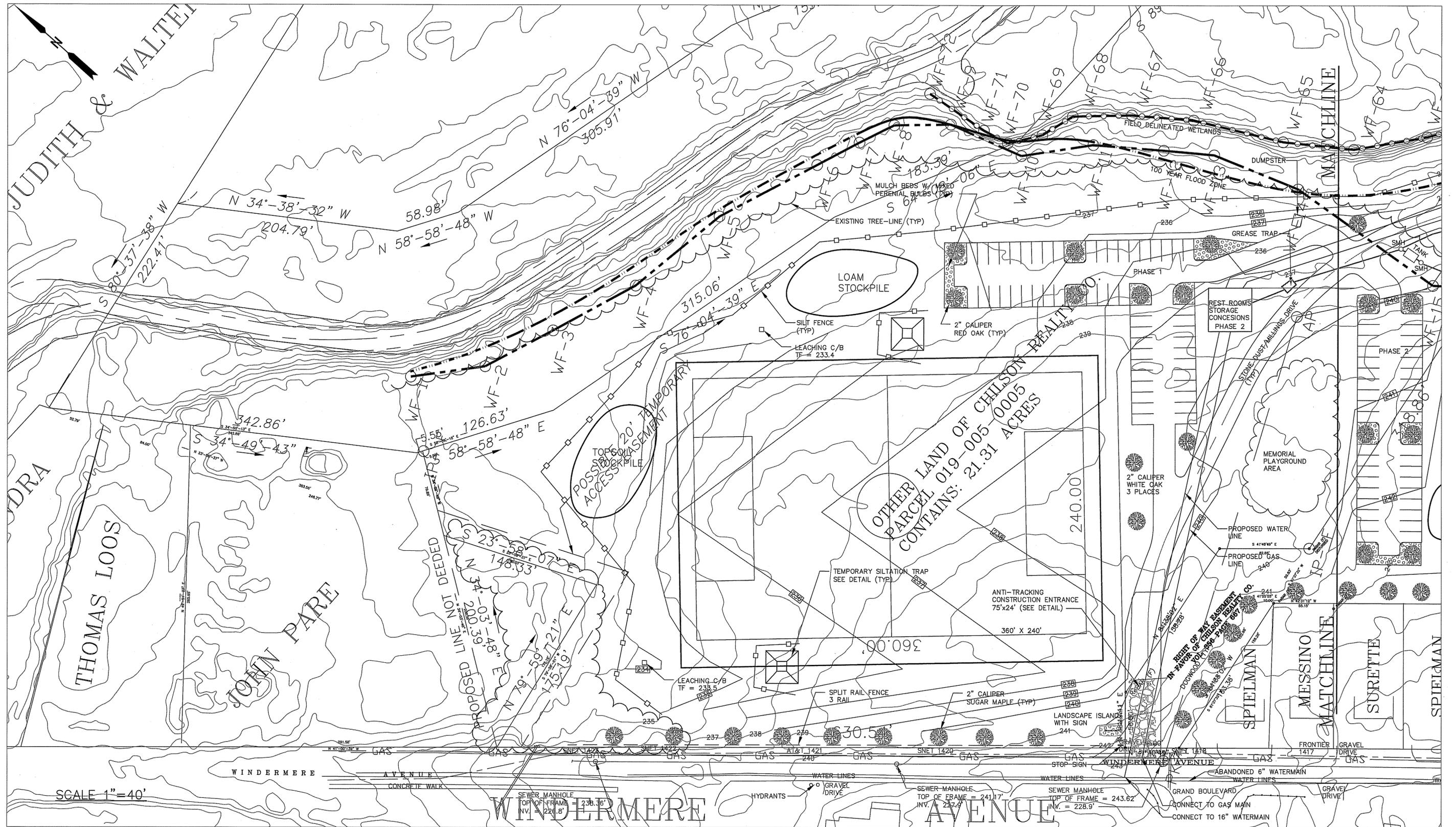


OVERALL SITE PLAN

WINDERMERE FIELDS
WINDERMERE ROAD
ELLINGTON & VERNON CT

TOWN OF VERNON
ENGINEERING DEPARTMENT
14 PARK PLACE, VERNON, CT 06066

SCALE: AS NOTED | DATE: MAY 7, 2020 | SHEET: 2 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



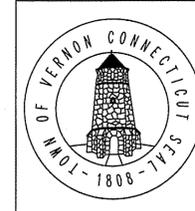
SCALE 1" = 40'

WETLANDS NOTE:

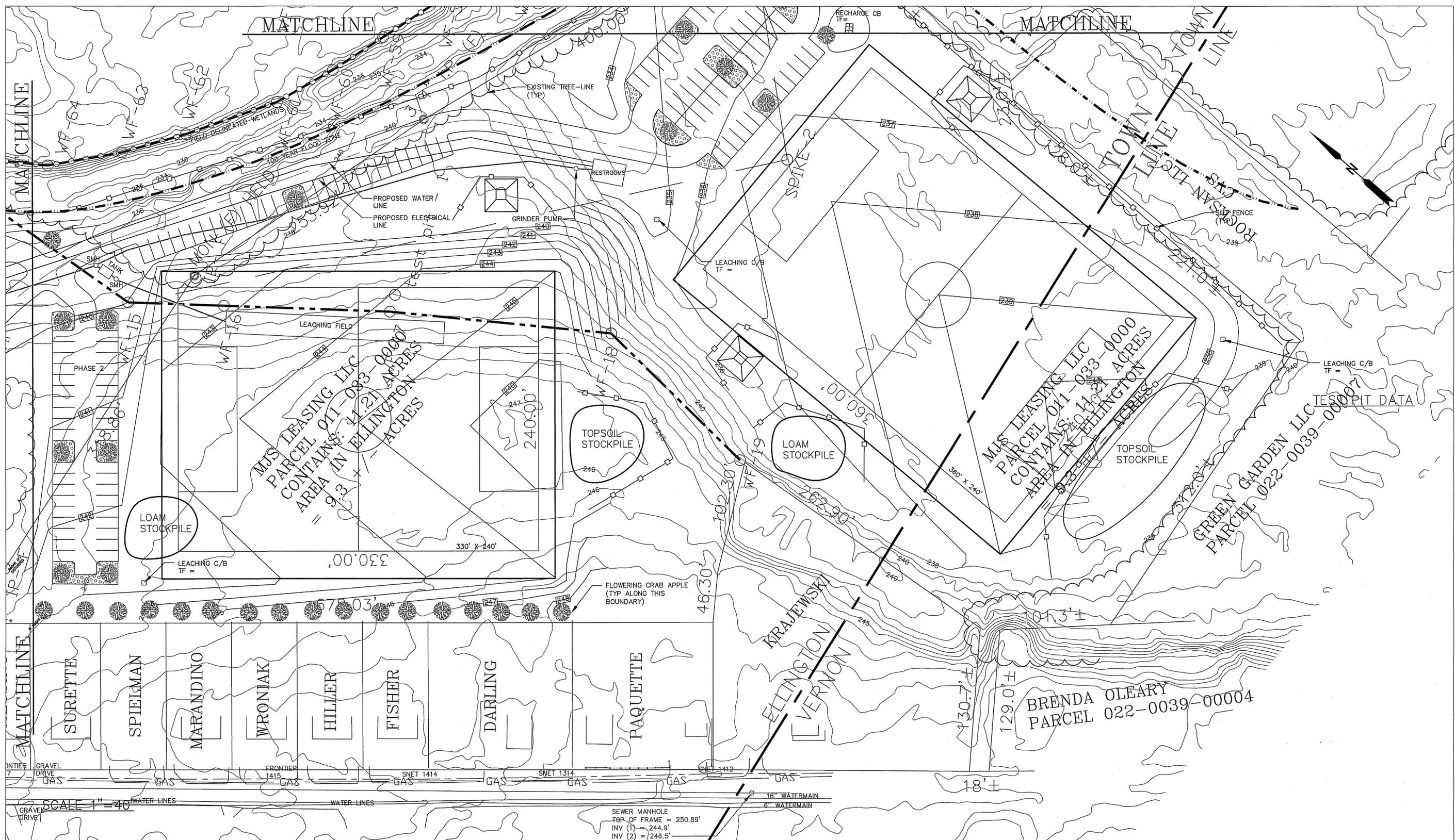
 RICHARD ZULIK /CERT. SOIL SCIENTIST _____ DATE _____

