

**Town of Vernon  
Design Review Commission (DRC)  
Wednesday, September 16, 2020  
7:00 P.M.**

**Via Zoom Audio Teleconference**

Join Zoom Meeting at:

<https://us02web.zoom.us/j/83247132937?pwd=MGgzQTh3dnd2Y2dSUWtrNzR1QkRPdz09>

or Dial

+1 646 876 9923

Meeting ID: 832 4713 2937

Passcode: 429570

SPECIAL MEETING  
AGENDA

1. Call to Order & Roll Call
2. Approval of the Minutes from the July 1<sup>st</sup> 2020 meeting
3. Referral from Town Planner

**Application [PZ-2020-10] of APH Hairstylists (Alice and Allan House) for a Site Plan of Development and several Special Permits in order to renovate, remodel, and improve a hair salon location at 274 Talcottville Rd. (Assessor's ID: Map 10, Block 015K, Parcel 00028). The property is zoned Commercial.**

**Application [PZ-2020-11] of CT Golf Land LLC (Steven LaMesa and Jerry Fornelli) for a modification to a Site Plan of Development and a series of Special Permits to modify and enhance a commercial recreation, family fun center located at 95 Hartford Turnpike (Assessor ID: Map 1, Block 158, Parcel 95). The property is zoned Commercial.**

4. Adjournment

Shaun Gately on behalf of,  
Design Review Commission

**Town of Vernon, CT  
Design Review Commission (DRC)  
DRAFT MINUTES**

**Wednesday, July 1, 2020, 7:00 P.M.**

Via Zoom Audio Teleconference

Phone: 1-646-876-9923

Meeting ID: 873 0388 4986

Dial-In Assess/Password: 044960

or via web link:

<https://us02web.zoom.us/j/87303884986?pwd=c3pDZ0w3TEExQWnFwd2lQc2ZlZGprdz09>

Weblink Password: ljlGt6

**1. Call to Order and Roll Call**

- Meeting was called to order by Chairperson Jennifer Holt at 7:00 P.M.
- Regular members present: Chairperson Jennifer Holt, Stephen Ransom, Eva Perrina
- Members Absent: None
- Staff present: George McGregor, Town Planner
- Recording secretary: Kathleen Minor

**2. Approval of Minutes from March 4, 2020 and May 6, 2020 Meetings**

Stephen Ransom, seconded by Eva Perrina, made a motion to approve the minutes from the March 4, 2020 and May 6, 2020 meetings as presented. Motion carried unanimously by voice vote.

**3. Referral from Town Planner**

**PZ 2020-08** St. Bernard's Church requests site plan approval for a 2,573 sq. ft. addition to the School, the demolition of the Parish Center, and a reconfiguration with additional spaces of the existing parking areas and parking lot access. A Special permit is also requested pursuant to Section 15 of the Town of Vernon Zoning Regulations for the grading and removal of material in excess of 50 cubic yards and for the disturbance of more than one-half (1/2) acre of land. The St. Bernard's Church campus is located at 25 Saint Bernard Terrace, with the School and Parrish Center located at 20 and 22 School St., respectively (Assessor ID: Map 40, Block 0110, Parcel 00004).

The application was presented by the following individuals who joined the call and answered questions:

- Glenn Yeakel, AIA, Friar Architecture Inc.
- Herb May, Chief Civil Engineer, Macchi Engineers LLC
- Brian Kenny, Business Manager – Blessed Sacrament Parish at St. Bernard Church Rockville and St. Matthew Church, Tolland

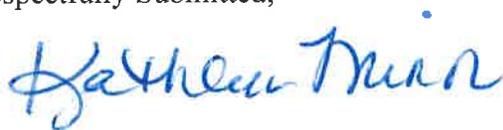
Discussion ensued.

Stephen Ransom, seconded by Eva Perrina, motioned to approve the Town Planner Referral of PZ-2020-08 for site plan approval at St Bernard's Church with a stipulation to look further into the moving of the dumpster for better traffic flow and aesthetic purposes and to provide the light fixture plan. Motion carried unanimously by voice vote.

**4. Adjournment**

Chairperson Jennifer Holt ended the meeting at 8:07pm.

Respectfully Submitted,

A handwritten signature in blue ink that reads "Kathleen Minor". The signature is written in a cursive style with a prominent dot above the letter 'i' in "Minor".

Kathleen Minor  
Recording Secretary

Name of Development:  
APH Hair Stylist

# 274 Talcottville Rd





**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

**I. APPLICANT:**

Name: Alice P. House & Allen A. House

Title: Owners

Company: APH Hair Stylist, LLC

Address: 155 Windermere Ave. Unit 2203

Ellington, CT 06029

Alice's Cell: 860-643-5225

Telephone: Allen's Cell: 860-944-4201

Fax: \_\_\_\_\_

Alice's Email: shamrock.house64@gmail.com

E-mail Allen's Email: houseall@cox.net

**II. PROPERTY OWNER (S):**

Name: APH Hair Stylist, LLC

Title: Managing Member, Alice P. House

Company: APH Hair Stylist, LLC

Address: 155 Windermere Ave. Unit 2203

Ellington, CT 06029

Alice's Cell: 860-643-5225

Telephone: Allen's Cell: 860-944-4201 Fax \_\_\_\_\_

E-mail: Alice's Email: shamrock.house64@gmail.com

Allen's Email: houseall@cox.net

**III. PROPERTY**

Address: 274 Talcottville Rd, Vernon, CT 06066

Assessor's ID Code: Map #      Block #      Lot/Parcel # 10-015K-00028

Land Record Reference to Deed Description: Volume: 2636 Page 273

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No       Yes

No work will be done in regulated area  
 Work will be done in the regulated area

IWC application has been submitted  
 IWC application has not been submitted

Zoning District Current: Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

No  
 Yes:

- Bolton
- Coventry
- Ellington
- Manchester
- South Windsor
- Tolland

Check if Historic Status Applies:

Located in historic district:

- Rockville
- Talcottville

Individual historic property

#### IV. PROJECT

**Project Name:** APH Hair Stylist Salon Suites

**Project Contact Person:**

**Name:** Alice & Allen House

**Title:** Managing Member, Alice House of APH Hair Stylist LLC

**Company:** APH Hair Stylist, LLC

**Address:** 155 Windermere Ave. Unit 2203  
Ellington, CT 06029

**Telephone:** Alice's Cell: 860-643-5225  
Allen's Cell: 860-944-4201 Fax:

Alice's Email: shamrock.house64@gmail.com

**E-mail:** Allen's Email: houseall@cox.net

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: Renovate Hair Salon and Expand Parking

General Activities: Demolition of existing 1/2 story/garage/breezeway/wood HC ramp, remodel remaining 768 sq. ft., building construction of 958 sq. ft. addition, utility service installation, site grading and LID drainage, gravity wall installation, reconfigure and resurface parking lot, sidewalks, construct curbs and planting beds, place top soil, seed green spaces, landscape planting beds, install signage.

## VI. APPROVAL (S) REQUESTED

### Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

     Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

  x   Site Plan of Development (POD) (ZR Sec. 14)

- x POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

  x   Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- x   Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
  
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
  
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
  
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

X   **Other Special Permit(s). Cite ZR Section and describe activity:**

4.9.4.15.2 The proposed structure is within two-hundred (200) feet of a residential structure. Applying to allow 113 feet from proposed structure and residential structure on east boundary property line. Hardship: Existing lot configuration.

4.9.4.15.3 The proposed development has any off-street parking or loading spaces within one-hundred (100) feet of a residential structure. Applying to allow 72 feet from proposed parking spaces and residential structure on east boundary property line. Hardship: Existing lot configuration. Note: The installation of gravity wall and lot elevation difference help to mitigate the possibility of residential disturbance.

       **Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.**

---

---

---

---

       **Zoning:**

       Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

       Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

       Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

       Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (IWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (IWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

Alice P. House  
Signature  
Allen House  
Signature

8/18/2020  
Date  
8/18/2020  
Date

**TO BE FILLED IN BY THE PLANNING DEPARTMENT**

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_

USE THIS FORM ONLY IF THE REQUIREMENTS OF  
8.3(a)/22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK

FROM:

REFERENCE:

DATE:

The attached documents, consisting of:

Are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: \_\_\_\_\_

Vernon Town Clerk \_\_\_\_\_  
Signature

Date: \_\_\_\_\_

Return to:  
APH Hair Stylist, LLC  
274 Talcottville Road  
Vernon, CT 06066

## WARRANTEE DEED

---

### To all People to whom these Presents shall come, Greeting:

KNOW YE, THAT **AMERICAN JOINT VENTURES, LLC**, a Connecticut limited liability company having its principal place of business at 274 Talcottville Road, in the Town of Vernon, County of Tolland and State of Connecticut (Hereinafter "Grantor"), for the consideration of **THREE HUNDRED THOUSAND (\$300,000.00) DOLLARS**, received to its full satisfaction of **APH HAIR STYLIST, LLC**, a Connecticut limited liability company having its principal place of business at 155 Windermere Avenue, Unit 2203 in the Town of Ellington, County of Tolland and State of Connecticut (Hereinafter "Grantee") does give, grant, bargain, sell and confirm unto the said **APH HAIR STYLIST, LLC**

A certain piece or parcel of land known as 274 Talcottville Road, with all buildings and improvements thereon, situated, lying and being in the Town of Vernon, County of Tolland and State of Connecticut, more particularly bounded and described as follows:

Being Lot No. 1 on a map or plan entitled "Map showing property of Albert Litvinchyk in the Town of Vernon, Tolland County, Conn., containing 9.7 acres. Scale of map 1" = 50' April 1952, Class A2", and drawn by H.F. Rosenberger, Jr., which said map is on file in the Office of the Town Clerk of said Town of Vernon, reference to which is hereby made for further description. Said Lot No. 1 is bounded:

Northerly by land now or formerly of Michael Ference, One hundred twenty-seven and 63/100 (127.63) feet;

Easterly by Lot No. 3 on said map, One hundred thirteen and 84/100 (113.84) feet;

Southerly by proposed roadway shown on said map as Allen Drive, One hundred sixty-two and 46/100 (162.46) feet; and

Westerly by highway known as Route #83, between Rockville and Talcottville, One hundred seventeen and 24/100 (117.24) feet.

Said premises are subject to any and all provisions of any ordinance, municipal, state and/or federal regulations or public or private law, building, building line and zoning restrictions, covenants and easements as of record appear.

CONVEYANCE TAX RECEIVED  
STATE \$ \$3,750.00  
LOCAL \$ \$750.00  
KAREN C. DAIGLE  
TOWN CLERK OF VERNON





August 18, 2020

George McGregor, Town Planner  
Vernon Planning and Zoning Commission  
55 West Street  
Vernon, CT 06066

Re: Site Plan of Development and Special Permits  
APH Hair Stylist, LLC  
274 Talcottville Road a/k/a 1 Allan Drive  
Vernon, CT 06066

#### Plan of Development (POD) Narrative

The applicant proposes to renovate an existing hair salon previously operated as the Hair Gallery, upon the 274 Talcottville Road parcel. All non-conforming portions of the existing structure will be taken down and a 1,162 sq. ft. addition added to the remaining 768 sq. ft. first story structure. Two lot set back variances and demolition permit have been approved for the POD. See attached ZBA-2020-02 certificate and demo permit DP-2020-0006. The salon capacity is increasing from 4 to 8 operator stations and the parking lot from 8 spaces to 19 spaces. The finished hair salon will be reconnected to public utilities; WPCA sanitary sewer, CWC water, Eversource Electric and Gas, Comcast Business, and a state-of-the-art CT net metering solar array installed on the flat roof to reduce carbon emissions.

Also included with the application are location improvement A2 survey sheets containing details for existing conditions and proposed site grading, LID drainage, gravity wall, driveway, parking spaces, landscaping, erosion and sediment control, architectural renderings, building elevations, lighting, and waste management plans.

#### Special Permits

In connection with its proposed development, the Applicant also seeks three special permits. (1) Per Section 15 of the Regulations, for excavation involving more than 50 cubic yards. The sole purpose of the excavation is to prepare the site and complete hair salon renovations in accordance with the POD. (2) Per Section 4.9 of the Regulations, for reduced thresholds of proposed hair salon structure and parking spaces within (200) feet and (100) feet of a residential structure on the east boundary property line. Hardship: Existing lot conditions. Note: The installation of gravity wall and lot elevation difference help to mitigate the possibility of residential disturbance.





Traffic Impact Statement

The applicant is proposing a plan of development to increase the capacity of an existing hair salon. The hair salon will remain to be accessed by the existing curb cut off of Allan Dr and there are no proposed changes to the curb cut. During the first quarter of 2020 Vernon LTA and CT OSTA/DOT installed a state-of-the-art traffic light at the intersection of Route 83, Allan Dr, and Trail Run Apartment Complex. Customers will use the Route 83 traffic light to access the salon parking lot entrance/exit off of Allan Dr. This corner lot parcel is a direct beneficiary of the advanced traffic light signaling to control safe ingress and egress access to Allan Dr curb cut. The proposed parking lot design implements a one-way drive loop around the building with a redesigned arrangement of 19 parking spaces. In my opinion, taking into account the traffic light and proposed parking lot improvements, the increase in daily customer activity generated at the site will not have a major impact to traffic and can be safely accommodated.

Salon business hours are 8am – 7pm on Tues, Weds, Thurs, and 8am – 5pm on Fri, Sat.

Existing and proposed traffic pattern summary.

	Existing	Proposed
Salon Square Footage	880 sq. ft.	1,727 sq. ft.
Parking Spaces	8	19
Number of salon operator stations	4	8
Avg number of customers per hour	4	8