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
 #2 - This Plan has been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-20. It is a Compilation Plan and is considered Class A-2 and T-D Accuracy Standard.
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 David A. Smith Connecticut PELS #14173
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SITE PLAN FIELD - 1
WINDERMERE FIELDS
 WINDERMERE ROAD
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 7, 2020 SHEET: 3 OF 7
 FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS



WETLANDS NOTE:
 RICHARD ZULIK /CERT. SOIL SCIENTIST _____ DATE _____

#1 - This plan is a dependent Re-Survey with an Accuracy Standard of A-2.
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 To my knowledge and belief, this map is substantially correct as noted hereon.

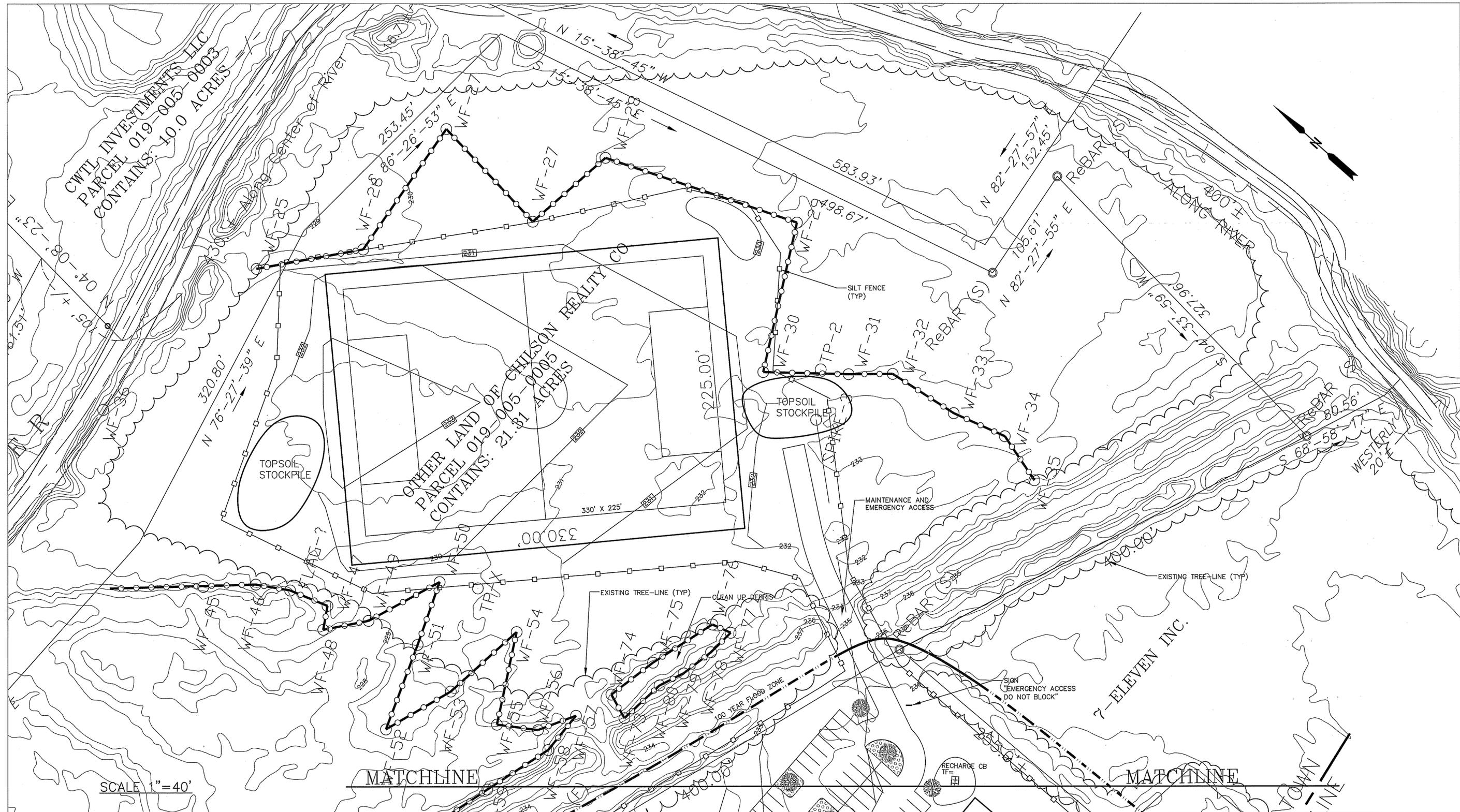
 David A. Smith Connecticut PELS #14173
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SITE PLAN FIELD - 2 & 3
 WINDERMERE FIELDS
 WINDERMERE ROAD
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 7, 2020 SHEET: 4 OF 7
 FILE: G:\PARKS and REC\WINDERMERE SOCCER FIELDS

SEWER MANHOLE
 TOP OF FRAME = 250.89'
 INV (1) = 244.9'
 INV (2) = 246.5'

SCALE 1" = 40'



SCALE 1" = 40'

WETLANDS NOTE:

 RICHARD ZULIK /CERT. SOIL SCIENTIST DATE _____

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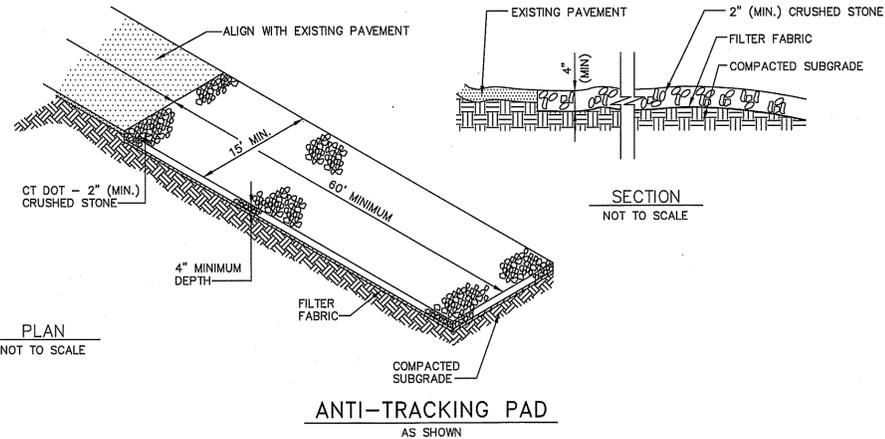
SITE PLAN FIELD - 4
 WINDERMERE FIELDS
 WINDERMERE ROAD
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 7, 2020 SHEET: 5 OF 7
 FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS

GENERAL NOTES -

1. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS, AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
2. THE CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE TOWN OF VERNON (TOV) ENGINEERING DEPARTMENT, IN WRITING, IMMEDIATELY IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
3. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY THE TOWN OF VERNON ENGINEERING DEPARTMENT, IN WRITING, IF ANY CONFLICTS OR DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY PROPERTY DURING THE COURSE OF CONSTRUCTION.
5. THE TOV IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES, OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED.
6. THE TOV IS NOT RESPONSIBLE FOR JOB SITE SAFETY.
7. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
8. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

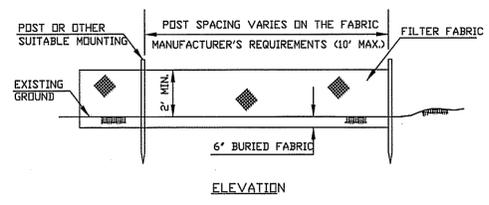
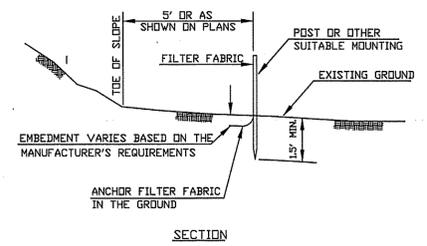
GENERAL EROSION AND SEDIMENT CONTROL NOTES -

1. ALL EROSION AND SEDIMENT CONTROLS MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN. EROSION CONTROLS MUST BE INSPECTED AFTER EACH RAINFALL.
3. SILT SHALL BE REMOVED FROM BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.
4. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.
5. TOPSOIL REQUIRED TO ESTABLISH VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL THE DISTURBED AREAS.
6. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL, PRIOR TO FILLING.
7. ALL FILL AREAS ARE TO BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND LOCAL SPECIFICATIONS.
8. FILL MATERIALS SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIALS, COMPRESSIBLE MATERIALS AND ALL OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIAL, SOFT MUCK, HIGHLY COMPRESSIBLE MATERIALS AND OTHER OBJECTIONABLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
10. SEEPS AND SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS.
11. ALL GRADING AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING ESTABLISHMENT OF THE FINAL GRADE. IF FINISHED GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE, TEMPORARY SOIL STABILIZATION MEASURES, INCLUDING TEMPORARY SEEDING, SHALL BE APPLIED.
12. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". IMPORT TOPSOIL AS NEEDED TO SUPPLEMENT RESERVED TOPSOIL.
13. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDROSEEDER. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SURFACE.
14. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER SEEDER OR HYDROSEEDING IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
15. INSPECT THE SEEDBED PRIOR TO SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED BEFORE SEEDING.

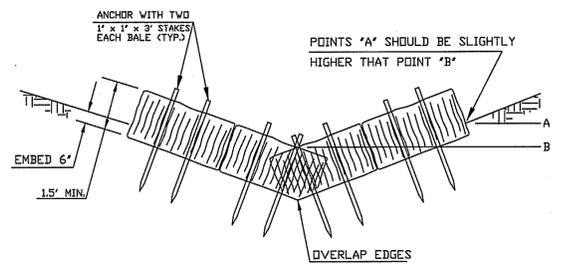
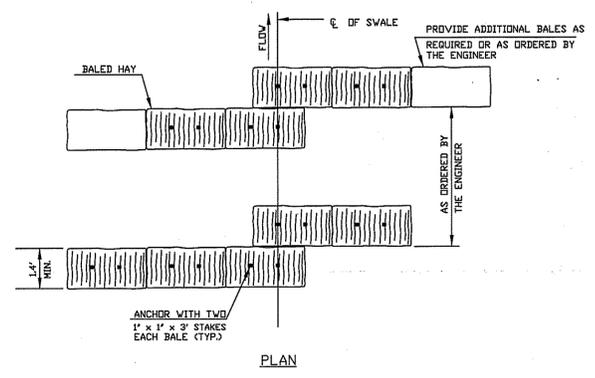


GENERAL NOTES

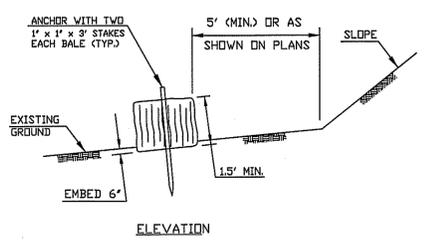
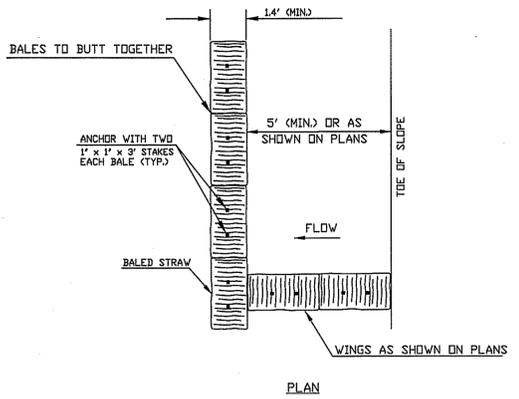
1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE EROSION CONTROL SYSTEM AS SHOWN ON THE PLANS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY WHICH DISTURBS EXISTING VEGETATIVE GROUND COVER.
2. SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL AND MAINTAIN ADDITIONAL MEASURES, AS REQUIRED, TO CONTROL EROSION AS THE CONSTRUCTION PROJECT PROGRESSES.
3. THE CONTRACTOR SHALL DAILY, OR AS DIRECTED, SWEEP THE PAVED ROADWAYS ADJACENT TO THE WORK AREA AND CONDUCT HIS ACTIVITIES TO MINIMIZE THE TRACKING OF SOIL ONTO THE ROADWAYS.