Sincerely,

Jake Le Brun  
LLC Managing Member











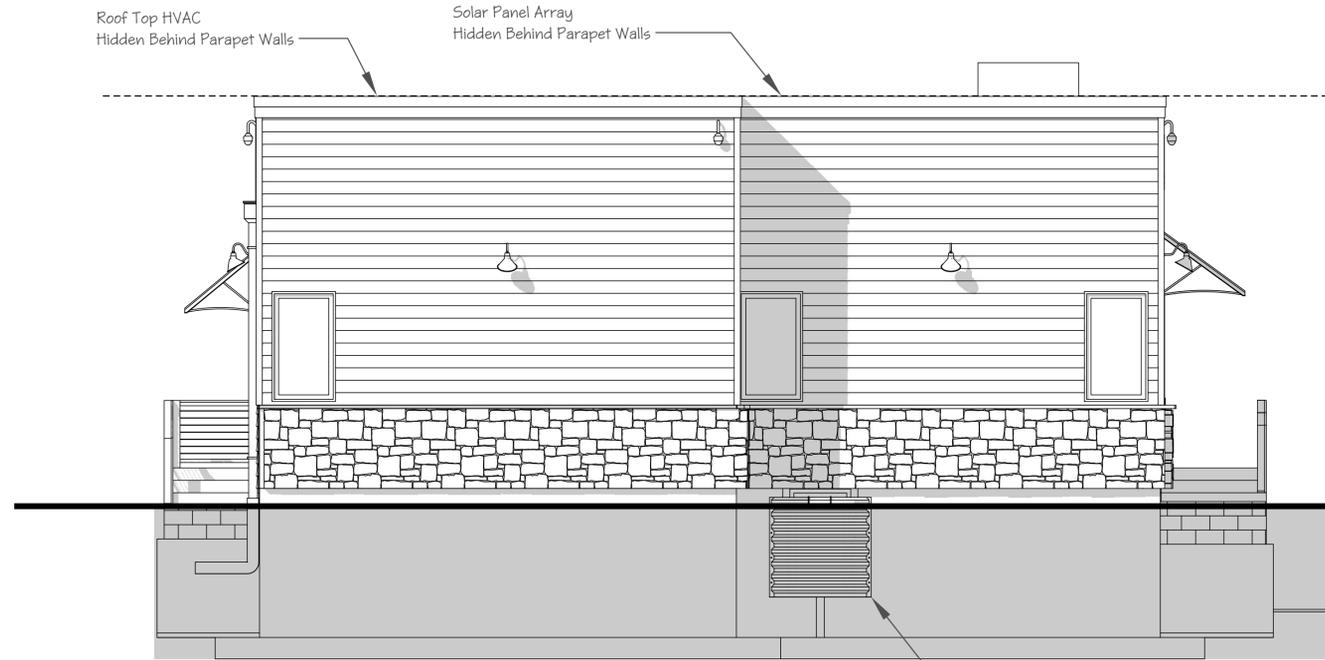




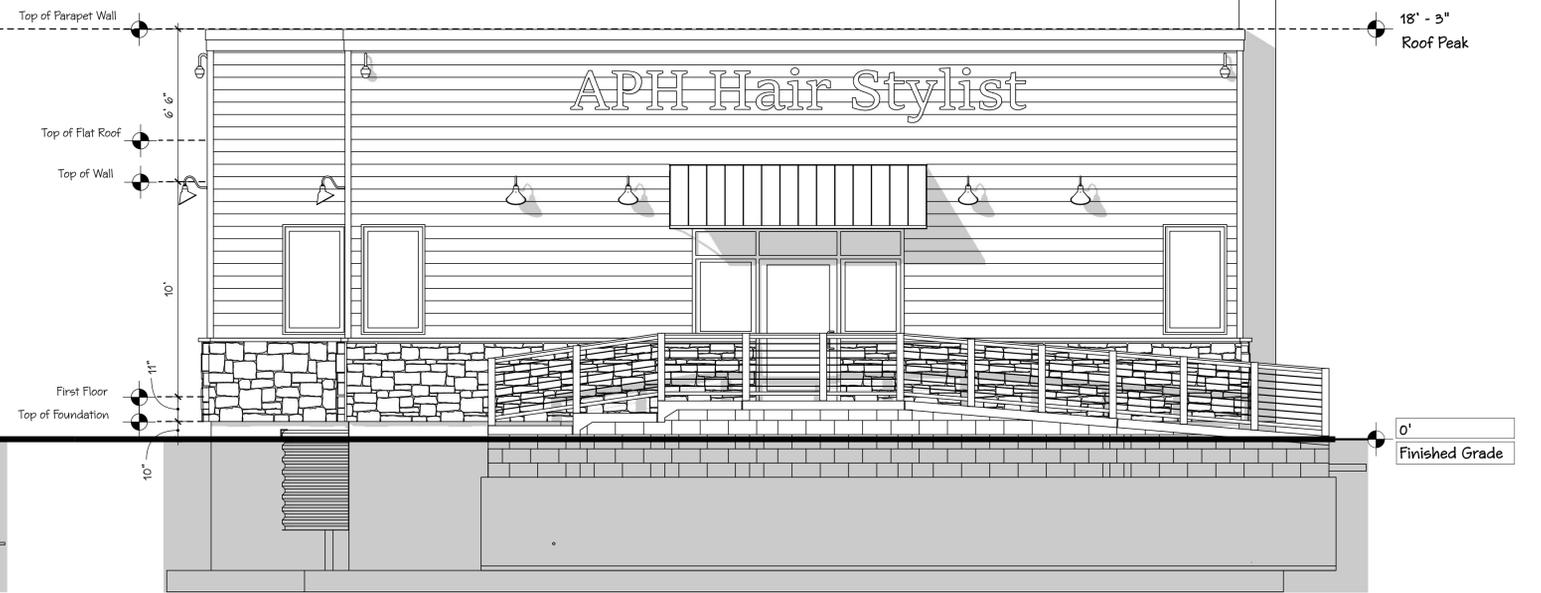




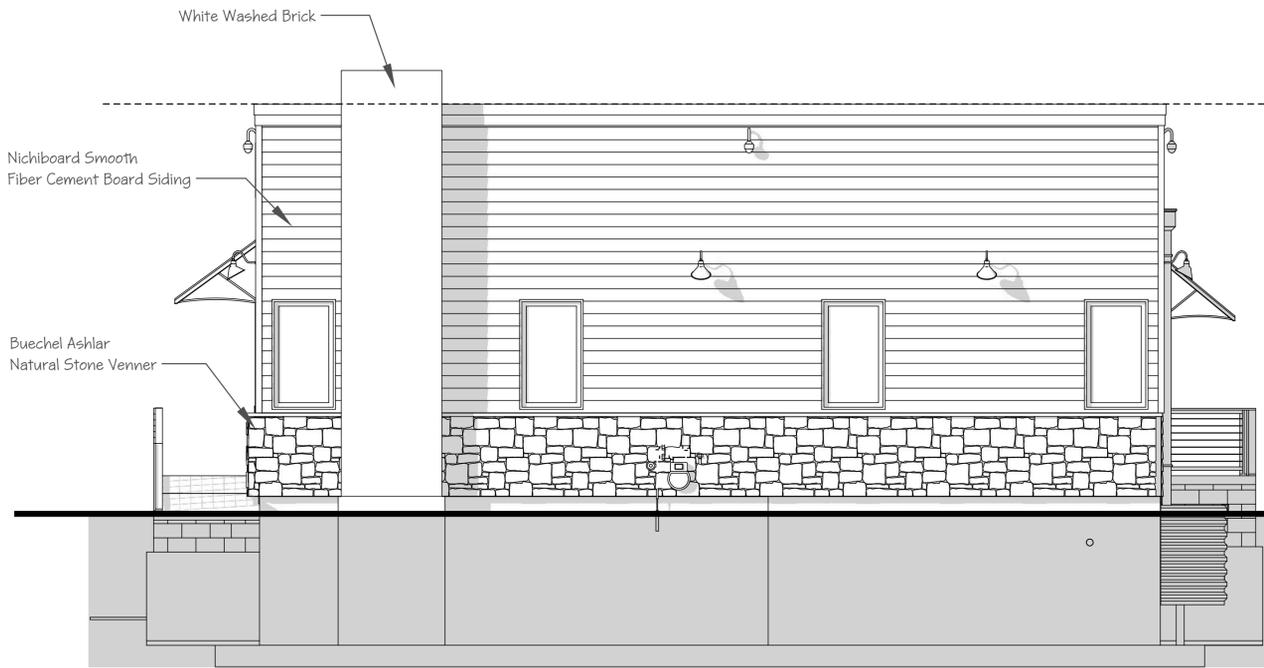




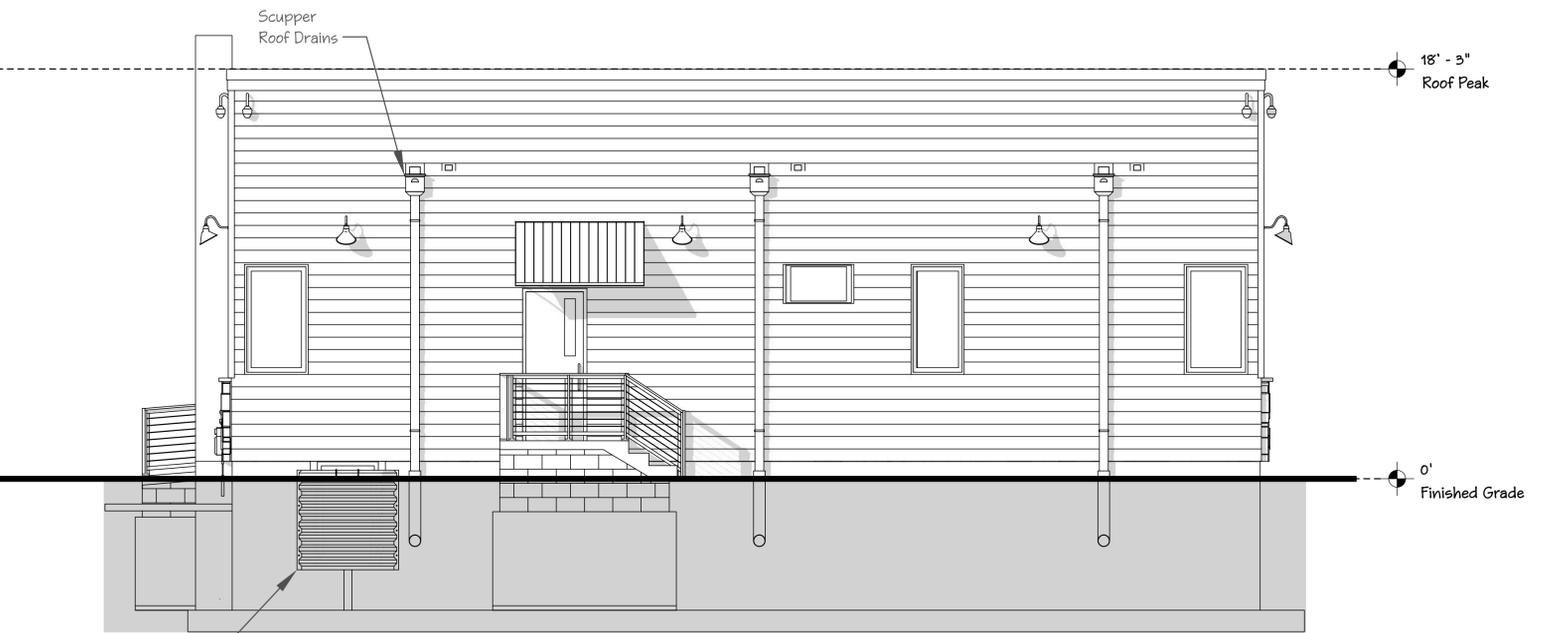
**1** NORTH ELEVATION - #280 SIDE  
SCALE :: 1/4" = 1'-0"



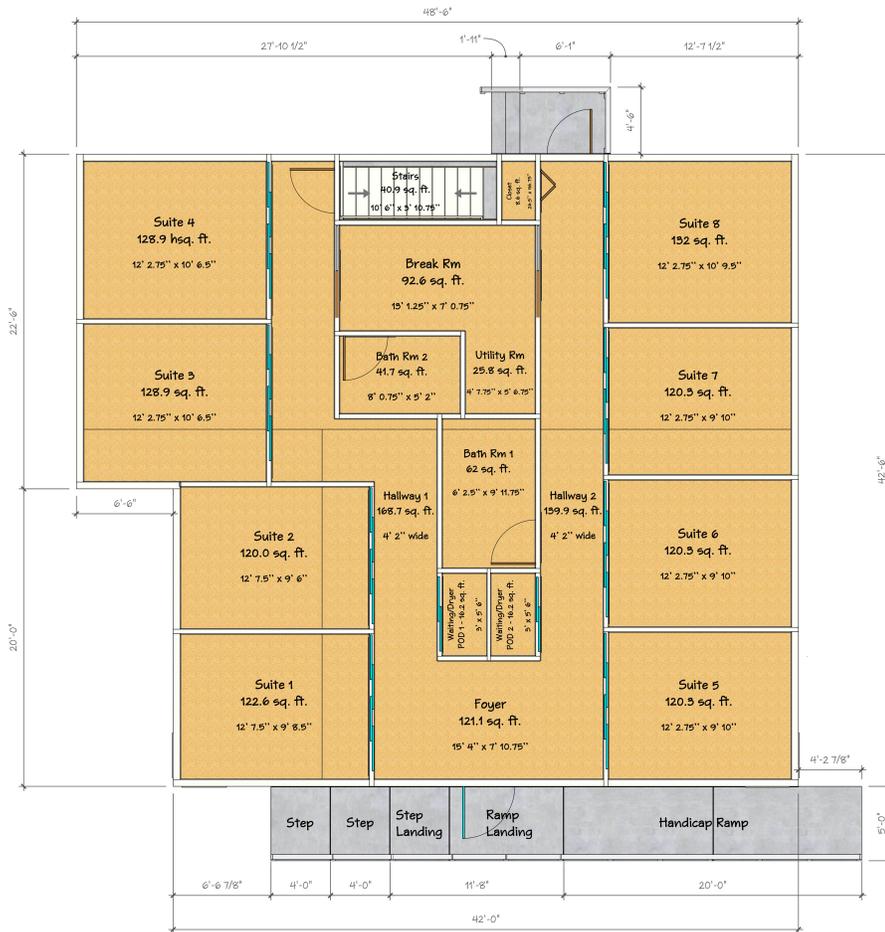
**2** WEST ELEVATION - FRONT  
SCALE :: 1/4" = 1'-0"



**3** SOUTH ELEVATION - ALLAN DR. SIDE  
SCALE :: 1/4" = 1'-0"



**4** EAST ELEVATION - BACK  
SCALE :: 1/4" = 1'-0"



FLOOR PLAN  
Scale: 1/4" = 1'

Finished Space	
Foyer	121.1 sq. ft.
Waiting/Dryer POD 1	16.2 sq. ft.
Waiting/Dryer POD 1	16.2 sq. ft.
Suite 1	122.6 sq. ft.
Suite 2	120.0 sq. ft.
Suite 3	128.9 sq. ft.
Suite 4	128.9 sq. ft.
Suite 5	120.3 sq. ft.
Suite 6	120.3 sq. ft.
Suite 7	120.3 sq. ft.
Suite 8	132.0 sq. ft.
Bath Rm 1	62.0 sq. ft.
Bath Rm 2	41.7 sq. ft.
Break Rm	92.6 sq. ft.
Utility Rm	25.8 sq. ft.
Closet	8.6 sq. ft.
Hallway 1	168.7 sq. ft.
Hallway 2	139.9 sq. ft.
Stairs	40.9 sq. ft.
<b>Total</b>	<b>1,726.9 sq. ft.</b>

Unfinished Space	
Existing Basement	695.1 sq. ft.
Addition Basement	1060.3 sq. ft.
<b>Total</b>	<b>1,755.4 sq. ft.</b>

# Proposed Lighting Plan

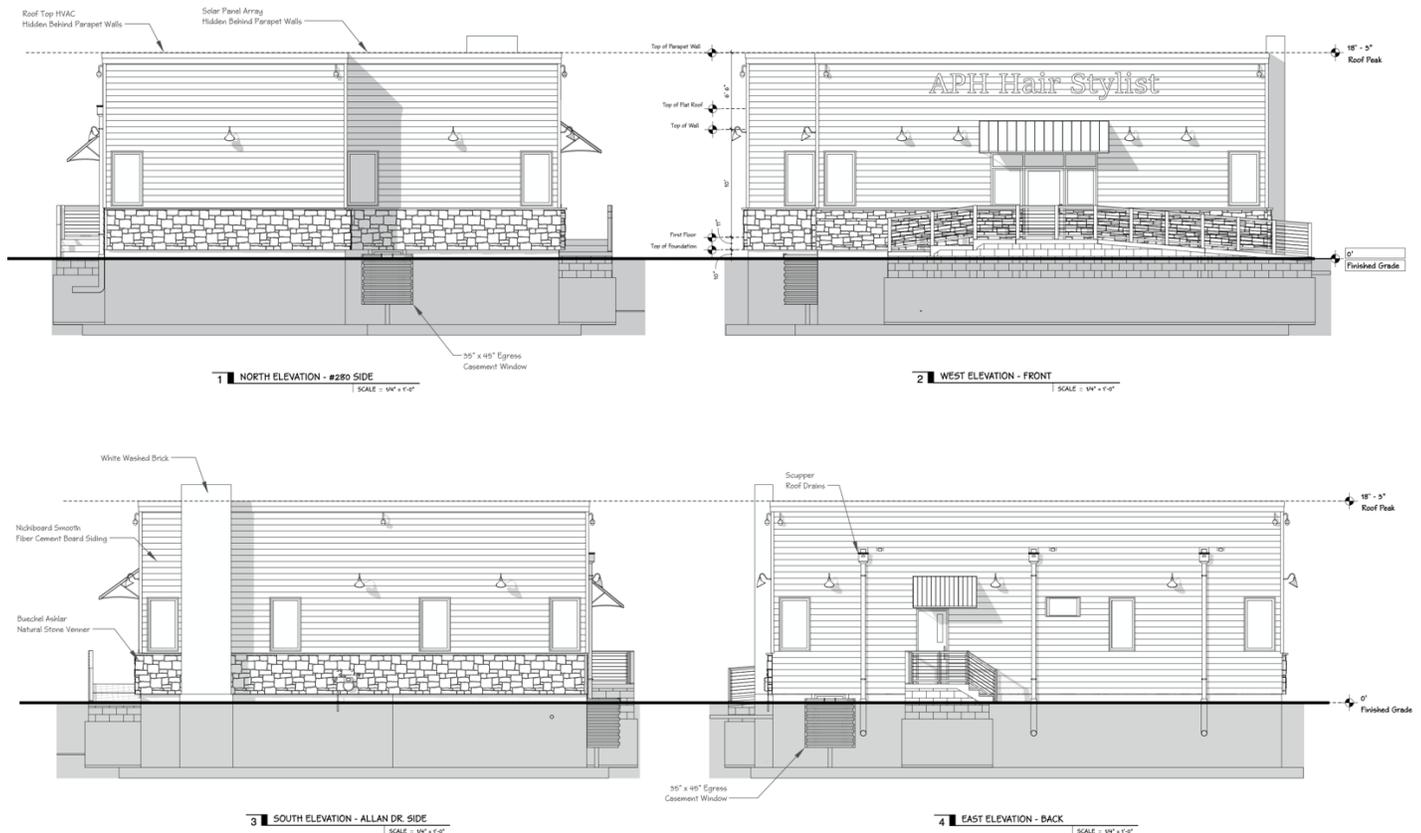
Name of Development: APH Hair Stylist

Site: 274 Talcottville Rd, Vernon, CT

## Exterior Building Lighting

The Millennium RAS12-GA-RNG15 R Series Gooseneck wall mount light fixture has been selected to illuminate sidewalks, parking, and landscaping around the building. The fixture options are configured with 12" round angled shade and 14.5" gooseneck. Fixture and bulb technical specification sheets are included at end of this plan document.