SEDIMENTATION CONTROL SYSTEM - GEOTEXTILE FENCE
NOT TO SCALE



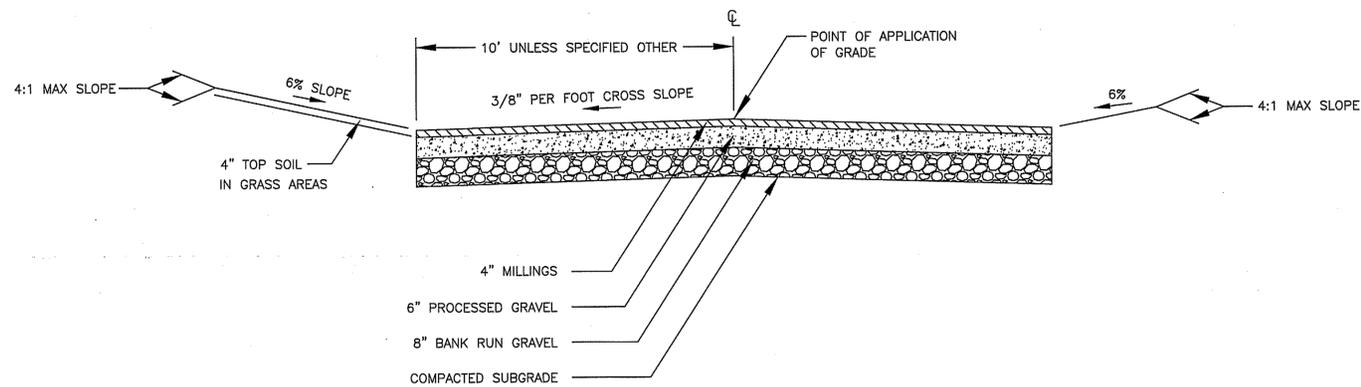
CHECK DAM (STRAW BALES)
NOT TO SCALE



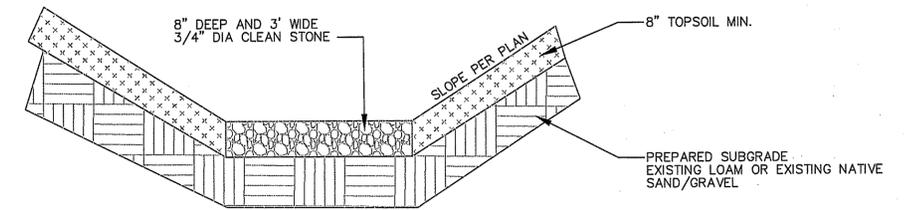
SEDIMENTATION CONTROL SYSTEM - STRAW BALES
NOT TO SCALE



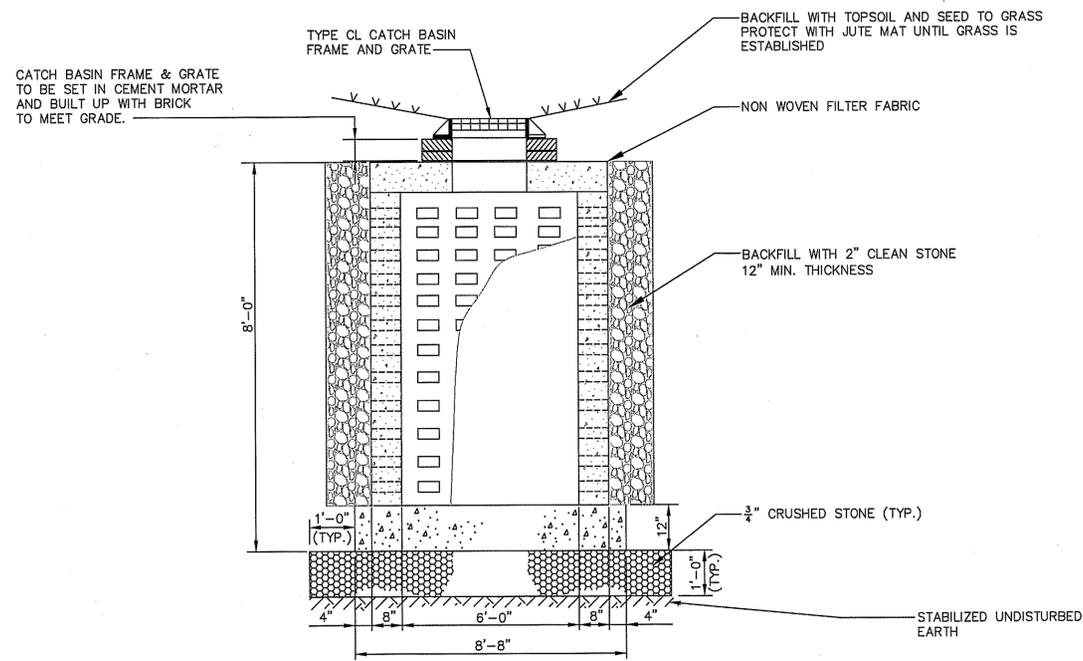
DETAILS		
WINDERMERE FIELDS WINDERMERE ROAD ELLINGTON & VERNON CT		
TOWN OF VERNON ENGINEERING DEPARTMENT 14 PARK PLACE, VERNON, CT 06066		
SCALE: 1" = 40'	DATE: MAY 7, 2020	SHEET: 6 OF 7
FILE: Q:\PARKS and REC\WINDERMERE SOCCER FIELDS		



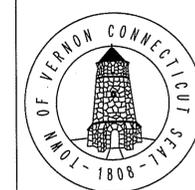
TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE



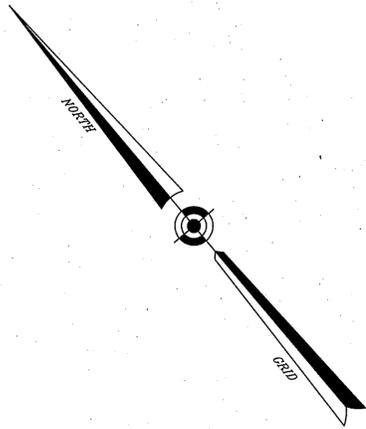
SWALE RE-INFORCEMENT
NOT TO SCALE



LEACHING CATCH BASIN
NOT TO SCALE



DETAILS
 WINDERMERE FIELDS
 WINDERMERE ROAD
 ELLINGTON & VERNON CT
TOWN OF VERNON
 ENGINEERING DEPARTMENT
 14 PARK PLACE, VERNON, CT 06066
 SCALE: 1" = 40' DATE: MAY 7, 2020 SHEET: 7 OF 7
 FILE: G:\PARKS and REC\WINDERMERE SOCCER FIELDS



CHILSON REALTY CO.

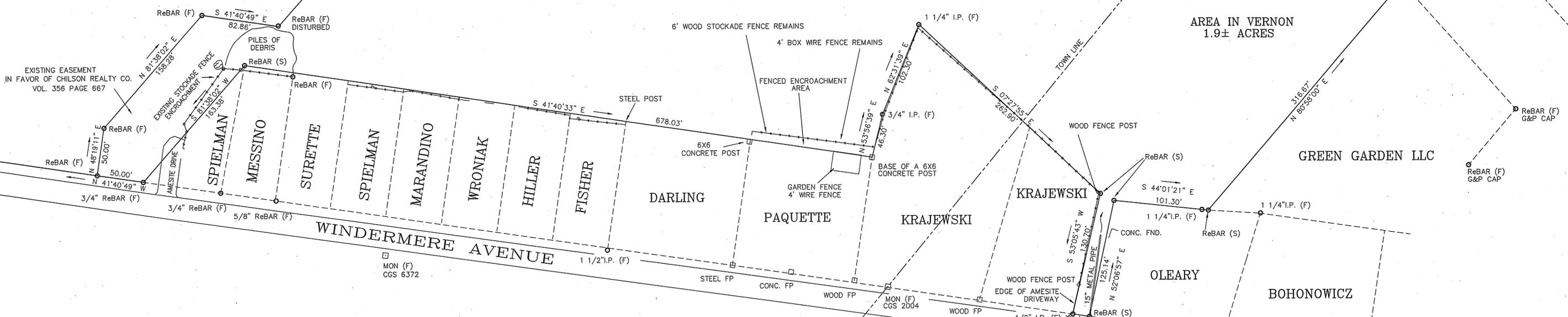
MJS LEASING LLC
 PARCEL 011-033-0000
 CONTAINS: 11.21 ACRES
 AREA IN ELLINGTON
 9.3± ACRES

SEVEN (7) ELEVEN INC

ROCKSAN LLC
 CVS

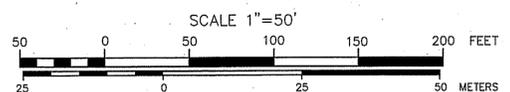
AREA IN VERNON
 1.9± ACRES

GREEN GARDEN LLC



NOTES:

1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". IT IS A LIMITED PROPERTY SURVEY BASED UPON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
2. BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - A. "LAND FORMERLY OF WM. A. BUSKILL, ELLINGTON & VERNON SURVEYED OCT. 14 1927 & JULY 1&2 1938, AREA EXCLUDING RESERVED PORTION 10 3/4 A. 27 SQ.RD. SCALE:-50 FEET = 1 INCH C.H. BANCROFT, SURVEYOR."
 - B. "MAP OF PARCEL "A" LAND OF NELSON FREIGHTWAYS, INC. ELLINGTON, CONNECTICUT ALFRED E. SCHINDLER SCALE 1"=100' DATE 4/8/82 REVISED TO 7/24/87 JOB NO. 8111-7A"
 - C. "ALTA/ACSM LAND TITLE SURVEY PROPERTY SURVEY PREPARED FOR VERNON PITKIN ASSOCIATES, LLC VERNON (ROCKVILLE), CONNECTICUT GARDNER & PETERSON ASSOCIATES SCALE: AS NOTED DATE: 3-26-98 REVISED TO 4-13-98"
 - D. "MAP OF SOME LAND OF HOME FINDERS INC. IN THE TOWN OF ELLINGTON, CONNECTICUT SCALE 1"=30' EVERETT O GARDNER OCTOBER 12, 1960"
 - E. CHILSON REALTY TO LUGINBUHL SCHEDULE A IN THE ELLINGTON LAND RECORDS VOLUME 356 PAGE 667 & 668
4. HORIZONTAL DATUM - NAD83.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

RACHEL L. DEARBORN, LICENSED LAND SURVEYOR DATE L.S. 70295 LICENSE NO.

REVISIONS	PROPERTY SURVEY PREPARED FOR TOWN OF VERNON LAND OF MJS LEASING LLC WINDERMERE AVENUE ELLINGTON & VERNON, CONNECTICUT			
	LANDMARK SURVEYS, LLC 62 LOWER BUTCHER RD ~ 860-875-8204 ELLINGTON, CONNECTICUT			
DRAWN BY R.L.D.	SCALE 1"=50'	DATE 4/27/2020	JOB NO. 202004-1	

CWTL INVESTMENTS LLC
 PARCEL 019-005-0003
 CONTAINS 10.0 ACRES ±

ROGER E. MOSER

VICTORIAN ARMS CONDO ASSOCIATION

OTHER LAND OF CHILSON REALTY CO.
 PARCEL 019-005-0000
 CONTAINS: 25.86 ACRES

AL NOOR ISLAMIC CENTER INC

JUDITH & WALTER CARLSON

PROPOSED LINEAR PARK
 CONTAINS: 8.87± ACRES
 PARCEL 019-005-0004

SEVEN (?) ELEVEN INC

OTHER LAND OF CHILSON REALTY CO.
 PARCEL 019-005-0005
 CONTAINS: 21.31 ACRES

MJS LEASING LLC

NOTES:

- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". IT IS A LIMITED PROPERTY SURVEY BASED UPON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "SUBDIVISION PLAN" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY ELLINGTON, CONNECTICUT SCHINDLER SURVEYS SCALE 1"=100' DATE: 8/19/99 REV TO: 9/10/99"
 - "SUBDIVISION PLAN" LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY ELLINGTON, CONNECTICUT SCHINDLER SURVEYS SCALE 1"=100' DATE: 8/19/99 REV TO: 9/26/01"
- REFERENCE IS MADE TO A LETTER FROM ATHERTON B. RYAN, TOWN COUNSEL TO REANNA GOODREAU, LAND USE ASSISTANT DATED NOVEMBER 3, 2006.
- HORIZONTAL DATUM - NAD83.
- REGARDING THE UNRESTRICTED RIGHT TO DRAIN, ANY CHANGE TO EXISTING DRAINAGE PATTERNS HAS TO BE REVIEWED BY THE ELLINGTON INLAND WETLAND AGENCY, ELLINGTON TOWN ENGINEER, AND ANY OTHER BOARD OR STAFF MEMBER AS MAY BE REQUIRED.

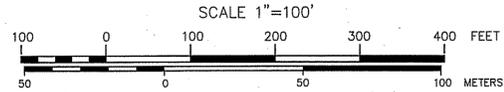
MON (F)
 CGS 2003

WINDERMERE AVENUE

DAVID J. & BETH A. SPIELMAN

REVISION TO SUBDIVISION MAP

REVISIONS	LIMITED PROPERTY SURVEY LAND OF CHILSON REALTY CO. ELLINGTON, CONNECTICUT		
	LANDMARK SURVEYS, LLC 62 LOWER BUTCHER RD ~ 860-875-8204 ELLINGTON, CONNECTICUT		
DRAWN BY R.L.D.	SCALE 1"=100'	DATE 4/27/2020	JOB NO. 202004-1



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

RACHEL L. DEARBORN, LICENSED LAND SURVEYOR DATE L.S. 70295 LICENSE NO.