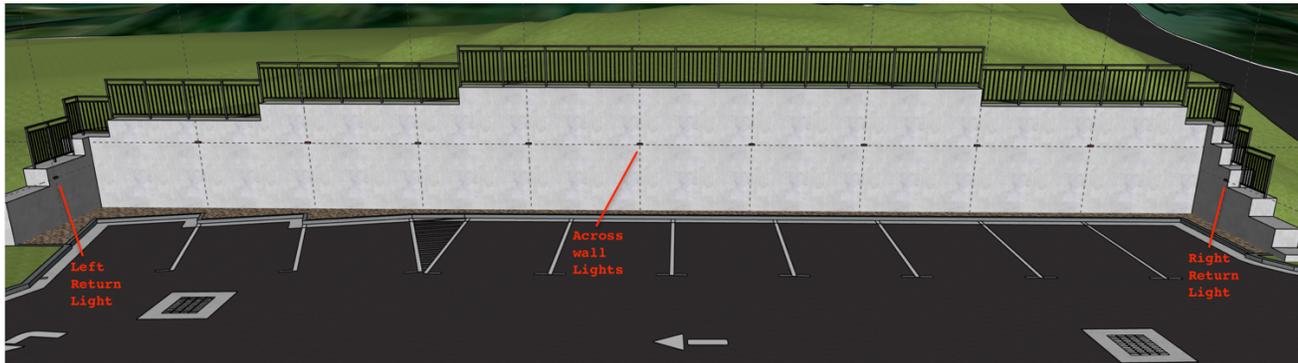
Light Location	Qty	Lumen Output	Input Power	Input Voltage	Color Temp (CCT)	Color Rendering Index (CRI)
Front Wall - East Facing Mounted 11 ft above grade	3	2550lm	22W	120V	3000K	80
Right Side Wall - South Facing Mounted 11 ft above grade	2	2550lm	22W	120V	3000K	80
Left Side Wall - North Facing Mounted 11 ft above grade	2	2550lm	22W	120V	3000K	80
Back Side Wall - East Facing Mounted 11 ft above grade	3	2550lm	22W	120V	3000K	80



## Gravity Wall Lighting

The VOLT Low Voltage Landscape Lighting 6" VSH-668-4-BBZ undercover hardscape light fixture has been selected to illuminate the parking and landscaping along the gravity wall. Fixture and bulb technical specification sheets are included at end of this plan document.

Light Location	Qty	Lumen Output	Input Power	Input Voltage	Color Temp (CCT)	Color Rendering Index (CRI)
Across Gravity Wall Facing West Towards Building Mounted 6 ft above grade with a 10 ft spacing between fixture centers	9	300lm	3W	9-15V	2700K	80-85
Right Side Gravity Wall Return Mounted 4 ft above grade and 5 ft out from wall corner	1	300lm	3W	9-15V	2700K	80-85
Left Side Gravity Wall Return Mounted 4 ft above grade and 5 ft out from wall corner	1	300lm	3W	9-15V	2700K	80-85



# R Series

## 12" Angle Shades

UL LISTED FOR WET LOCATIONS



**RAS12-SR**  
Shade Only.  
Shown with optional  
RGN15-SR Goose Neck



**RAS12-SG**  
Shade Only.  
Shown with optional  
RGN15-SG Goose Neck



**RAS12-SB**  
Shade Only.  
Shown with optional  
RGN15-SB Goose Neck



**RAS12-GA**  
Shade Only.  
Shown with optional  
RGN15-GA Goose Neck  
and RWG12-GA Wire Guard

Galvanized  
finishes may be  
inconsistent



**RAS12-ABR**  
Shade Only.  
Shown with optional  
RGN15-ABR Goose Neck  
and RWG12-ABR Wire Guard

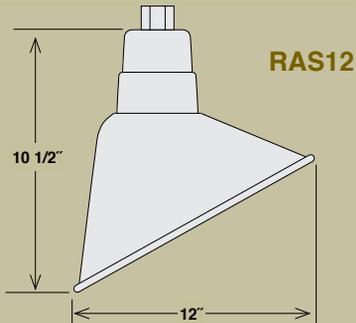


**RAS12-WH**  
Shade Only.  
Shown with optional  
RGN15-WH Goose Neck

### EASY TO ORDER:

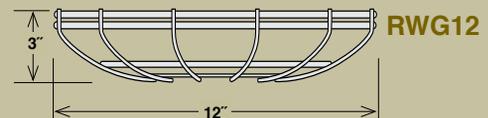
1. Choose a Shade
2. Choose a Goose Neck
3. Wire Guard Optional

### Angle Shades



ITEM #	WIDTH	LAMPS	WIRE	FINISH
RAS12-ABR	12"	Med. 200W A21	100"	Architectural Bronze
RAS12-GA	12"	Med. 200W A21	100"	Galvanized
RAS12-SB	12"	Med. 200W A21	100"	Satin Black
RAS12-SG	12"	Med. 200W A21	100"	Satin Green
RAS12-SR	12"	Med. 200W A21	100"	Satin Red
RAS12-WH	12"	Med. 200W A21	100"	White

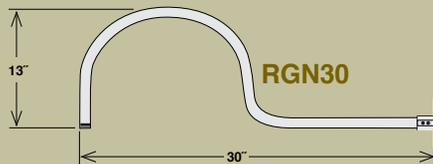
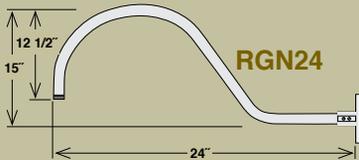
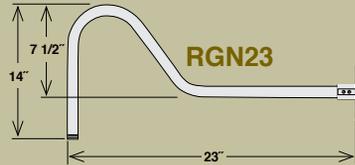
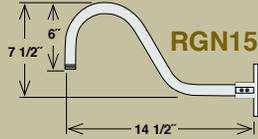
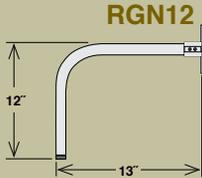
### Wire Guards



ITEM #	WIDTH	FINISH
RWG12-ABR	12"	Architectural Bronze
RWG12-GA	12"	Galvanized
RWG12-SB	12"	Satin Black
RWG12-SG	12"	Satin Green
RWG12-SR	12"	Satin Red
RWG12-WH	12"	White

# Goose Necks (Actual Photos Shown on Page 58)

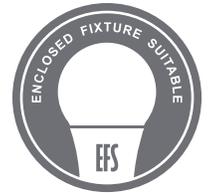
Back Plate included with goose neck



ITEM #	ID	LENGTH	FINISH
RGN12-ABR	3/4"	13"	Architectural Bronze
RGN12-GA	3/4"	13"	Galvanized
RGN12-SB	3/4"	13"	Satin Black
RGN12-SG	3/4"	13"	Satin Green
RGN12-SR	3/4"	13"	Satin Red
RGN12-WH	3/4"	13"	White
RGN15-ABR	3/4"	14 1/2"	Architectural Bronze
RGN15-GA	3/4"	14 1/2"	Galvanized
RGN15-SB	3/4"	14 1/2"	Satin Black
RGN15-SG	3/4"	14 1/2"	Satin Green
RGN15-SR	3/4"	14 1/2"	Satin Red
RGN15-WH	3/4"	14 1/2"	White
RGN22-ABR	3/4"	21 1/2"	Architectural Bronze
RGN22-GA	3/4"	21 1/2"	Galvanized
RGN22-SB	3/4"	21 1/2"	Satin Black
RGN22-SG	3/4"	21 1/2"	Satin Green
RGN22-SR	3/4"	21 1/2"	Satin Red
RGN22-WH	3/4"	21 1/2"	White
RGN23-ABR	3/4"	23"	Architectural Bronze
RGN23-GA	3/4"	23"	Galvanized
RGN23-SB	3/4"	23"	Satin Black
RGN23-SG	3/4"	23"	Satin Green
RGN23-SR	3/4"	23"	Satin Red
RGN23-WH	3/4"	23"	White
RGN24-ABR	3/4"	24"	Architectural Bronze
RGN24-GA	3/4"	24"	Galvanized
RGN24-SB	3/4"	24"	Satin Black
RGN24-SG	3/4"	24"	Satin Green
RGN24-SR	3/4"	24"	Satin Red
RGN24-WH	3/4"	24"	White
RGN30-ABR	3/4"	30"	Architectural Bronze
RGN30-GA	3/4"	30"	Galvanized
RGN30-SB	3/4"	30"	Satin Black
RGN30-SG	3/4"	30"	Satin Green
RGN30-SR	3/4"	30"	Satin Red
RGN30-WH	3/4"	30"	White
RGN41-ABR	3/4"	41"	Architectural Bronze
RGN41-GA	3/4"	41"	Galvanized
RGN41-SB	3/4"	41"	Satin Black
RGN41-SG	3/4"	41"	Satin Green
RGN41-SR	3/4"	41"	Satin Red
RGN41-WH	3/4"	41"	White

# LED EA21-22W1000eh

Bulb Class: A21



## Product Description

**LED EA21-22W1000eh**, Omni-directional A21, replaces conventional 150 Watt incandescent bulbs delivering more brightness (lumens) for less energy (Watts). With lower energy consumption levels you will be able to experience considerable energy savings throughout the years. LED EA21-22W1000eh design reduces internal bulb heat providing greater durability and constant bulb performance. Look for EA21-22W1020eh for Warm White (2700K), EA21-22W1040eh for Bright White (4000K) and EA21-22W1050eh for Cool White (5000K). Enjoy features such as: Instant-on, dimming options, High Output, Energy Efficient, and Enclosed Fixture Suitable.



**Estimated Energy Cost: \$2.64 per year**

\*Note: Design, features and specifications subject to change without notice. Some features may not be available on all models. Please visit [www.eurilighting.com](http://www.eurilighting.com) or call 1-310-787-1100 for more information.

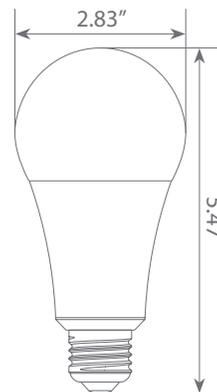
## Specifications

Input Power	Input Voltage	Lumen Output	Beam Angle	Center Beam	CCT
22 W	120V	2550 lm	210°	N/A	3000 K
CRI	Luminous Efficacy	Power Factor	Input Current	Base	Lamp Lifespan
80	115.9 lm/W	0.7	0.2 A	E26	25,000 Hrs.

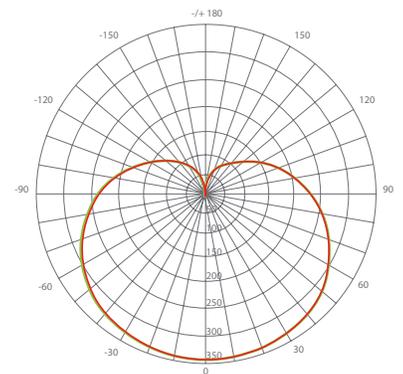
### Product Features

- Dimmable
- Enclosed Fixture Suitable
- Energy Efficient
- Damp Rated
- High Output

### Product Dimensions



### Product Photometric Data





# VOLT® Low Voltage Landscape Lighting

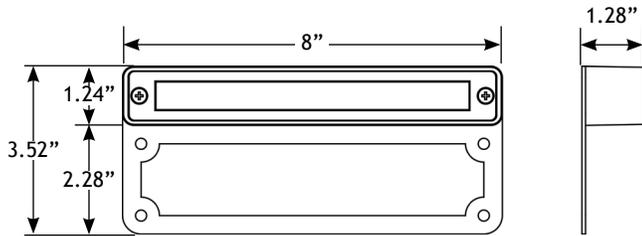
## 6” Undercover Hardscape Light - VHS-668-4-BBZ

### Product Description

VOLT’s Undercover Hardscape light is truly a one-of-a-kind pro-grade, quality landscape lighting fixture. This low voltage light is best used in areas that require a low profile light fixture that illuminates downward. Example applications include railings, retaining walls, counter tops (for outdoor kitchens) and even property walls/fences. These luminaires are constructed of high quality solid cast brass, with premium internal components as well. This fixture is completely sealed to protect from moisture and the environment. The frosted lens provides for a beautifully even soft light that compliments any application.



### Product Dimensions



### Specifications

- ▶ **Construction:** Brass
- ▶ **Finish:** Bronze
- ▶ **Lead Wire:** 16AWG
- ▶ **Mounting (included):** mounting plate with 4 screw holes
- ▶ **Lens:** Frosted lens
- ▶ **Light Source (sold separately):** Bi-pin (LED or Halogen)
- ▶ **Operating Voltage:** 12VAC
- ▶ **Powered by:** VOLT’s Low Voltage Transformer

### Features & Benefits

- ▶ Solid Brass Construction
- ▶ Pre-aged finish; a natural patina that does not corrode
- ▶ Beryllium copper socket - more corrosion resistant than copper
- ▶ Protective brass tube to protect lead wire from crushing when installed in stone, concrete or masonry
- ▶ Frosted lens for smooth photometric results

### Warranty

Lifetime Warranty

### Certifications



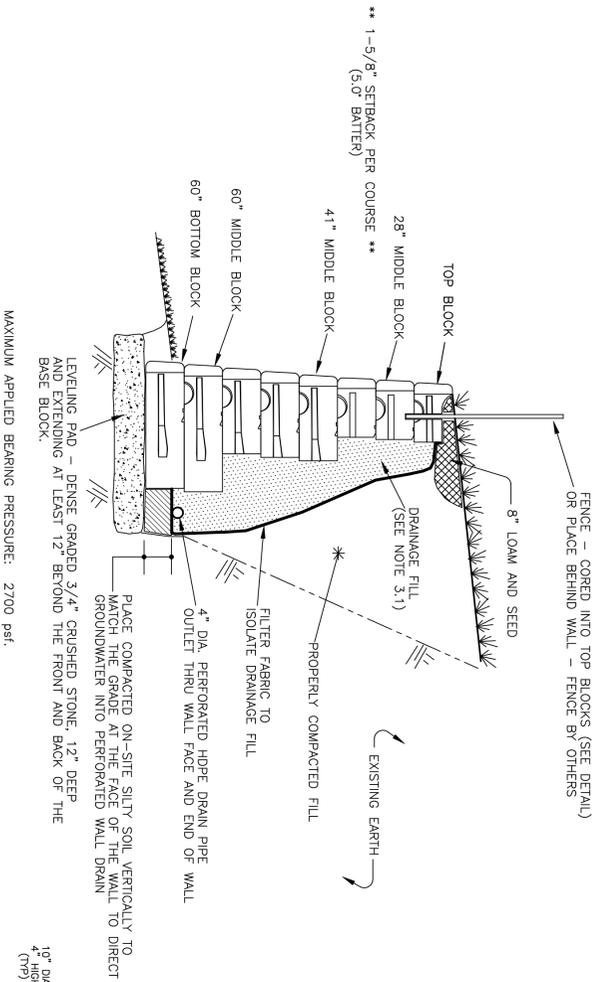
## 3W G4 LED Bi-Pin 2700K (20w Halogen Replacement)

Introducing VOLT®'s new 2700K line of low voltage LED G4 bi-pins. The new 2700 kelvin LED Bi-Pin fits most fixtures that can take a standard size G4 Bi-pin. This LED light bulb is specifically designed for landscape lighting and outdoor low voltage lighting. More powerful than our small G4 LED. These lamps are encapsulated to help keep moisture away from the LED diodes; with slots on the capsule to help draw heat away from the lamp to increase its lifespan. Great for applications when you are looking for a warmer light (in comparison to the 3000K).

## 3W G4 LED Bi-Pin 2700K (20w Halogen Replacement)

### Features & Benefits:

- **Replaces 20-Watt Halogen G4 Bi-Pin Bulb**
- **Bulb Type** G4 Bi-Pin Lamp
- **Lumens:** 300
- **Input Voltage:** 9 – 15v
- **Energy Consumption:** 3 watts
- **Color Temperature:** 2700K (CCT Warm White – most popular)
- **Color Rendering Index (CRI):** 80-85
- **Light Source:** 33 SMD 2835 LED
- **Lifespan:** 40,000 hours (L70)
- **Warranty:** Lifetime Warranty (Residential), 10 Years (Commercial)
- **ETL Listed**
- *IMPORTANT \*\*\* All VOLT® LED fixtures and retrofit bulbs must be used with magnetic transformers such as our VOLT® transformers (they are not compatible with electronic transformers). They must be used with AC (they are not compatible with DC voltage). Failure to comply with any of these factors will destroy the fixture or lamp and void the warranty.*



**TYPICAL SECTION - GRAVITY WALL  
(TYPICAL DETAIL ONLY - SEE WALL FACE DRAWING  
FOR SPECIFIC BLOCK CONFIGURATIONS)**

"REDI-ROCK" SEGMENTAL RETAINING WALL

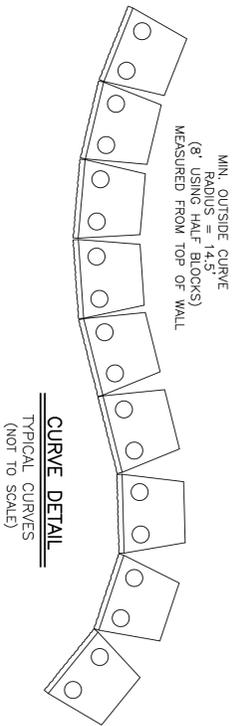
COMPACTION NOTE: WHERE THE RETAINING WALL PASSES OVER ANY UTILITY LINES, COMPACT THE SOIL TO THE TOP OF THE WALL TO PREVENT SETTLEMENT OF UTILITY TRENCHES WHICH PASS UNDER THIS RETAINING WALL. MUST BE AT LEAST 95% OF THE MAXIMUM DENSITY OF THE FILL MATERIAL.

DESIGN ASSUMPTIONS	
SOIL	SOIL UNIT WEIGHT
COMPACTED FILL/BACKFILL	130
RETAINED EARTH	125
FOUNDATION SOIL	125
APPLIED SURCHARGE LOADING:	NONE
SEISMIC ACCELERATION =	0.14

DENSE GRADED 3/4" CRUSHED STONE GRADATION REQUIREMENTS	
SEIVE SIZE	% PASSING
1"	100%
3/4"	90-100%
3/8"	60-80%
20	20-80%
10	10-20%

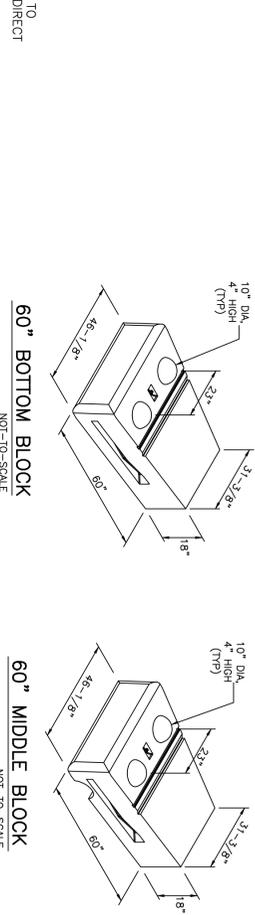
DRAINAGE FILL CT DOT M.01.01 NO. 6 STONE GRADATION REQUIREMENTS	
SEIVE SIZE	% PASSING
3/4"	90-100
1/2"	20-55
3/8"	0-15
#4	0-5

MINIMUM FACTORS OF SAFETY	
OVERTURNING	1.5
SLIDING	1.5
BEARING CAPACITY	2.0



- BLOCK SPECIFICATION NOTES:**
1. ALL BLOCKS SHALL BE MANUFACTURED BY A LICENSED REDI-ROCK (TM) MANUFACTURER.
  2. BLOCKS SHALL MEET THE MINIMUM REDI-ROCK SPECIFICATIONS OF 4000 PSI WITH AN AIR CONTENT OF 4%-8%.
  3. THE REDI-ROCK UNITS MAY UTILIZE EITHER THE SPLIT LIMESTONE OR COBLESTONE FACE CONFIGURATION AS CHOSEN BY THE OWNER OR OWNER'S REPRESENTATIVE.

NOTE: HALF-BLOCKS HAVE THE SAME FEATURES AS SHOWN HERE FOR FULL BLOCKS BUT THEY ARE 25"-1/8" WIDE, NOT THE FULL 46"-1/8" WIDE.



**41" BOTTOM BLOCK**  
NOT-TO-SCALE

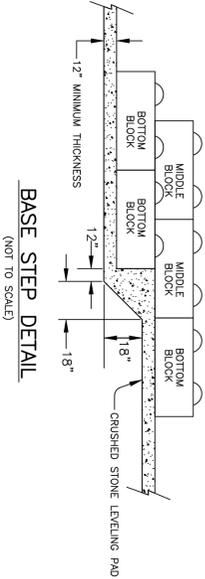
**41" MIDDLE BLOCK**  
NOT-TO-SCALE

**28" BOTTOM BLOCK**  
NOT-TO-SCALE

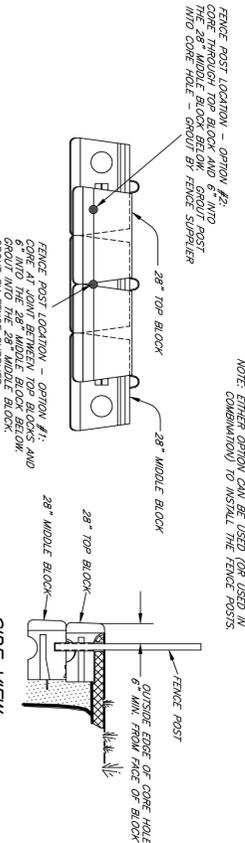
**28" MIDDLE BLOCK**  
NOT-TO-SCALE

**28" TOP BLOCK**  
NOT-TO-SCALE

**GARDEN CORNER BLOCK**  
NOT-TO-SCALE



**MIDDLE CORNER BLOCK**  
NOT-TO-SCALE



**FENCE POST INSTALLATION DETAIL**  
NOT-TO-SCALE

**GENERAL NOTES:**

1. SITE PREPARATION:
  - 1.1. STRIP ALL VEGETATION, ORGANIC SOILS AND UNSUITABLE FILL SOILS FROM THE WALL ALIGNMENT AREA.
  - 1.2. BENCH CUT ALL EXCAVATED SLOPES.
  - 1.3. DO NOT OVER EXCAVATE UNLESS DIRECTED TO DO SO BY THE OWNER'S SITE REPRESENTATIVE IN ORDER TO REMOVE UNSUITABLE SOIL.
  - 1.4. THE OWNER'S SITE REPRESENTATIVE SHALL VERIFY THE COMPETENCY OF THE FOUNDATION SOILS.
2. LEVELING PAD & BOTTOM BLOCK:
- 2.1. LEVELING PAD SHALL CONSIST OF DENSE GRADED 3/4" CRUSHED STONE, 12" THICK AND EXTENDING AT LEAST 12" TO EITHER SIDE OF THE BASE BLOCK.
- 2.2. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE AS INDICATED ON THE WALL FACE DRAWING.
- 2.3. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS, ESPECIALLY WITH REGARDS TO LEVELING OF BLOCKS AND BASE.
3. WALL DRAIN:
  - 3.1. DRAINAGE FILL SHALL CONSIST OF CT DOT M.01.01 NO. 6 CRUSHED STONE PLACED FOR A DEPTH OF AT LEAST 12" BEHIND THE WALL. A FILTER FABRIC SHALL BE PLACED OVER THE CUT OR FILL FACE BEHIND THE WALL TO PREVENT THE MIGRATION OF SOIL INTO THE DRAINAGE MATERIAL.
  - 3.2. THE 4" DIA. PERFORATED HOPE WALL DRAIN SHALL OUTLET THROUGH THE WALL FACE AND AT THE END OF THE WALL. REFER TO THE WALL FACE DRAWINGS FOR OUTLET LOCATIONS.
  - 3.3. PLACE A FILTER FABRIC (MIRAFI 140N, OR EQUAL) OVER THE DRAINAGE MATERIAL TO MINIMIZE SOIL MIGRATION FROM THE SURFACE MATERIAL (TOPSOIL) INTO THE DRAINAGE MATERIAL.
4. BACKFILLING & COMPACTION:
  - 4.1. BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED.
  - 4.2. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OWNER'S SITE REPRESENTATIVE.
  - 4.3. COMPACTION SHALL BE TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
  - 4.4. RECOMMENDED COMPACTION EQUIPMENT WITHIN 15 FEET OF THE BACK OF THE WALL IS AS FOLLOWS:
    - 0 - 4 FEET HAND TAMP OR VIBRATORY PLATE COMPACTOR
    - 4 - 15 FEET NOTHING LARGER THAN TWO-DRUM, WALK-BEHIND VIBRATORY ROLLER (LARGER ROLLERS CAN BE USED STATICALLY, PROVIDED LIFT SIZE DOES NOT COMPROMISE ACHIEVEMENT OF NECESSARY COMPACTION RATES)
5. GENERAL WALL LAYOUT & CONSTRUCTION:
  - 5.1. FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD BY THE OWNER'S SITE REPRESENTATIVE.
  - 5.2. PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL AND AWAY FROM THE WALL DURING CONSTRUCTION. PERMANENT SWALES SHALL BE PITCHED TO THE WALL ENDS TO PROMOTE DRAINAGE OF SURFACE WATER RUNOFF. ALTERNATIVELY, THE SLOPE ABOVE THE WALL CAN BE GRADED TO ALLOW SURFACE WATER TO FLOW OVER THE WALL FACE. DO NOT ALLOW WATER TO POND AT THE TOP OF THE WALL.
  - 5.3. TURE, OR SOME ACCEPTABLE FORM OF SOIL EROSION PROTECTION, SHOULD BE ESTABLISHED AT THE TOP OF THE WALL (WHERE REQUIRED) BY THE LANDSCAPE CONTRACTOR AS SOON AS THE WALL IS COMPLETED.
  - 5.4. ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE PROPOSED/EXISTING GRADE IN A MANNER SATISFACTORY TO THE OWNER'S SITE REPRESENTATIVE. AT THE ENDS OF A WALL WHERE BLENDING TAKES PLACE, THE ISSUE IS NOT A STRUCTURAL FACTOR BUT AN AESTHETIC FACTOR AND THE OWNER'S SITE REPRESENTATIVE IS QUALIFIED TO MAKE THIS JUDGEMENT.
  - 5.5. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
  - 5.6. THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
  - 5.7. WALL CERTIFICATIONS: OCCASIONALLY A "SIGN OFF" BY THE DESIGN ENGINEER IS NEEDED AFTER COMPLETION OF WALL CONSTRUCTION. IF THIS SERVICE IS NEEDED ARRANGEMENTS MUST BE MADE WITH THE DESIGN ENGINEER PRIOR TO WALL CONSTRUCTION FOR A SERIES OF SITE VISITS TO OBSERVE WALL CONSTRUCTION, ACCEPTANCE LETTERS, SIGN OFFS, CERTIFICATIONS, WARRANTIES, ETC. WILL NOT BE PROVIDED WITHOUT FEMDUC SITE VISITS.

*IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET*



**ERIC MERLUZZI, P.E.**

164 ROWENTOWN ROAD, WENTWORTH, NH 03282

PHONE: (603) 786-2751 E-MAIL: em35@erthinc.net

CLIENT: REDI-ROCK WALLS OF NEW ENGLAND

PROJECT: ALLEN HOUSE HAIR SALON

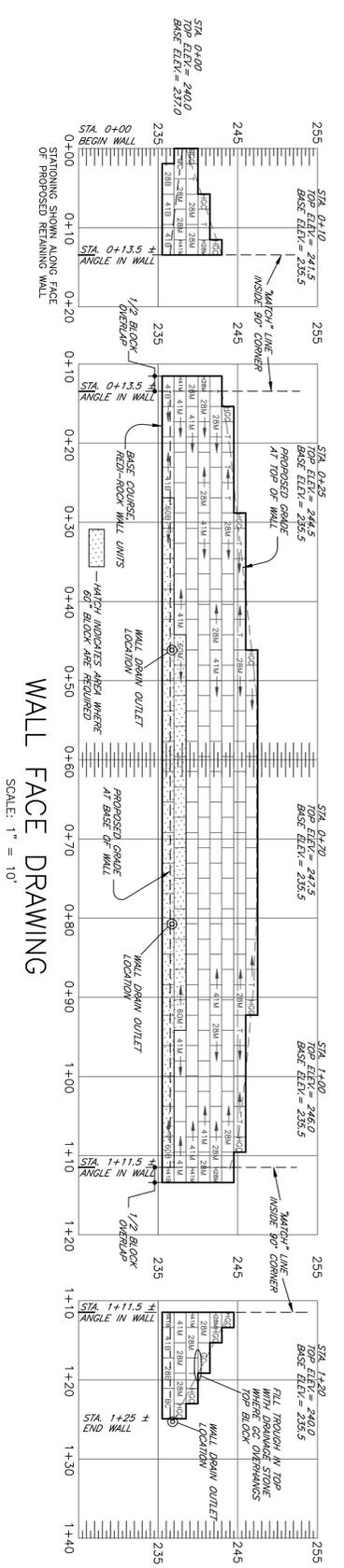
8 REEDS MILL ROAD, NEWPORT, NH 03273

274 FALCOTTVILLE ROAD, VERNON, CT

SHEET TITLE: RETAINING WALL DESIGN SHEET 1

DATE: AUGUST 26, 2020 SCALE: AS SHOWN PROJECT NO.: 2020-231

NOTE: THIS DRAWING WAS PREPARED FOR USE WITH REDI-ROCK (TM) RETAINING WALL SYSTEMS. CONTACT REDI-ROCK WALLS OF NEW ENGLAND AT (603) 863-1000.

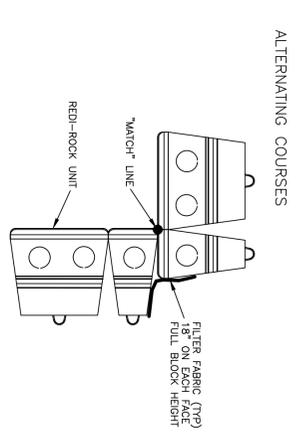
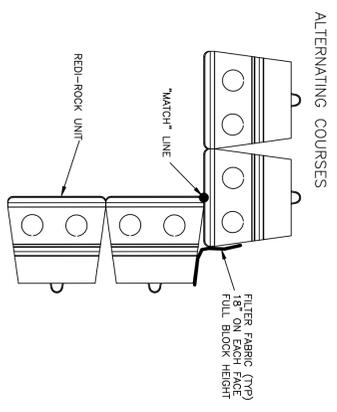


**WALL FACE DRAWING**  
SCALE: 1" = 10'

**BLOCK LEGEND & QUANTITIES**

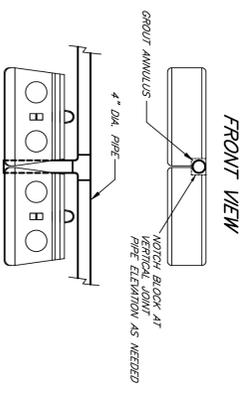
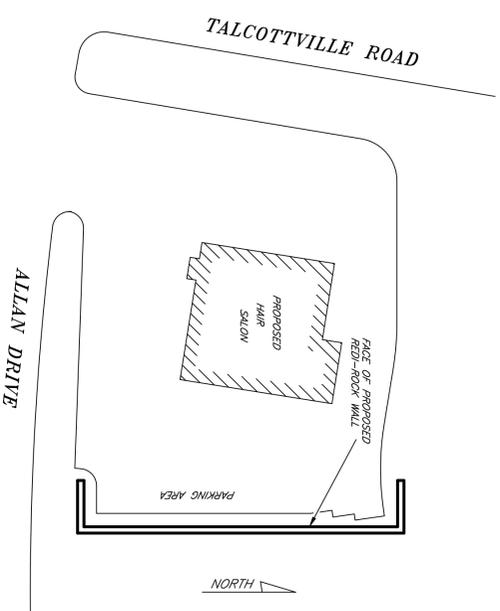
HGC	HALF GARDEN CORNER BLOCK	12
GC	GARDEN CORNER BLOCK	1
T	TOP BLOCK	27
MC	MIDDLE CORNER BLOCK	1
BC	BOTTOM CORNER BLOCK	1
H2BM	BOTTOM MIDDLE BLOCK	4
2BM	MIDDLE BLOCK	60
28B	28" BOTTOM BLOCK	2
H41M	41" MIDDLE BLOCK	4
41M	41" MIDDLE BLOCK	72
H41B	41" BOTTOM BLOCK	2
41B	41" BOTTOM BLOCK	7
60M	60" MIDDLE BLOCK	13
60B	60" BOTTOM BLOCK	22

NOTE: IF THE FIELD CONDITIONS INDICATE THE GRADE AT THE BASE AND/OR TOP OF THE WALL TO BE DIFFERENT FROM THAT SHOWN ON THESE PLANS, THE DESIGN ENGINEER SHALL BE CONTACTED TO VERIFY CHANGES TO THE WALL BASE COURSE AND/OR TOP OF WALL ELEVATION. THE GRADES SHOWN ON THIS PLAN ARE BASED ON THE GRADING PLAN (SHEET 3 OF 8) PREPARED BY MESSIER SURVEYING, LLC, REVISION #2, DATED 7/12/20.



REFER TO THE WALL FACE DRAWING FOR EXACT BLOCK TYPE & PLACEMENT

**INSIDE CORNER — NON INTERLOCKING**  
NOT-TO-SCALE



**IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET**



**ERIC MERLUZZI, P.E.**

184 ROWENTOWN ROAD, WENTWORTH, NH 03282  
PHONE: (603) 786-9751 E-MAIL: em35@earthlink.net

CLIENT: **REDI-ROCK WALLS OF NEW ENGLAND**  
8 REEDS MILL ROAD, NEWPORT, NH 03273

PROJECT: **AILEN HOUSE HAIR SALON**  
274 TALCOTTVILLE ROAD, VERMON, CT

SHEET TITLE: **RETAINING WALL DESIGN SHEET 2**

DATE: **AUGUST 26, 2020** SCALE: **AS SHOWN** PROJECT No.: **2020-231**

NOTE: THIS DRAWING WAS PREPARED FOR USE WITH RED-ROCK (TM) RETAINING WALL SYSTEMS. CONTACT RED-ROCK WALLS OF NEW ENGLAND AT (603) 863-1000.