STAFF COMMENTS



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Inland Wetlands Commission

FROM: George K. McGregor, AICP, Town Planner

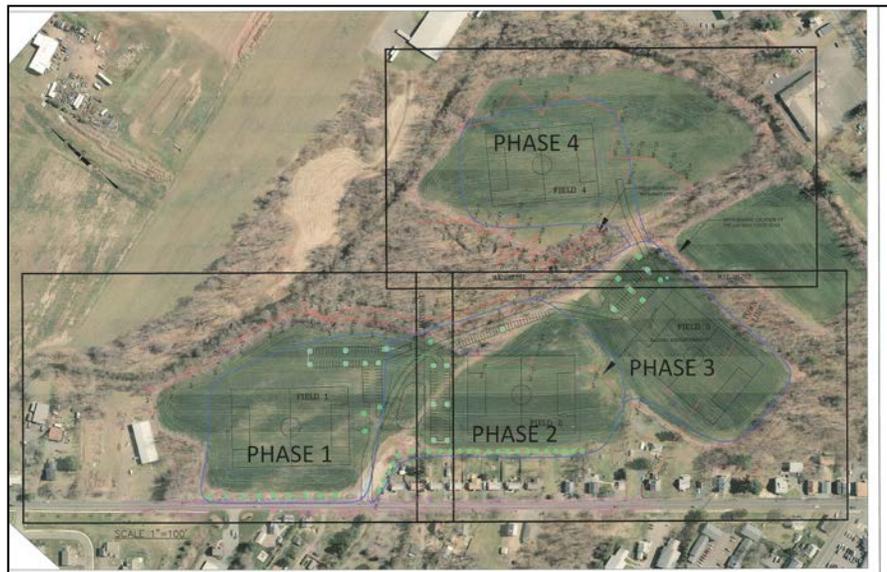
SUBJECT: IWC 2020-04, Town of Vernon Athletic Fields

DATE: June 23, 2020

Request

Town of Vernon has applied for a Wetlands Permit by Commission, for the construction of athletic fields on a 2.25-acre portion of property located on Windermere Ave. (no specific address) near the Ellington Town line (Assessors ID: Map 22, Block 0039, Parcel 00003).

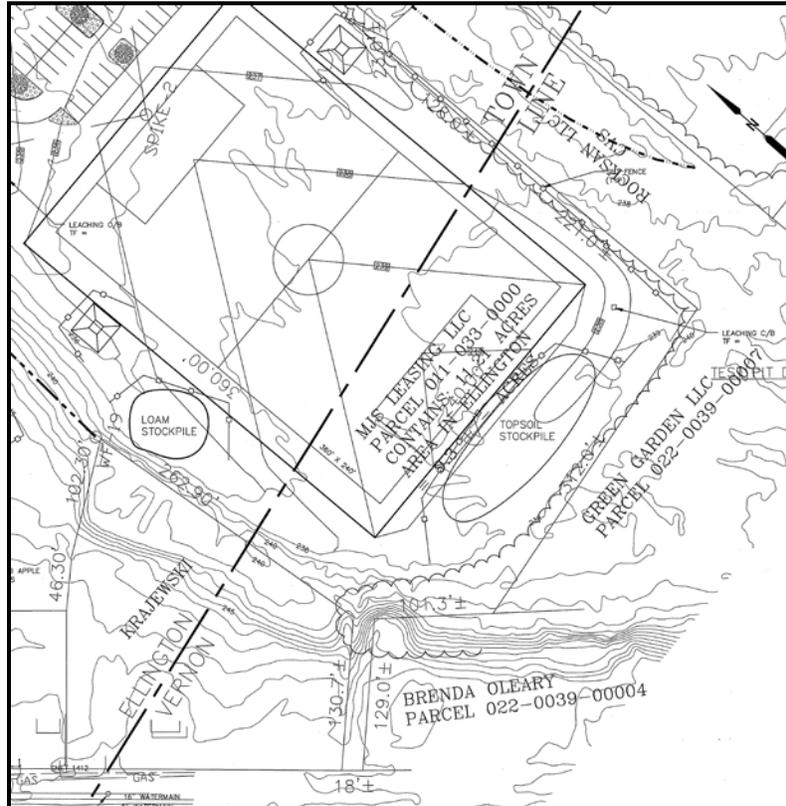
The Windermere Fields project is a +32 acre development of four athletic fields (soccer/lacrosse) and accompanying access, parking, and concession/restroom facilities. The great majority of the project is located within the Town of Ellington. Separate applications are weaving their way through the Ellington Planning Commission and Inlands Wetlands Commission.



Staff Comments

The property has recently been used for active crop production. Activities planned, according to the Applicant's submission, include minor regrading of existing soils to provide for uniform

recreation/athletic surfaces in addition to low-impact access roads and parking areas. The picture below takes a closer look at the area located within the Town of Vernon limits:



The project presents no adverse impact to the wetlands or watercourse and satisfies a critical community need.

Draft Motions

MOVED, that the Vernon Inland Wetlands and Watercourses Commission does hereby **APPROVE**, the application (**IWC-2020-04**) of the Town of Vernon for a Wetlands permit by Commission for the construction of athletic fields upon consideration of the decision criteria in Section 10.2 of the Town of Vernon Inland Wetland and Watercourse Regulations, and based upon the following findings:

1. The application presents no adverse impact to wetlands and watercourses as evaluated by the criteria of Section 10.2 of the Vernon Inland Wetlands Regulations.

Or,

MOVED, an Alternate Motion

WETLAND AGENT REPORT



OFFICE OF THE
TOWN ENGINEER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066

Tel: (860) 870-3638

Fax: (860) 870-3683

E-Mail: cperry@vernon-ct.gov

To: Wetlands Commission
From: Wetlands Enforcement Officer
Subject: **IWC Project Status Report**

DATE: **2020 – June**

Note: **Red letters** indicate a change from the last report.

IWC-2020-02 (724 Hartford Tpke. – TOV Fire Dept.).

- No construction activity at this time.

IWC-2020-01 (19 Grove St. – Public Park).

- **The Public Works Dept. has started this work.**

IWC-2019-05 (Chilstone, LLC 624 Dart Hill Rd – 4 unit apartment bldg.).

- Still needs P & Z approval.
- Project is on hold.

IWC-2019-04 (652 Dart Hill Rd – 15 lot development).

- Erosion control appears to be working well.
- Construction is on-going with no issues.

IWC-2019-02 WPCA (Wetlands Permit for site upgrades).

- Construction continues.

IWC-2017-05 (#133 Tunnel Road)

- **Project is on hold.**

IWC-2017-03 (Hyde Park LLC – #14 Hyde Ave - Apartments)

- No construction activity at this time.

IWC-2016-05 (129/145 Talcottville Rd – Storage Facility behind Wendy's)

- **Project is on hold.**

IWC-2015-05 (Kenneth Kaplan – Drainage System – 200 West Main St.)

- No construction activity at this time.

IWC-2015-02 (Kenneth Kaplan – Parking Area – 200 West Main St.)

- No construction activity at this time.

IWC-2013-07 (2 Lakeview Drive – New House on Bolton Lake)

- No construction activity at this time. **Expiration date - ?**

IWC-2013-05 (133 Washington St. – House surrounded by wetlands)

- No construction activity at this time.
- **Expires on 3-17-2021**

IWC-2009-07 (Hotel at 53 Hartford Turnpike)

- No construction at this time.
- Expiration date is 11/25/2023 with total extension applied.