SEE NOTES



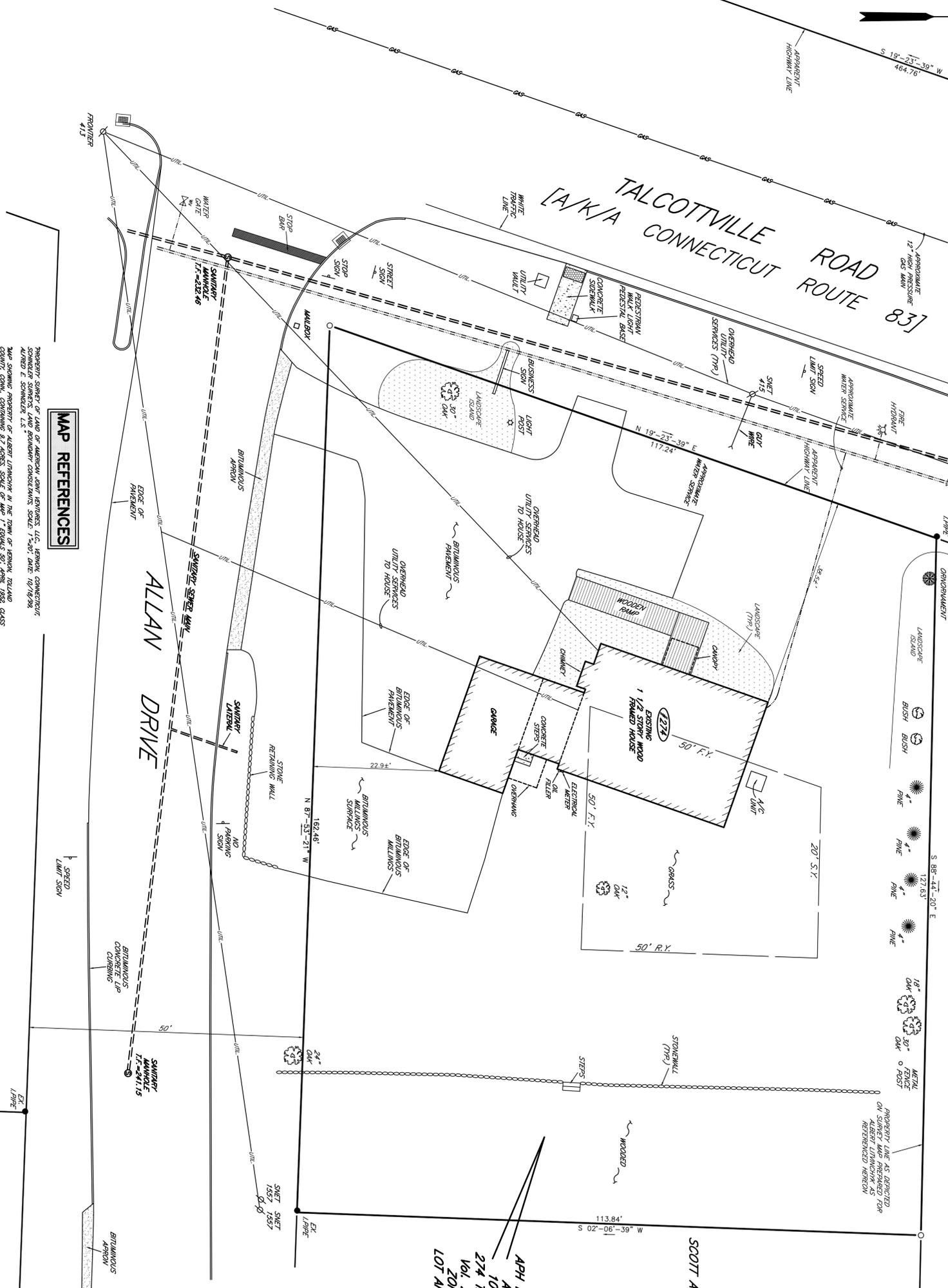
S 19°-23'-30" W  
464.76'

TALCOTTVILLE ROAD  
[A/K/A CONNECTICUT ROUTE 83]

N/A  
280 TALCOTTVILLE ROAD LLC  
ASSESSORS ID:  
10-015K-00304  
280 TALCOTTVILLE ROAD  
VOL. 1310 / Pg. 237  
ZONE: COMMERCIAL

N/A  
SCOTT A. & DOROTHY M. TEDESCHI  
ASSESSORS ID:  
10-05K-00022  
15 ALLEN DRIVE  
VOL. 457 / Pg. 16  
ZONE: R-27

N/A  
APR HAIR STYLIST, LLC  
ASSESSORS ID:  
10-015K-00028  
274 TALCOTTVILLE ROAD  
VOL. 2636 / Pg. 273  
ZONE: COMMERCIAL  
LOT AREA = 16,358.4 S.F.  
0.37556 AC.



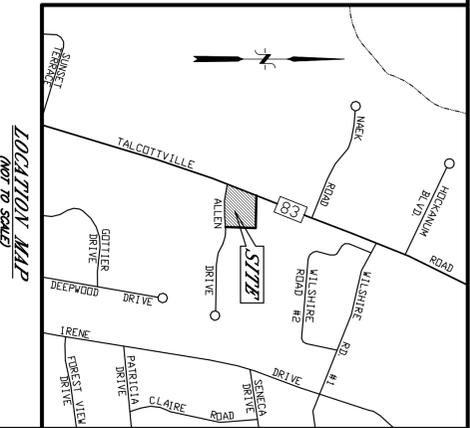
MAP REFERENCES

PROPERTY SURVEY OF LAND OF AMERICAN DIRT HENRIGES, LLC, HENRIK, CONNECTICUT, SCHWELER SURVEYS LAND BOUNDARY CONSULTANTS SCALE 1"=20' DATE 10/18/98.  
MAP SHOWING PROPERTY OF ALBERT LITVINCHUK IN THE TOWN OF HENRIK, TOLLAND COUNTY, CT, COMPANYS RECORDS, SCALE OF MAP 1"=EQUALS 20' DATE 1992, CLASS 2-4, SHEET 5 OF 10, REVISION 12/94.  
TALCOTTVILLE ROAD, SHEET 1 OF 2, PROJECT 4212604, 28/28, DATE 5/19/13, SCALE 1"=EQUALS 20' DATE 12/12/13.  
TALCOTTVILLE ROAD, SHEET 1 OF 2, PROJECT 4212604, 28/28, DATE 5/19/13, SCALE 1"=EQUALS 20' DATE 12/12/13.  
TALCOTTVILLE ROAD, SHEET 1 OF 2, PROJECT 4212604, 28/28, DATE 5/19/13, SCALE 1"=EQUALS 20' DATE 12/12/13.  
TALCOTTVILLE ROAD, SHEET 1 OF 2, PROJECT 4212604, 28/28, DATE 5/19/13, SCALE 1"=EQUALS 20' DATE 12/12/13.

811 logo and text: Know what's below. Call before you dig. For more information visit www.811.com.

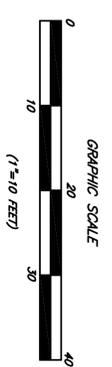
- LEGEND: EXISTING IRON PIN, PROPERTY CORNER, EXISTING BRICKSTONE WALL, UTILITY POLE, TREES.

Table with 2 columns: REV, DATE, DESCRIPTION. Includes 'ZONE: COMMERCIAL'.



GENERAL NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-209a-1 THROUGH 20-209a-30 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES... THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON PHYSICAL EVIDENCE OBTAINED IN THE FIELD AND AVAILABLE RECORDS... THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON PHYSICAL EVIDENCE OBTAINED IN THE FIELD AND AVAILABLE RECORDS...



MESSIER SURVEY LLC LAND SURVEYORS 61 SCHOOL BROOK LANE VERNON, CT (860) 646-6013 WWW.MESSIERSURVEY.COM

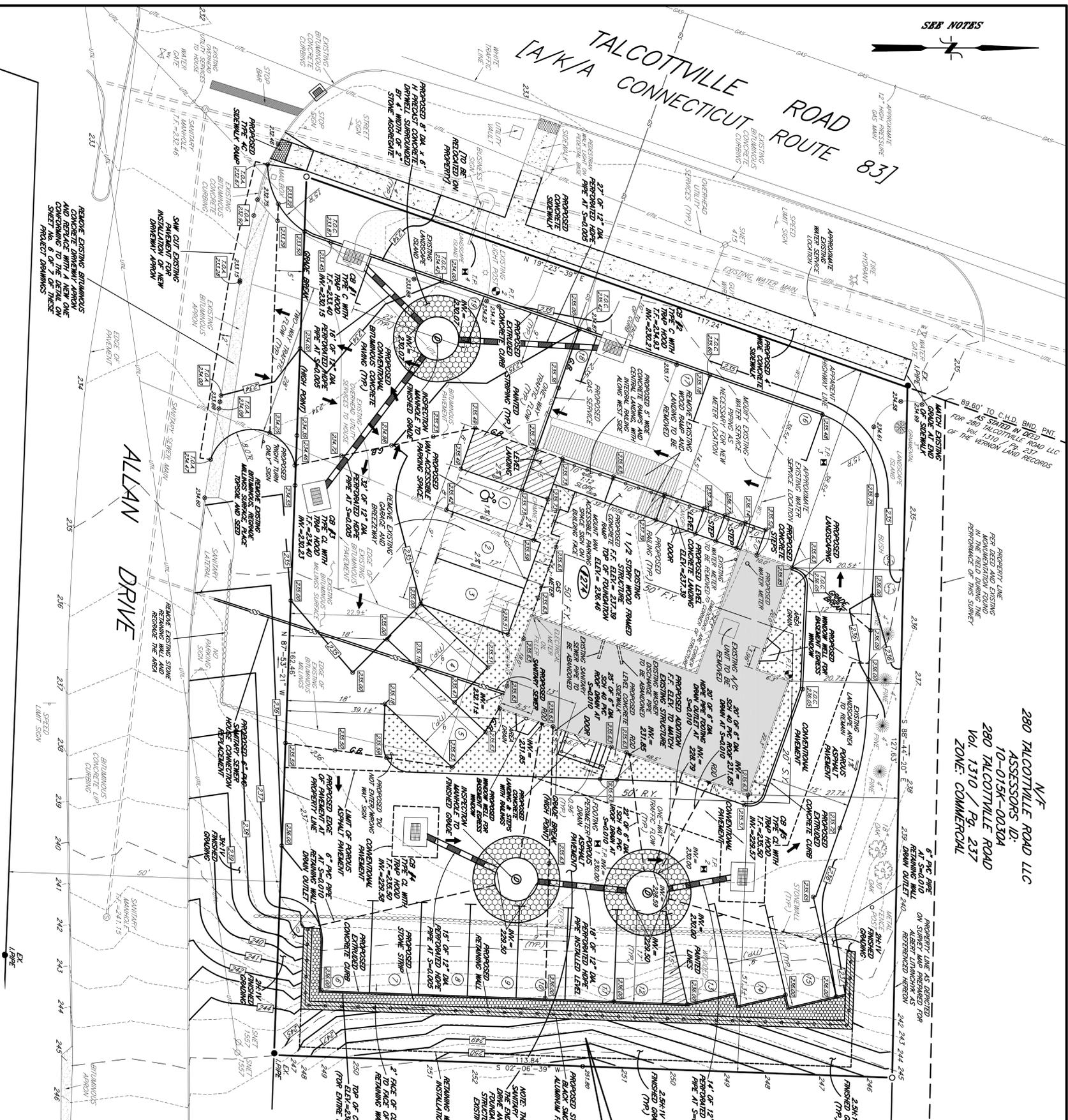
PREPARED FOR: ALLEN HOUSE 274 TALCOTTVILLE ROAD N/A/A CONNECTICUT ROUTE 83 VERNON, CONNECTICUT

PROPERTY SURVEY PROJECT No. 2020-01 DAVID A. SKILPER L.S. #20278





# TALCOTVILLE ROAD [AK/A CONNECTICUT ROUTE 83]



N/E  
280 TALCOTVILLE ROAD LLC  
ASSESSORS ID:  
10-015K-00304  
280 TALCOTVILLE ROAD  
Vol. 1310 / Pg. 237  
ZONE: COMMERCIAL

N/E  
APR HAR STYLST, LLC  
ASSESSORS ID:  
10-015K-00028  
274 TALCOTVILLE ROAD  
Vol. 2636 / Pg. 273  
ZONE: COMMERCIAL  
0.3755E AC.

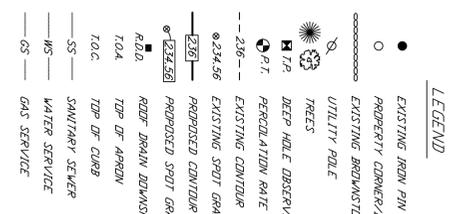
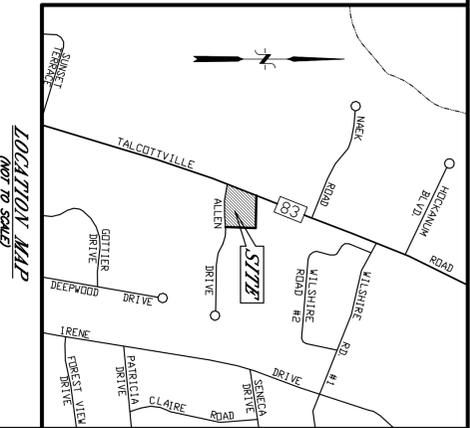
N/E  
SCOTT A. & DOROTHY M. TEDESCHI  
ASSESSORS ID:  
10-05K-00027  
15 ALLEN DRIVE  
Vol. 457 / Pg. 16  
ZONE: R-27

**PARKING REQUIREMENTS DETERMINATION**

Proposed use and floor area of expanded structure on the property:

(1) Foyer	123.8 s.f.
(2) Waiting Pool 1	16.4 s.f.
(3) Waiting Pool 2	16.4 s.f.
(4) Suite 1	125.2 s.f.
(5) Suite 2	121.5 s.f.
(6) Suite 3	130.8 s.f.
(7) Suite 4	130.8 s.f.
(8) Suite 5	121.5 s.f.
(9) Suite 6	121.5 s.f.
(10) Suite 7	121.5 s.f.
(11) Suite 8	121.5 s.f.
(12) Hallway 1	158.7 s.f.
(13) Hallway 2	158.0 s.f.
(14) Bathroom 1	63.5 s.f.
(15) Bathroom 2	41.7 s.f.
(16) Break Room/Utility Room	118.9 s.f.
(17) Closets	9.8 s.f.
(18) Stairs	40.0 s.f.
(19) Unfinished Basement	1,755.4 s.f.

Floor area for purposes of required parking space computation per Section 12.13.12 of the Town of Vernon Zoning Regulations = Sum of Areas (1) - (13) = 1473.5 s.f.  
 Parking spaces required per Section 12.1.17 of the Town of Vernon Zoning Regulations = 1 parking space per 250 s.f. of floor area = 1473.5/250 = 6 spaces  
 Parking spaces proposed = 19



**SOIL MAPPING UNIT LEGEND**

SYMBOL	DESCRIPTION
704 B	Entirely silty loam
TYPICAL SOIL LIMIT CHARACTERISTICS	
PROF. 0'-25" - SILTY LOAM	
PROF. 25'-60" - STRIPPED VERY GRAVELLY COARSE SAND TO LOAMY SAND	

WELL DRAINED  
 LOW RIVERT  
 MODERATELY HIGH TO HIGH WATER TRANSMISSIVITY  
 0.57 TO 1.98 INCHES/HOUR  
 DEPTH TO WATER TABLE GREATER THAN 80"  
 HYDRAULIC SOIL GROUPING CLASS B  
 SOURCE: SOIL MAP - STATE OF CONNECTICUT WEB SOIL SURVEY, NATIONAL COOPERATIVE SOIL SERVICE, USDA NATURAL RESOURCES CONSERVATION SERVICE

**MESSIER SURVEY LLC**  
 LAND SURVEYORS  
 61 SCHOOL BROOK LANE  
 VERNON, CT (860) 646-6013  
 WWW.MESSIERSURVEY.COM

**PROPOSED GRADING PLAN**

PREPARED FOR:  
 ALLEN HOUSE  
 274 TALCOTVILLE ROAD  
 N/A/A CONNECTICUT ROUTE 83  
 VERNON, CONNECTICUT

DATE: 08/20/2020  
 SCALE: 1"=10 FT.  
 DRAWN: DMS  
 CHECK: J OF B  
 SHEET 3 OF 8  
 PROJECT No. 2020-01

RAYMOND F. NELSON, JR., P.E.  
 CIVIL ENGINEER  
 P.O. BOX 173  
 VERNON ROCKVILLE, CT 06066-0173  
 rfnelsonjr@gmail.com

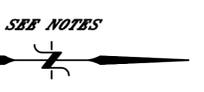
Know what's below  
 Call before you dig  
 For more information visit www.ct.gov/811

REMOVE EXISTING BRIMWOODS AND BRIMWOODS NEWLY AND CONFORMING TO THE DETAIL ON SHEET NO. 6 OF 7 OF THESE PROJECT DRAWINGS

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS SHOWN AND I BELIEVE THE MAP HAS BEEN PREPARED PURSUANT TO THE REQUIREMENTS OF THE CONNECITUT STATE SURVEYING ACT AND THE STATE OF CONNECTICUT IS LICENSED BY THE CONNECITUT STATE SURVEYING BOARD. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE OF ACCURACY CLASS 1-2 AND TO PERSONNEL SUBJECT THE APPOINTMENT LOCATION SURVEY BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY

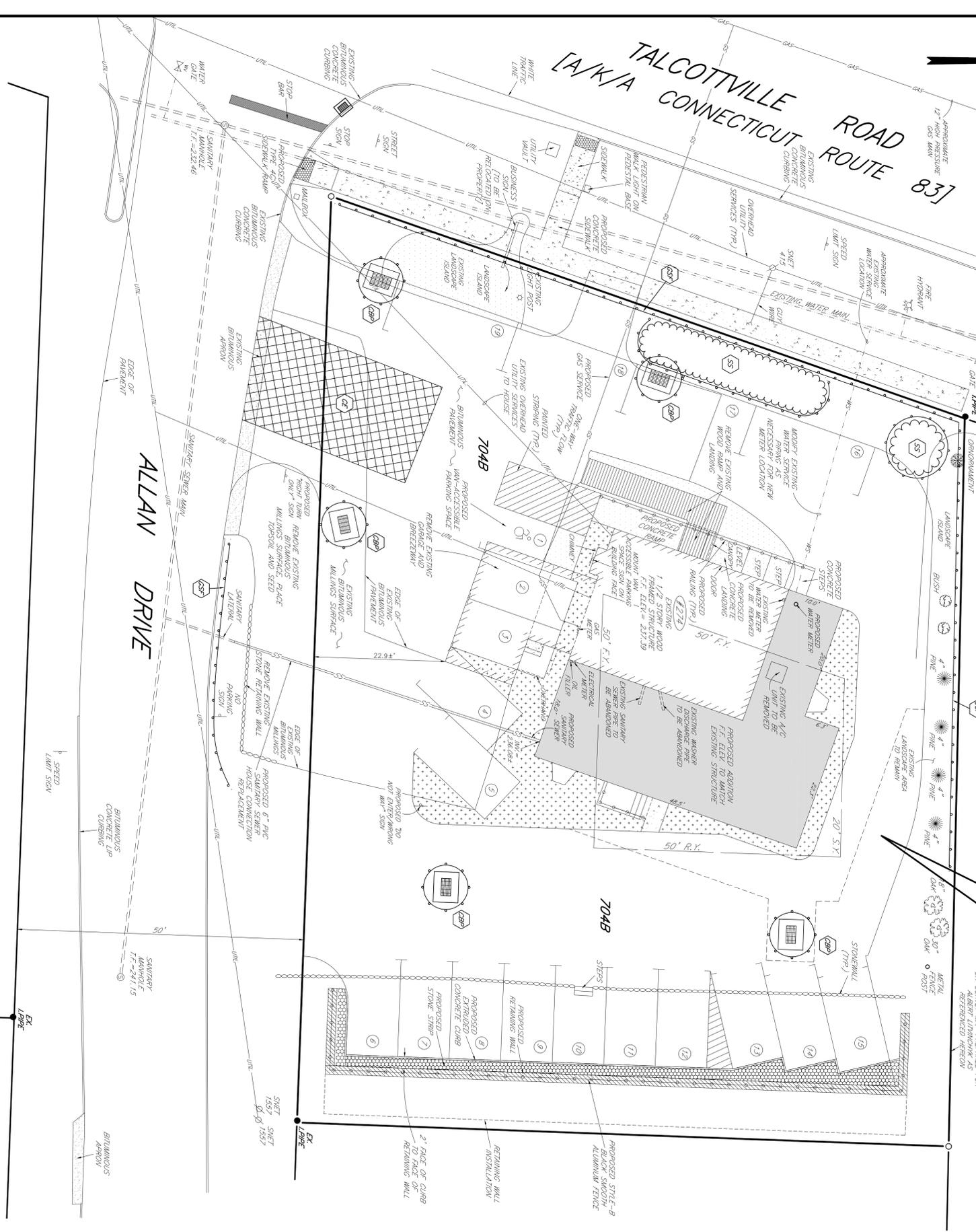
DATE: 08/20/2020  
 LICENSE NUMBER: 20208





N/E  
280 TALCOTTVILLE ROAD LLC  
ASSESSORS ID:  
10-015K-00304  
280 TALCOTTVILLE ROAD  
VOL. 1310 / Pg. 237  
ZONE: COMMERCIAL

N/E  
APH HARR STYLUST, LLC  
ASSESSORS ID:  
10-015K-00028  
274 TALCOTTVILLE ROAD  
VOL. 2636 / Pg. 273  
ZONE: COMMERCIAL  
LOT AREA = 16,368 S.F.  
0.37355 AC.



- EROSION AND SEDIMENT CONTROL NARRATIVE**
- The proposed work on this project site consists of removal of certain existing features, including... (text continues)
  - Construction on this site is expected to begin in the second half of 2020, with completion at a future date to be determined.
  - Prior to any construction activity occurring on this site, erosion and sediment control barriers shall be installed at the edge of the proposed disturbed area boundary to the limits as depicted on the project site development plan drawing and/or as described in the narrative herein, before any actual disturbance of the land occurs. All erosion and sediment control measures and construction practices shall be as... (text continues)
  - Following the installation of the initial prescribed erosion and sediment control measures, the sequence of these tasks may occur concurrently and/or in a different order than suggested, as appropriate for specific site conditions and/or efficient project management and coordination.)
  - Remove existing site features as necessary to perform the proposed work.
    - A. Remove existing site features as necessary to perform the proposed work.
    - B. Construct the stormwater management system (catch basins, connecting piping, subsurface retention/infiltration structures, etc.)
    - C. Commence site regrading and compaction in of driveways and parking areas
    - D. Construct retaining wall.
    - E. Commence construction of the building addition and other site infrastructure.
    - F. Excavate for and construct the foundation for the new structure addition, and backfill.
    - G. Construct the superstructure for the building addition and continue on with subsequent building construction activities.
    - H. Complete construction of the site utilities.
    - I. Finish grade and construct parking areas and driveways.
    - J. Perform landscaping.
    - K. Complete all necessary remaining permanent site restoration, including preparation, seeding and mulching of remaining permanent areas.
    - L. Remove all temporary erosion and sediment control measures after all permanently restored areas of the site are stable.
  - During the entire period of work on the site, vehicular access to and egress from the work area shall be by way of the construction entrance from Allen Drive.
  - Grading and/or other site work shall be done in a manner to allow drainage toward erosion prevention measures.
  - Grading and/or other site work shall be done in a manner to allow drainage toward erosion prevention measures.
  - As a condition of this permit, the applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures. The applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures. The applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures.

10. A daily designated individual representing the owner/developer, or the subsequent owner(s) (developer(s) of the project property, and/or the owner(s) designated agent(s)) shall be personally responsible for implementing this erosion and sediment control plan. The designated individual shall be responsible for the implementation and maintenance of control measures throughout the construction period, informing all parties engaged on the construction site of the requirements and objectives of the plan, monitoring the proper form application and official or any transfer of the responsibilities, and conveying a copy of the erosion and sediment control plan to the site to the land is transferred.

11. The applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures. The applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures. The applicant shall be responsible for the installation, maintenance, and repair of all erosion and sediment control measures.

**EROSION AND SEDIMENT CONTROL PLAN**

PREPARED FOR:  
ALLEN HOUSE  
274 TALCOTTVILLE ROAD  
VERNON, CONNECTICUT

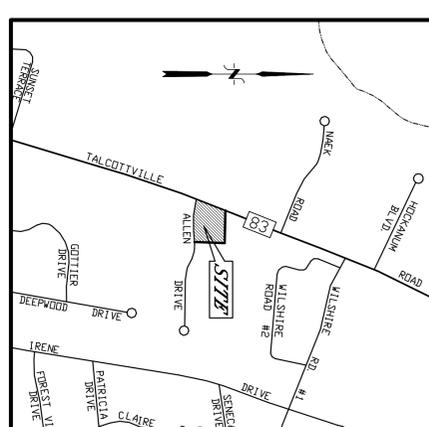
**MESSIER SURVEY LLC**  
LAND SURVEYORS  
61 SCHOOL BROOK LANE  
VERNON, CT (860) 646-6013  
WWW.MESSIERSURVEY.COM

**LEGEND**

- EXISTING IRON PIN
- PROPERTY CORNER/IRON PIN TO BE SET
- EXISTING BRIMSTONE WALL
- UTILITY POLE
- TREES

**GRAPHIC SCALE**

0 10 20 30 40  
(1" = 10 FEET)



**S&B NOTES**

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY ACCURATE AND CORRECT. I HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND THE SURROUNDING AREAS AND HAVE FOUND NO APPARENT ERRORS OR OMISSIONS. THIS MAP IS NOT A GUARANTEE OF ACCURACY AND SHOULD NOT BE USED FOR ANY PURPOSES OTHER THAN THAT INTENDED. I AM NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THIS MAP.

DATE: 08/20/2020  
DRAWN: DMS  
CHECK: DMS  
SHEET 5 OF 8  
PROJECT NO. 2020-01

**811**

Know what's below. CALL before you dig. Dial 811.

FOR MORE INFORMATION VISIT WWW.C811.COM

**TEMPORARY SOIL EROSION AND SEDIMENT CONTROL KEY**

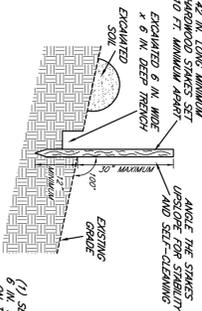
CBP	CATCH BASIN PROTECTION
CA	ANTI-TRACKING APRON
CS	STAKED GEOTEXTILE SILT FENCE SEDIMENT BARRIER
SS	SOIL STOCKPILE

RAYMOND F. NELSON, JR., P.E.  
CIVIL ENGINEER  
P.O. BOX 173  
VERNON ROCKVILLE, CT 06066-0173  
rfnelsonjr.pe@gmail.com

**ZONE: COMMERCIAL**

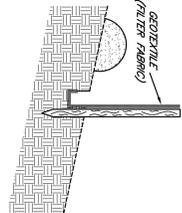
DATE: 08/20/2020  
SCALE: 1" = 10 FT.  
DRAWN: DMS  
CHECK: DMS  
SHEET 5 OF 8  
PROJECT NO. 2020-01

**INSTALLATION PROCEDURE**

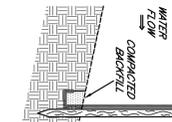


(1) SET STAKES AND EXCAVATE 6 IN. WIDE x 6 IN. DEEP TRENCH ON THE UPSLOPE SIDE OF THE STAKES. LOCATE THE CENTER OF THE STAKE ON THE UPSLOPE OF THE TRENCH.

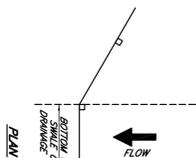
STAKES TO BE LOCATED AT BUILDING OR A SUITABLE POST AS APPLICABLE



(2) AFTER GEOTEXTILE (IF PERmitted) IS IN PLACE, STAKES SHOULD BE SPACED 4 FEET MAXIMUM FROM EACH OTHER AND ALIGNED WITH THE CENTERLINE OF THE DRIVEWAY OR PERPENDICULAR TO THE DRIVEWAY. THE STAKES SHOULD BE SPACED 10 FEET FROM THE EDGE OF THE DRIVEWAY.

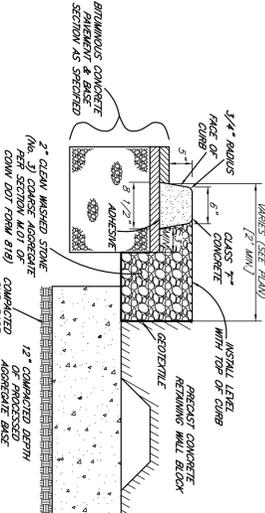


**TYPICAL INSTALLATION IN A SMALL OR DRAINAGE WAY**

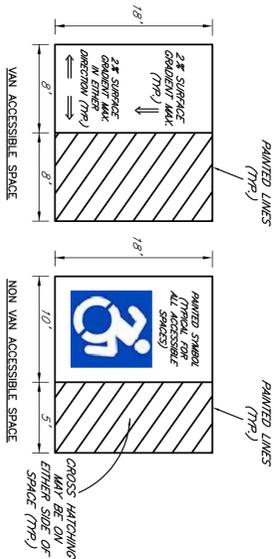


POINTS MUST BE HIGHER THAN POINT (2)

**GEOTEXTILE SILT FENCE SEGMENT BARRIER INSTALLATION**



**EXTRUDED CONCRETE CURB AND STONE STRIP INSTALLATION CROSS SECTION**



**ACCESSIBLE PARKING SPACE SIGN**

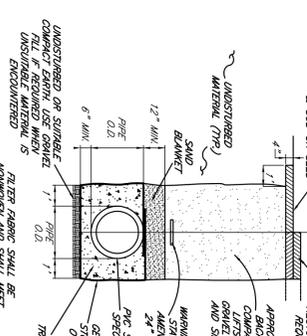
**ACCESSIBLE PARKING SPACE REQUIREMENTS**

TEST PIT NUMBER	SOIL PROFILE	DEPTH	WATER
1	TOPSOIL	0'-10"	
2	BROWN SILTY LOAM STONY (ROOTS TO TOP OF GRAVELLY LAYER)	10'-63"	
3	TOPSOIL	0'-5"	
4	TOPSOIL	0'-5"	

DEPTH	TEST PIT NUMBER	DEPTH	TEST PIT NUMBER
0'-10"	1	0'-5"	3
10'-63"	2	0'-5"	4

**DEEP HOLE OBSERVATION TEST PITS**

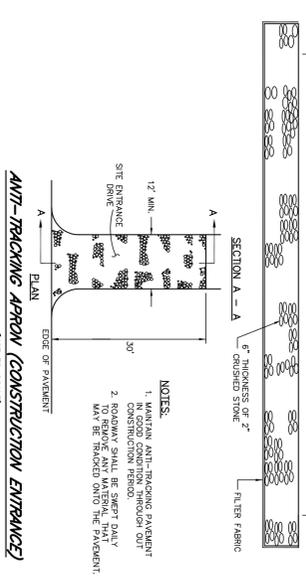
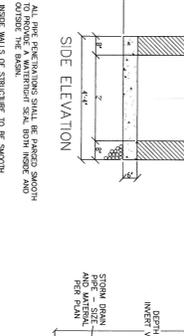
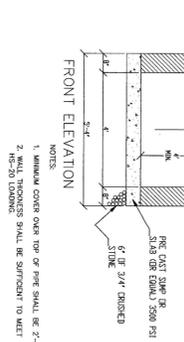
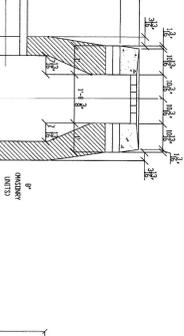
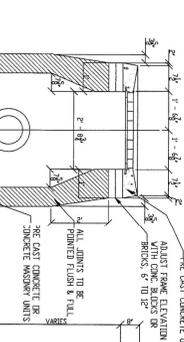
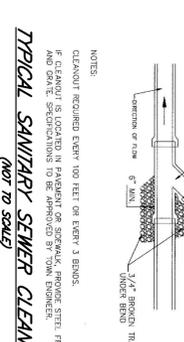
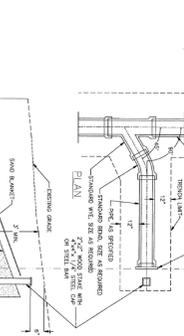
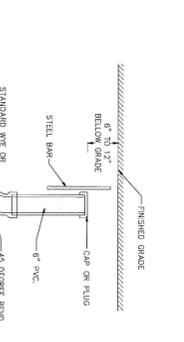
DEPTH	TEST PIT NUMBER	DEPTH	TEST PIT NUMBER
0'-10"	1	0'-5"	3
10'-63"	2	0'-5"	4



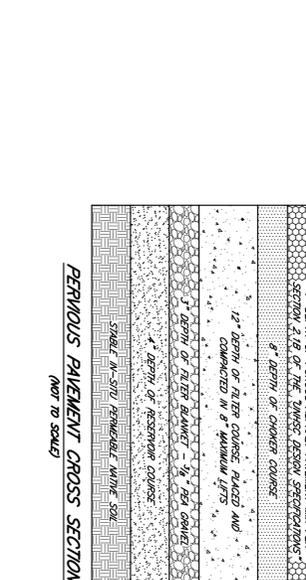
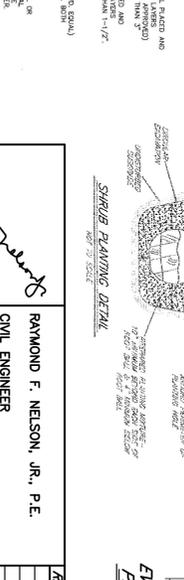
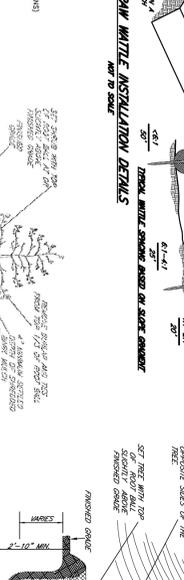
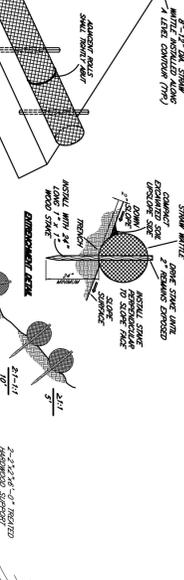
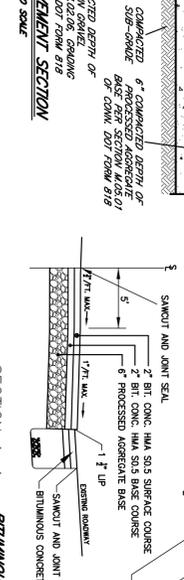
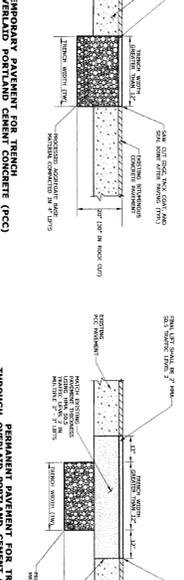
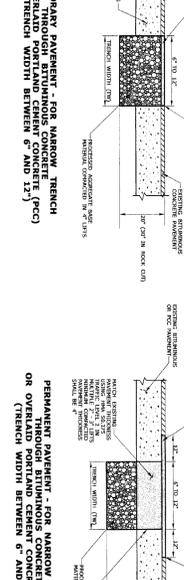
**TYPICAL SANITARY SEWER TRENCH SECTION**