IWC-2008-09 (380 Talcottville Road / Phase 2 The Shoppes at Vernon Valley)

- No construction at this time
- Expiration date is 7/28/2022 with total extension applied.

IWC-2006-24 (PZ-2007-20) (64 Hartford Turnpike - Office building)

- No construction activity at this time.
- New expiration extension date is 2/11/2021 with total extension applied.

IWC-2005-26 (Bolton Branch Road – Laurel Woods Development)

- There is no construction activity at this time.
- The new expiration date is 9/4/2022 with total extension applied.

IWC-2003-05 (117 Reservoir Rd. – Home Depot)

- There is no construction activity at this time.
- Expiration date is 3/27/2022 with total extension applied.

Other Information of Importance:

Wetland Agent Report:

Approval for;

Other Business

From: [Kenneth Kaplan](#)
To: [McGregor, George](#)
Cc: [Gately, Shaun](#); "Ken Kaplan Jr."
Subject: Wetlands permit extension request
Date: Thursday, May 28, 2020 11:05:01 PM

Dear Mr. McGregor,

It has come to my attention that my wetlands at 161 and 200 West Main St. (IWC-2015-02) is due to expire on 6-9-20. Due to a number of financial hardships and project delays I have been unable to proceed with the project at the speed I had originally intended, therefore I am in need of an extension on this permit. There have been no substantial change in the circumstances which required the permit in the first place, so I am requesting the remaining 5 years of extensions allowed by statute be granted. Bringing my new expiration date to 6-9-25.

Thank you for your consideration, and assistance with this very difficult project.

Please advise if the extension is granted and CC Mr. Gately.

Thank you.

Ken Sr.



KAPLAN COMPUTERS **KAPLAN Cycles** **NEW ENGLAND MOTORCYCLE MUSEUM**

Ken Kaplan President
Cell: 860-916-9784 | Fax: 860-643-7906
Kenkaplan@kaplancomputers.com
www.kaplancomputers.com

ROCKVILLE Construction **KAPLAN MILL WORKS**



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
gmcgregor@vernon-ct.gov

MEMORANDUM

TO: Inland Wetlands Commission

FROM: George K. McGregor, AICP, Town Planner

SUBJECT: IWC 2015-02 Permit extension

DATE: June 15, 2020

Request

Mr. Ken Kaplan of Kaplan Millworks has requested an extension to IWC 2015-002, a wetlands permit for parking areas and other development at 161 & 200 West Main St. (Assessor ID: Map 22, Block 58 & 59, Parcels 13 & 1). This permit was approved on May 17, 2025 for a period of five years.

Staff Comments

Due to project delays and financial challenges, the Applicant requested an additional five-year extension via email on May 28, 2020, under Section 7.9 of the Town's Wetlands Regulation. Typically, a renewal request is required 65 days before the expiration date. However, Section 7.9.e appears to allow an "untimely" renewal effort so long as it is submitted before the expiration date, if, in the Commission's view, the permit is likely to be renewed and the public interest is best served by not interrupting the activity.

Moreover, Governor's Executive Order No. 71 states that each "individual petition, application, or other proposal...may be further extended by 90 days".

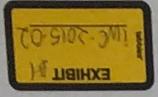
Thus, Staff finds that IWC action is timely and appropriate.

Section 7.10 states that "Any application to renew a permit shall be granted upon request of the permit holder unless the Commission finds that there has been a substantial change in circumstances, which requires a new application".

The Towns Wetlands Agent and Town Engineer are supportive of renewing the permit, and find there has been no change in circumstances since the original permit was issued 5 years ago.

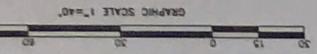
Draft Motions

MOVED, that the Vernon Inland Wetlands and Watercourses Commission does hereby **EXTEND** IWC 2015-02 until June 9, 2025, upon a finding that there has been no substantial change to the circumstances or development plan associated with the original 5-year permit.



REVISIONS

BY J.A.
 SCALE 1"=30'
 DATE 4-21-2015
 SHEET NO. 5 OF 7



LEGEND:

- EXISTING MONUMENT
- UTILITY POLE / WITH LIGHT
- EXIST. LIGHTS
- 27' MNT. HEIGHT
- CATCH BASIN
- SANITARY MANHOLE
- GAS GATE / VALVE
- WATER GATE / VALVE
- FIRE HYDRANT
- MONITORING WELL
- FENCE LINE
- METAL BEAM GUARD RAIL
- BRUNNUS CUBING
- CONCRETE CURBING
- GRANITE CURBING
- PAVING STONES
- LANDSCAPED AREA
- BOULDER
- APPROXIMATE WATER LINE
- APPROXIMATE GAS LINE
- WETLAND LOCATION
- WETLAND LOCATION
- LIMIT OF 100YR FLOOD
- SPOT ELEVATION
- TREE LINE
- BORING (BY DEE)

NOTES FOR PLANTING ALONG RIVER BANK:

- AS MANY TREES AS POSSIBLE WILL BE SAVED AT THE EDGE OF THE PROPOSED GRADES.
- SPECIFIED PLANTINGS WILL BE ADJUSTED IN THE FIELD TO AVOID TREES AND MAJOR TREE ROOTS.
- ADDITIONAL NATIVE SHRUBS AND TREES WILL BE PLANTED IN THE HATCHED AREAS & WILL INCLUDE SIX (6) SPICEBUSH (LINDERA BENZONIN), FIVE (5) SWEET PEPERBUSH (CLETHRA ALNIFOLIA), EIGHT (8) VIBURNUM (VIBURNUM ACERIFOLIUM), AND TWO (2) SYCAMORE (PLATANUS OCCIDENTALIS).
- IN THE HATCHED AREAS PLANTED TREES SHALL BE 1 1/2" CALIPER OR 6" IN HEIGHT (MINIMUM) & SHRUBS SHALL BE 2-3" (MINIMUM) IN HEIGHT.

PLANTING SCHEDULE

Symbol Code	Name / Scientific Name	Size	Density
(1)	LUNA AMERICAN NEW HARBENI / NEW HARBENI ELM	2 1/2" - 3" CAL.	4
(2)	MAPLELEAF CAMANENSIS / SHADBLAW	2 1/2" - 3" CAL.	5
(3)	JUNIPERUS VIRGINIANA / RED CEDAR	4-5'	4
(4)	ARNDIA ABBUTIDA BELLANTISSIMA / CHEKERBERRY	18 - 21"	16
(5)	ARNDIA MELANOCARPA / BLACK CHOKEBERRY	18 - 21"	9
(6)	CLETHRA ALNIFOLIA / SUMMERSWEET CLETHRA	18 - 21"	10
(7)	JUNIPERUS CHINENSIS / COMPACT JUNIPER	18 - 21"	40
(8)	MYRTICA PENNSYLVANICA / BAYBERRY	18 - 21"	10
(9)	ROSA KNOXHOULT / SHRUB ROSE	18 - 21"	15
(10)	VACCINIUM COYNEANUM / BLUEBERRY	18 - 21"	28
(11)	VIBURNUM ACERIFOLIUM / MAPLELEAF VIBURNUM	18 - 21"	14
(12)	SEBUM BRILLIANT / SEBUM	2 FT.	34
(13)	EXISTING TREE TO REMAIN		

NOTES: MATCH ALL PLANT BEDS WITH NO MORE THAN 3" DEPTH OF PINE BARK MULCH.