**PERCOLATION RATE TESTS**

DEPTH	TEST PIT NUMBER	DEPTH	TEST PIT NUMBER
0'-10"	1	0'-5"	3
10'-63"	2	0'-5"	4

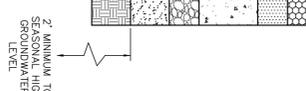
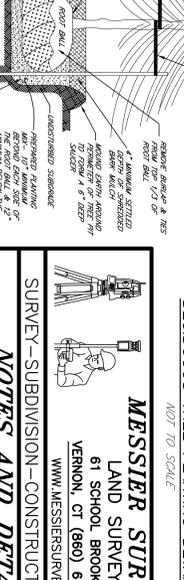
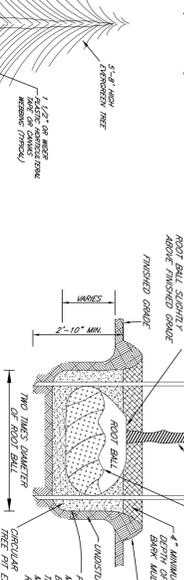
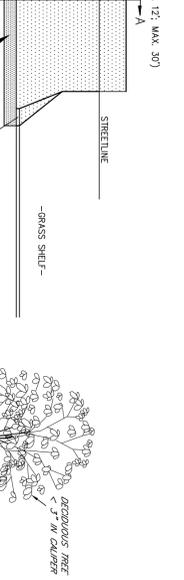
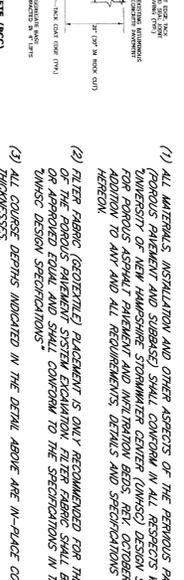


**ANTI-TRACKING APRON (CONSTRUCTION ENTRANCE)**



**POROUS PAVEMENT SUBBASE MATERIALS SPECIFICATIONS TABLE**

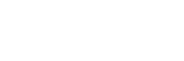
LAYER	APPLICABLE SPECIFICATION
CHOKER COURSE	ASHRD No. 57
FILTER COURSE	BAW RAIN GARDEN, PARING, B OF SECTION 402.05 OF CONN. DOT FORM 818
FILTER BLANKET	FEET TABLE 401.02-2, No. 8 OF CONN. DOT FORM 818
RESERVOIR COURSE	FEET TABLE 401.02-2, No. 3 OF CONN. DOT FORM 818 [EQUIVALENT TO ASHSD No. 3]



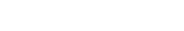
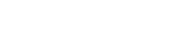
**DECIDUOUS TREE PLANTING DETAIL**



**STORM DRAIN TRENCH DETAIL**



**STORM DRAIN TRENCH DETAIL**



**STORM DRAIN TRENCH DETAIL**







**TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)**

**APPLICATION**

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. Provide all the information requested.

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

*The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.*

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

**I. APPLICANT:**

Name: Steven LaMesa, Jerry Fornarelli

Title: \_\_\_\_\_

Company: CT Golf Land, LLC

Address: 95 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-749-4434 Fax: \_\_\_\_\_

E-mail: mgcdev1@aol.com

**II. PROPERTY OWNER (S):**

Name:  \_\_\_\_\_  
*PETER KRAUSE*

Title: PNLS \_\_\_\_\_

Company: Sub Peak of Connecticut, Inc.

Address: 14 Hartford Turnpike

Vernon, CT 06066

Telephone: 860-205-1440 Fax: 860-646-4895

E-mail: pkrause7681@gmail.com

III. PROPERTY

Address: 95 Hartford Turnpike

Assessor's ID Code: Map # 1 Block # 158 Lot/Parcel # 95

Land Record Reference to Deed Description: Volume: 2367 Page 10

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

No Yes

No work will be done in regulated area
Work will be done in the regulated area

IWC application has been submitted
IWC application has not been submitted

Zoning District Commercial

Is this property located within five hundred (500) feet of a municipal boundary?

No
Yes

- Bolton
Coventry
Ellington
Manchester
South Windsor
Tolland

Check if Historic Status Applies:

- Located in historic district:
Rockville
Talcottville
Individual historic property

#### IV. PROJECT

Project Name: CT Golf Land

Project Contact Person:

Name: Mark Peterson

Title: \_\_\_\_\_

Company: Gardner & Peterson Assoc., LLC

Address: 178 Hartford Turnpike  
Tolland, CT 06084

Telephone: 860-871-0808 Fax: \_\_\_\_\_

E-mail: mpeterson@gardnerpeterson.com

## V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: To continue and upgrade operations of an existing business.

General Activities: Family Fun Center which includes new arcade building, outdoor recreation area, food and beverage service, go kart track, batting cage, bumper boat pond, ice cream stand, other outdoor family activities.

## VI. APPROVAL (S) REQUESTED

### Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6.8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

### Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

### Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
  
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
  
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103; 17.1)
  
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

Other Special Permit(s). Cite ZR Section and describe activity:

Section 5.7.2 5.7.5

---

---

Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

---

---

---

---

**Zoning:**

Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

*See Zoning Regulations Section 22 for application fee schedules.*

Dealer or Repairer License (location approval for DMV)

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

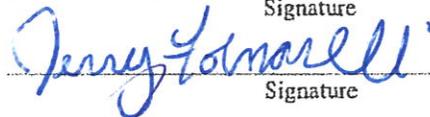
Property Owner, Applicant, or Applicant's Agent:

 Steven LaMesa

Signature

8/21/2020

Date

 Jerry Tomarelli

Signature

8/21/2020

Date

  
PLURAL KNAUSE  
OWNER

8/21/2020

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted \_\_\_\_\_

Date Application Received by Commission \_\_\_\_\_

PZC File: \_\_\_\_\_

Record and Return to:  
Attorney James Martin  
Robinson Donovan, P.C.  
1500 Main Street-Suite 1600  
PO Box 15609  
Springfield, MA 01115-5609

QUIT-CLAIM DEED

KNOW ALL YE BY THESE PRESENTS THAT TALCOTTVILLE DEVELOPMENT COMPANY, LLC, a Connecticut limited liability company having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut acting herein by Solomon Kerensky its managing member (hereinafter "Grantor")

for One Dollar (\$1.00) and other valuable consideration paid, grants to

**SUB Peak of Connecticut, Inc**, a Connecticut corporation having its principal place of business in the Town of Vernon, County of Tolland and State of Connecticut (hereinafter, "Grantee")

with QUIT-CLAIM COVENANTS,

All that certain piece or parcel of land situated in the Town of Vernon, County of Tolland the State of Connecticut, being designated as LOT #6 on a map entitled RESUBDIVISION PLAN TALCOTTVILLE DEVELOPMENT COMPANY, LLC LOT #6 & #7 #57, #95 AND #163 HARTFORD TURNPIKE VERNON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE, TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS BY B.D.C SCALE 1" = 40' DATE 2-7-2014 SHEET 1 and 2 OF 4 MAP NO. 8926-RESUB REVISIONS 3-26-2014, revised as to page 2 on 9-12-14 (ADD MISSING BEARINGS & DISTANCES AT SOUTHERLY CORNER OF LOT 6 – TOWN CLERK MAP #5821 FILED ON 5-5-14) (sometimes referred to as the 'Premises' or 'Property') Town Clerk Map # 5919 Filed on 9-30-14.

Said premises are more particularly bounded and described as set forth in **Schedule A** attached hereto and made a part hereof.

This parcel is known as **95 Hartford Turnpike, Vernon, Connecticut**

SAID PREMISES ARE SUBJECT TO: (1) Any and all provisions of any ordinance, municipal regulation or public or private law; (2) Taxes in favor of the Town of Vernon on the Grand List of October 1, 2013, and subsequent lists thereafter, which taxes the Grantee herein assumes and agrees to pay; (3) previously granted exclusive use restrictions, (4) Riparian rights in and to the Hockanum and Tankerhoosen Rivers.

SAID PREMISES ARE CONVEYED SUBJECT TO AND TOGETHER WITH such easements, covenants, restrictions and agreements as of record may appear as are shown on the

CONVEYANCE TAX RECEIVED  
STATE \$ 10937.50  
TOWN \$ 2187.50  
Bernice K. Dixon  
TOWN CLERK OF VERNON

covenants, restrictions and agreements as of record may appear or as are shown on the aforesaid maps including, but not limited to easements for drainage, sanitary sewers, water mains, and signage.

**DRIVEWAY EASEMENT.** Lot #6 is conveyed together with a non-exclusive easement to use that portion of the Access and Utility Easement running from Route 83 to the Hockanum River described in the Driveway and Utility Easement Declaration dated June 20, 2006 and recorded in Volume 1840 at Page 140 of the Vernon Land Records. This grant of easement is subject to a covenant that the Grantee, its successors and assigns, shall contribute 'pro rata' to the expense of maintaining, repairing or replacing that portion of the driveway and easement area. At the time of this conveyance, the parcels utilizing the Driveway include Lot #6 being conveyed herein, The Courthouse One/Big Sky building lot located at 47 Hartford Turnpike, Vernon, CT, the Riverview Associates office building lot located at 49 Hartford Turnpike, Vernon, CT, the Juris Limited building lot located at 45 Hartford Turnpike, Vernon, CT, the Hotel and Restaurant building Lot #5 located at 51 Hartford Turnpike, Vernon, CT, and the Healthwise building Lot #7 located at 57 Hartford Turnpike, Vernon, CT, and the Colonial Corners parcel located at 27 Hartford Turnpike, Vernon, CT..

**UTILITY EASEMENT.** The Grantor, for itself, and for the benefit of all existing or future lot owners within the commercial complex, reserves a non-exclusive underground easement within a strip of land 10 feet in width within Lot #6 and lying adjacent to, and parallel to, the easterly boundary of the Access and Utility Easement referred to in the foregoing paragraph. This easement is to install, maintain, upgrade, repair or replace such utilities as may, from time to time, service parcels within the commercial complex. Grantee may relocate any such utility easement(s) that interferes with Grantee's development plans. Any such relocation shall be at Grantee's sole expense, done in accordance with accepted engineering standards and subject to approval by the affected utility company or governmental entity.

Said premises are subject to an easement for the Quality Inn sign (now Motel 6) as shown on the aforesaid maps and described in a Correcting Quit Claim Deed dated July 24, 2007 and recorded at Volume 1946 at Page 228 of the Vernon Land Records.

A second non-exclusive sign easement is reserved by the Grantor, its successors and assigns, for access to, and use of, a portion of a pylon sign shown on the aforesaid maps as "Sign Easement" situated adjacent to Route 83 at the main driveway entrance to the commercial complex and northwesterly of the Quality Inn (now Motel 6) sign. This pylon sign will become the property of the Grantee. The use of the sign will be shared between the Grantor and the Grantee.

The Grantee will have the use of that portion of the pylon sign presently containing theater style movable letters. The Grantor will have that remaining portion presently containing six display signs. The Grantee shall have the right to redesign or even replace the entire sign in its present location at Grantee's expense provided that the

relative square foot percentage ratio of use by the parties is maintained and the right of then current owners/tenants of the commercial complex is preserved. Grantor, or its assignee(s), reserves the right to approve any redesign of its portion which approval shall not be unreasonably withheld, delayed or conditioned. The cost of routine maintenance and utilities for this sign will be shared in the same percentage as the relative percentage use.

A non-exclusive easement is granted to the Grantee for use (fishing, nature viewing, maintenance etc) of the length (approx. 35 feet) of the pedestrian bridge leading to Lot # 7 shown as "Existing Bridge" at the northeast corner of said premises. The Grantee agrees to pay one half the expense of maintaining this bridge. This easement shall lapse at such time as a single owner owns the property on both sides of the bridge.

All of the easements, covenants, restrictions and agreements shall benefit and or burden the parties hereto, their successors and assigns and run with the land.

Lot #6 being a portion of the premises conveyed to the Grantor by deed dated April 30, 1974 and recorded in Volume 246, Page 284 of the Vernon Land Records.

[SIGNATURE PAGE FOLLOWS]



Schedule A

Said premises are more particularly described as follows: Commencing at a point at the southerly most corner of the Premises herein described which point is at the intersection of Conn. Route 83 aka Hartford Turnpike and the Access and Utility Easement on Lot #5 as shown on said map; thence, from said point and place of beginning along the easterly line of said Access and Utility Easement the following courses and distances: N 43° 01' 25" W a distance of 81.51' to a point; then N 31° 12' 35" W a distance of 75.00' to a point; thence along a curve to the right having a R = 560.00' a distance of 103.44' to a point; thence N 20° 37' 35" W a distance of 19.73' to a point; thence along a curve to the right having a R= 560.00' a distance of 118.92' to a point; thence N 08° 27' 35" W a distance of 98.41' to a point; thence N 12° 01' 46" W a distance of 91.00' to a point; Thence along Lot #5 and Lot # 7 as shown on said map the following courses and distances: N 23° 41' 22" E a distance of 120.33' to a point; thence N 34° 55' 24" E a distance of 107.10' to a point; thence N 76° 06' 36" E a distance of 56.61' to a point; thence N 51° 32' 45" E a distance of 35.95' to a point; thence N 39° 15' 45" E a distance of 86.15' to a point; thence N 76° 00' 26" E a distance of 346.00' to a point; thence N 57° 19' 59" E a distance of 120.00' to a point; thence S 83° 59' 50" E a distance of 101.13' to a point in the westerly line of Conn. Route 83; thence along Conn. Route 83 the following courses and distances: S 25° 02' 07" W a distance of 689.86' to a point; thence along a curve to the right having a R= 1000.00' a distance of 159.93' to a point; thence N 52° 59' 07" W a distance of 112.61' to a point; thence S 38° 00' 17" W a distance of 80.00' to a point; thence S 52° 59' 07" E a distance of 114.72' to a point; thence along a curve to the right having a R= 1000.00' a distance of 192.95' to a point; thence S 86° 48' 52" W a distance of 12.15' to a point; thence along a curve to the right having a R= 1136.80' a distance of 12.57' to the point or place of beginning.

L:\TATL\COTTVILLE DEVELOPMENT CO #46002\Sale Of Golfland To Krause 2014 #46002-096\QC Deed 2014-10-1.Doc

RECORDED IN  
VERNON LAND RECORDS  
Bernice K. Dixon  
VERNON TOWN CLERK  
ON Oct 02, 2014 AT 12:55P





# GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.  
ERIC R. PETERSON, P.E., L.S.  
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808

info@GardnerPeterson.com  
www.GardnerPeterson.com

September 1, 2020

## 95 Hartford Turnpike Project Narrative

The applicant, CT Golf Land, LLC, is requesting approvals to redevelop the former Connecticut Golf Land site at 95 Hartford Turnpike that closed in 2014. The site contains 8.86 acres and is bounded by Hartford Turnpike to the east, an access drive to south, the Hockanum River to the west and the Tankerhoosen River to the north. The site has numerous existing improvements and is served by public utilities.

### **Proposed Development**

The applicant is proposing to demolish the existing game room building and rebuild on the existing footings along with a building expansion. This building will consist of gaming activities and food/beverage service. Other improvements consist of an ice cream stand south of the main building and a maintenance building to the west. No changes will be made to the Subway building or parking area.

### **Exterior Gaming Area**

The existing go-cart track and miniature golf course will be removed. A new exterior gaming area will be constructed in front of the building which will include games such as bocce ball, cornhole, volleyball and shuffleboard. This area will be surrounded by a 24' tall net with lights on the support posts.

### **Future Recreation Areas**

At this time the applicant is requesting approval of the improvements shown on the site plan. The site plan depicts the removal of the bumper boats and the go cart track and the applicant anticipates returning with another application for additional exterior activities at a later date.