SEED MIXES:

- LAWN AREAS: WINDSOR LOW MAINTENANCE LAWN MIX.
- COLONIAL SEED CO. WINDSOR, CT
- WOODS AND SLOPES: SHEET SANDHAWK NATURE SAND SITE SEED MIX.

MEMORANDUM AREA WITH EXISTING TREES:

- REMOVE EXISTING TREES ON TOP OF MOUNDS AND ON EMBANKMENTS.
- DO NOT PLACE FILL OVER ROOT AREAS.
- REPLACE EXISTING TREES ON TOP OF MOUNDS AND ON EMBANKMENTS.
- LAND LEAVE LATER IN PLACE.
- AND DUMPING LAYERS IN THE FALL IN THIS AREA.



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066

Tel: (860) 870-3667

Fax: (860) 870-3683

E-mail: planning@vernon-ct.gov

Certified Mail: #

May 27, 2015

Ken Kaplan,
Kaplan Millworks, LLC
161 and 200 West Main Street
Vernon, CT 06066

Re: IWC Approval of a Wetlands Permit to construct a proposed parking area at #161 and 200 West Main Street (Assessor's ID: Map #22, Block #58 and #59, Lots/Parcels #13 and #1)

Dear Mr. Kaplan/Kaplan Millworks LLC:

Please be advised that at its May 26th, 2015, meeting, the Vernon Inland Wetlands Commission (IWC) voted unanimously to approve your application (IWC-2015-02) for a Wetlands Permit for construction of a proposed parking area at #161 and #200 West Main Street (Assessor's ID: Map #22, Block #0058, Lots/Parcels #13 and #1)

This approval is granted in accordance with plans entitled:

<p>Site Location Map/Cover Sheet Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: N.T.S Sheet 1 of 7</p>	<p>Boundary Survey, Existing Conditions Plan Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: 1" = 40' Sheet 2 of 7</p>

<p>Improvement Location Survey – Conceptual Total Site Build Out Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: 1" = 40' Sheet 3 of 7</p>	<p>Improvement Location Survey – Proposed Site Plan Phase I Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: 1" = 40' Sheet 4 of 7</p>
<p>Landscaping Plan Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: 1" = 30' Sheet 5 of 7</p>	<p>Lighting Plan Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: 1" = 30' Sheet 6 of 7</p>
<p>Details Sheet Phase I Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT Date: 4.21.15 Scale: N.T.S Sheet 7 of 7</p>	<p>Drainage Area Map Prepared For: <u>Kaplan Millworks, LLC</u> 200 West Main Street by Gardner Peterson Associates LLC, 178 Hartford Turnpike, Tolland, CT (Part of Stormwater Management Report) Date: 4.21.15 Scale: 1" = 40' Sheet no. A1</p>

and such revisions to said plan as may be required by this approval.

In addition to the plans, this approval is granted in accordance with an application dated April 23, 2015, and in accordance with the following documentation submitted by the applicant or otherwise received by the Commission:

- REMA Ecological Services LLC Wetlands Assessment Report for Parking Improvements and rehabilitation – Phase I, 200 West Main Street, dated April 22, 2015
- Gardner and Peterson Associates, LLC Stormwater Management Report for Kaplan Millworks LLC, Phase I, 161 & 200 West Main Street, dated April 21, 2015
- Memo from the Conservation Commission to the Inland Wetlands Commission and Town Planner dated May 19, 2015
- Staff review comments from Chief James Kenny, Police Chief (dated 5.4.15), Brian Bielawiec, Health Department (dated 5.5.15), Andy Marchese, Zoning Enforcement Officer (dated 4.29.15)

The wetlands permit is granted based on the Commission's finding that the application as submitted presents no adverse impacts to wetlands and watercourses as evaluated by the decision criteria of Section 10.2 of the Regulations. The Commission also finds that a feasible and prudent alternative does not exist. This permit is effective June 10, 2015.

The wetlands permit is granted subject to the following stipulations:

1. The permit shall expire on June 9, 2020, which is within five years of the effective date of approval per CGS Sec. 22a-42a(d)(2), unless renewed by the Inland Wetlands Commission in accordance with said statute;
2. The Office of the Town Planner shall be notified in writing, in advance, concerning the anticipated date of commencement of work under this permit.
3. The Wetlands Enforcement Officer will be notified at least twenty-four (24) hours in advance of the commencement of excavating, filling, and/or grading on the site.
4. The permittee shall adhere to the recommendations of the REMA report (dated April 22, 2015) in particular section 4.0 regarding mitigation and restoration.
5. Prior to the commencement of excavation and/or site work the applicant shall install erosion and sedimentation controls as specified in the cited plans and as may be directed by the Wetlands Enforcement Officer to protect wetlands and watercourses potentially affected by the site work; installation and maintenance of erosion and sedimentation controls shall be subject to bonding as may be required by the Planning and Zoning Commission;
6. The permittee shall employ adequate safeguards and best management practices (BMP) consistent with the guidelines and specifications of the Connecticut Stormwater Quality Manual, 2004, as may be amended, to control storm water discharges, and of the

Connecticut Guidelines for Soil Erosion and Sediment Control, 2002, as may be amended, to prevent erosion and sedimentation and to otherwise prevent pollution of wetlands or watercourses; all sediment and erosion control measures must be maintained until all disturbed areas are stabilized;

7. The permittee shall inform the Commission immediately of any impacts to wetlands or watercourses which occur in the course of, or which are caused by, the authorized work; any soil-laden runoff issuing from the permittee's site shall be considered a violation of this stipulation; at the direction of the Inland Wetlands Agency or the Wetlands Enforcement Officer or his designee, the permittee shall remediate any damage incurred;
8. No equipment or material, including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse, on or offsite, unless specifically authorized by this permit;
9. This permit is subject to, and does not derogate, any present or future property rights or other rights or powers of the Town of Vernon, and conveys no property rights in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any federal, state, or local laws or regulations pertinent to the property or activity effected hereby;
10. If the activity authorized by the Inland Wetlands permit also involves an activity or a project that requires Planning & Zoning Commission or Zoning Board of Appeals approval, no work pursuant to the wetlands permit may begin until such approval is obtained;
11. Erosion controls shall not be removed without the authorization of the Wetlands Enforcement Officer or his designee;

Sincerely,

Brianan Nolan
Town Planner
for
Lynda Morhardt, Chairman
Inland Wetlands Commission

The applicant hereby agrees to these contractual stipulations of approval:

Signed

Printed Name

Date

This letter must be signed and the original returned to the Town Planner within thirty (30) days of the effective date.

cc: Inland Wetlands Commission
Craig W. Perry, Wetlands Enforcement Officer
Lenord Jacobs, Jacobs, Walker, Rice and Barry, LLC