### **Traffic Impact Statement/Parking**

There are two existing parking areas on site for the proposed gaming center. One is located off Hartford Turnpike and the other is located off the southerly

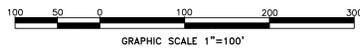
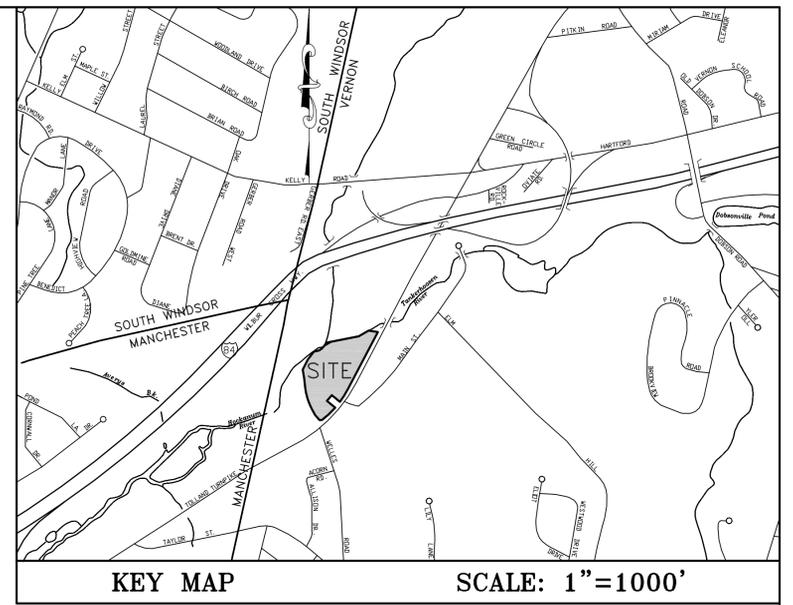
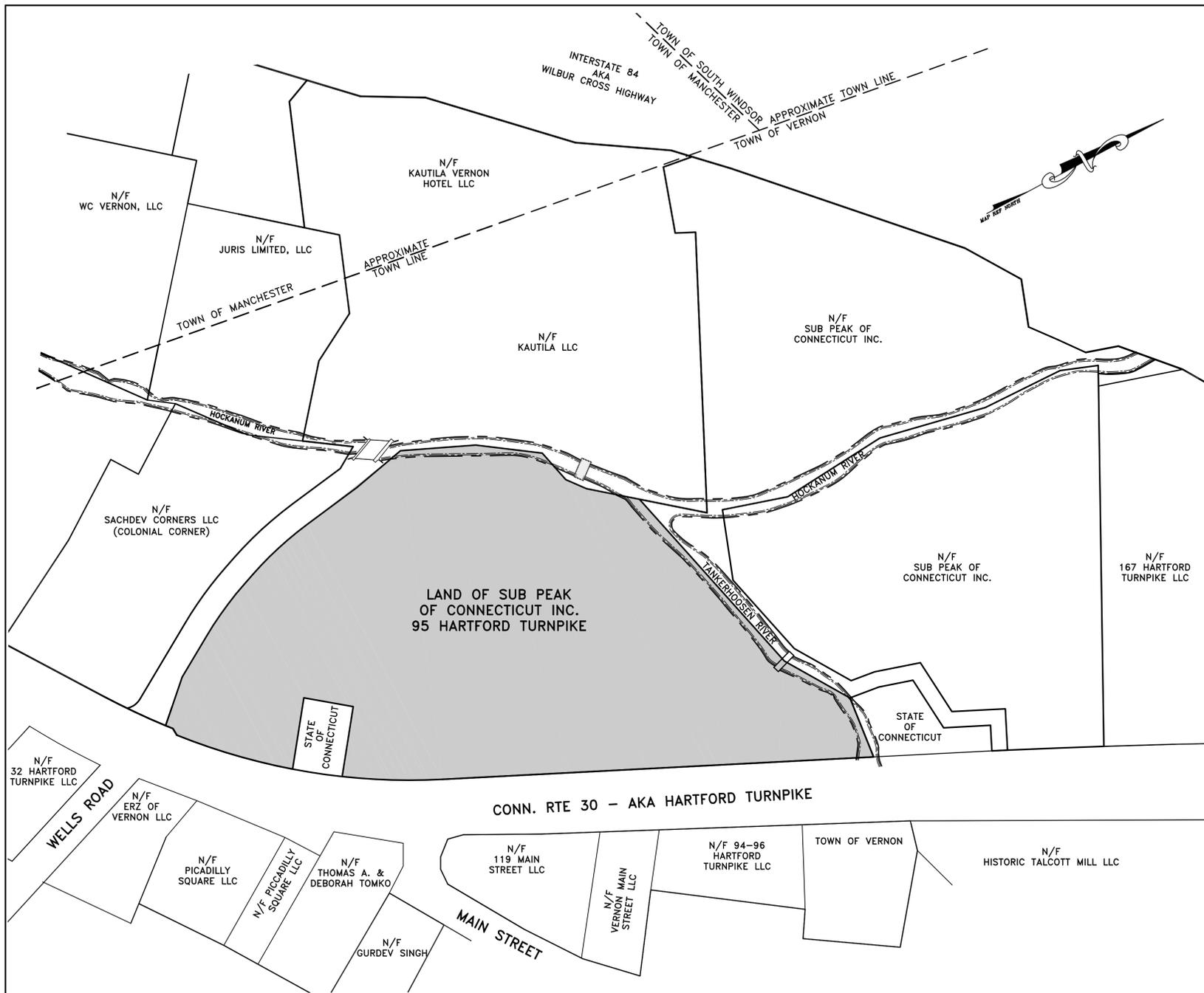
access drive. The existing curbs cuts will not change and the parking lots will be restriped to provide adequate handicap parking. A parking expansion is not proposed.

### **Stormwater Management**

The proposed Site Plan depicts the removal and construction of numerous impervious surfaces and an outline of the specific items are included on the Site Plan. The net result for this application is a reduction the amount of impervious area which will result in no increase in the rate of stormwater runoff from the site.

### **Flood Zone**

The site is located within Flood Zone "AE" per the FEMA Flood Insurance Rate Map. The flood elevations have been reviewed and found to be at elevation 180 along the southerly access drive, elevation 181 at the bridge crossing the Hockanum River and elevation 181 where the Tankerhoosen River enters the site at Hartford Turnpike. The existing gaming building has a finished floor above the flood zone and three new structures will also be set above the flood elevation. The existing miniature golf course will be removed and the proposed outdoor gaming area will be constructed with no loss of flood zone volume. The building improvements and associated grading will reduce the flood storage volume by 1,454c.y. but a flood storage area with a volume of 1,700c.y. will be created which will result in no loss of flood storage volume on site.



APPROVED BY TOWN OF VERNON  
INLAND WETLANDS COMMISSION

\_\_\_\_ Chairman Date: \_\_\_\_\_  
\_\_\_\_ Secretary Date: \_\_\_\_\_

APPROVED BY PZC (Date): \_\_\_\_\_  
5 -Year Completion Date pursuant to  
CGS, § 22a-42a (d) (2) \_\_\_\_\_

APPROVED BY TOWN OF VERNON  
PLANNING & ZONING COMMISSION

\_\_\_\_ Chairman Date: \_\_\_\_\_  
\_\_\_\_ Secretary Date: \_\_\_\_\_

APPROVED BY PZC (Date): \_\_\_\_\_

# SITE PLAN OF DEVELOPMENT CONNECTICUT GOLF LAND #95 HARTFORD TURNPIKE VERNON, CONNECTICUT

**OWNER:**  
SUBPEAK OF CONNECTICUT INC.  
14 HARTFORD TURNPIKE  
VERNON, CONNECTICUT 06066

**APPLICANT:**  
CT GOLF LAND, LLC  
95 HARTFORD TURNPIKE  
VERNON, CONNECTICUT 06066

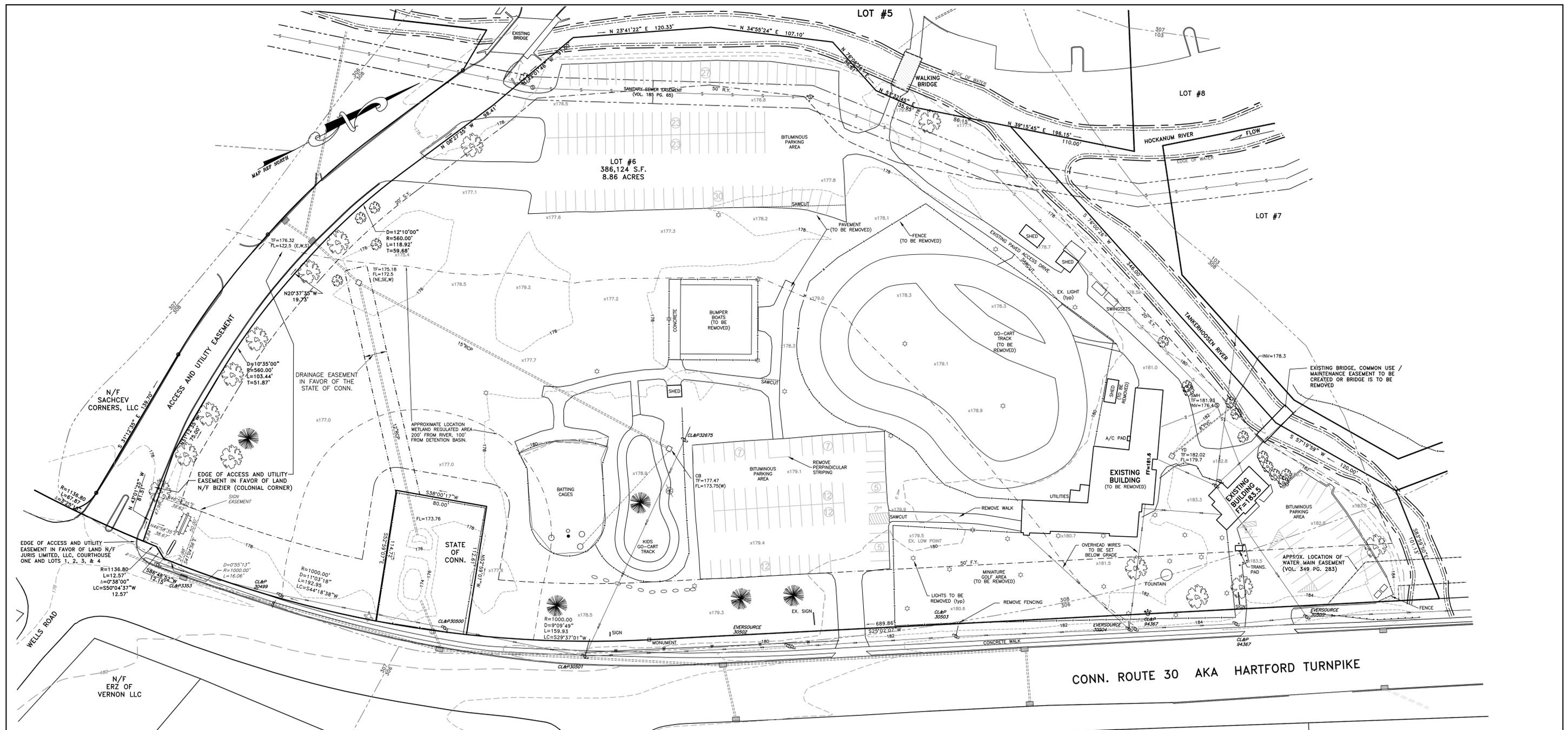
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY  
CORRECT AS NOTED HEREON.

*Kenneth R. Peterson*  
KENNETH R. PETERSON

L.S. 10839  
REGISTRATION NO.

REVISIONS: 09-01-2020		<b>GARDNER &amp; PETERSON ASSOCIATES, LLC</b> 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT		
		PROFESSIONAL ENGINEERS		LAND SURVEYORS
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	AS SHOWN	08-15-2020	1 OF 4	8926-MGC

C:\P\CT\8926MGC\SITE PLAN\09-01-20\CT GOLF LAND 09-01-20.PDF  
8926B/8926B.DWG



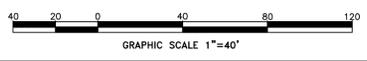
- NOTES:**
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHY DEPICTED CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-0.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - "PROPERTY SURVEY RESUBDIVISION PLAN PREPARED FOR TALCOTTVILLE DEVELOPMENT COMPANY, LLC, VERNON, CONNECTICUT" PREPARED BY GARDNER & PETERSON ASSOCIATES, DATED 02-22-02 REV. 7-16-02.
    - "PLOT PLAN COURTHOUSE PLUS 47 HARTFORD TURNPIKE VERNON, CONN." BY: AR LOMBARDI SCALE: 1"=40' DATED: APRIL 1990 REV. THROUGH 8-23-90
    - "PLOT PLAN - SUBDIVISION PORTION OF TALCOTTVILLE DEVELOPMENT CORP. CONN. RTE. 83 MANCHESTER, CONN." BY: AR LOMBARDI DATED: FEB. 20, 1986 REV. THROUGH 12-8-86 SCALE: 1"=40'
    - "PLAN SHOWING ACCESS & UTILITY EASEMENT OVER LAND OF TALCOTTVILLE DEVELOPMENT CORP. JURIS LIMITED & COURTHOUSE ONE HARTFORD TURNPIKE RTE 83 VERNON & MANCHESTER, CONN." DATED: FEB. 20, 1986 SCALE: 1"=50' BY: AR LOMBARDI
    - "CONNECTICUT LIGHT & POWER COMPANY EASEMENT OF PROPERTY OF TALCOTTVILLE DEVELOPMENT CORP. MANCHESTER, CONNECTICUT" BY: AR LOMBARDI SCALE: 1"=40' DATED SEPT. 28 1987
    - "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF VERNON INTERSTATE 84 FROM THE MANCHESTER TOWN LINE EASTERLY TO THE TOLLAND TOWN LINE" NUMBER: 146-10 SCALE: 1"=80'
    - "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF VERNON HARTFORD TURNPIKE FROM MANCHESTER TOWN LINE NORTHEASTERLY TO WILBUR CROSS HIGHWAY" NUMBER: 146-06 SCALE: 1"=40' DATED: 2-1-83
    - "TOWNS OF MANCHESTER, SOUTH WINDSOR & VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT CO. BY THE STATE OF CONNECTICUT INTERSTATE 86 (LIMITED ACCESS HIGHWAY)" SCALE: 1"=40' DATED: OCT. 1979
    - "MAP SHOWING PROPOSED EASEMENT OVER LAND OF THE TALCOTTVILLE DEVELOPMENT CORP. VERNON, CONNECTICUT" SCALE: 1"=100' BY: EVERETT GARDNER DATED: 6-26-68 REV. 10-8-69
    - "STATE OF CONNECTICUT WATER RESOURCES COMMISSION ENCROACHMENT LINES ALONG THE HOCKANUM RIVER VERNON, CONNECTICUT" BY: HAYDEN GRISWOLD ESTABLISHED STATE OF CONNECTICUT WATER RESOURCES COMMISSION SEPT. 23 1971
    - "SUBDIVISION PLAN PREPARED FOR TALCOTTVILLE DEVELOPMENT COMPANY IN VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC. DATED: 4-1-83

- "RESUBDIVISION PLAN HOTEL PARCEL TALCOTTVILLE DEVELOPMENT COMPANY, LLC HARTFORD TURNPIKE VERNON, CONNECTICUT" DATED: 2-1-06 REV. THROUGH 5-30-06 BY: GARDNER & PETERSON ASSOC., LLC
  - "RIGHT OF WAY SURVEY TOWN OF VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT COMPANY, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION INTERSECTION IMPROVEMENTS ON ROUTE 84 AT WELLES ROAD" DATED: AUG. 2000 REV. 2-15-01
  - "TOWNS OF MANCHESTER, SOUTH WINDSOR & VERNON MAP SHOWING LAND ACQUIRED FROM TALCOTTVILLE DEVELOPMENT CO. BY THE STATE OF CONNECTICUT INTERSTATE ROUTE 84" DATED: NOV. 1973 REV. THROUGH 3-8-80 SCALE: 1"=40'
  - "RESUBDIVISION PLAN TALCOTTVILLE DEVELOPMENT COMPANY, LLC LOT #6 & #7 #57, #95, & #163 HARTFORD TURNPIKE VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., LLC DATED: 2-4-14 REV. 3-26-14.
  - "PLAN SHOWING ADDITION TO THE GAME ROOM TALCOTTVILLE DEVELOPMENT CO. VERNON, CONN. BY: AR LOMBARDI ASSOCIATES DATE: MAR. 16, 1979. REV. TO 4-26-79 SCALE: 1"=40'
- BEARINGS DEPICTED ON THESE PLANS ARE BASED CGS (NAD 83/87) DATUM.
  - PARCEL IS LOCATED IN THE COMMERCIAL ZONE.
  - PARCEL IS LISTED AS LOT 95, BLOCK 158 ON ASSESSOR MAP 1.
  - TOTAL AREA OF PARCEL IS 8.86 ACRES.
  - PARCEL IS LOCATED ENTIRELY IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WHERE BASE FLOOD ELEVATION HAS BEEN DETERMINED) PER FIRM FLOOD INSURANCE RATE MAP, TOWN OF VERNON, CONN. COMMUNITY PANEL NUMBER 090131 0005 C MAP REVISED 8-9-99.
  - CONTOURS DEPICTED ON THESE PLANS ARE BASED A USGS DATUM.
  - PER THE TOWN OF VERNON ZONING MAP, DATED 2-2-2020, THIS PROJECT IS NOT WITHIN THE LEVEL A AQUIFER PROTECTION AREA (EFFECTIVE 5/16/19).
  - PARCEL IS LOCATED IN SUBREGIONAL DRAINAGE BASIN #4500.
  - WETLAND UPLAND REVIEW IS PER MAP REFERENCE 2.0.
  - SOIL LINES ARE TAKEN FROM THE WEB SOIL SURVEY.
  - LARGE TREES ARE DEPICTED ON THE PLANS. OTHER TREES EXIST ON PROPERTY THAT ARE NOT SHOWN.

**UTILITY NOTE:**  
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

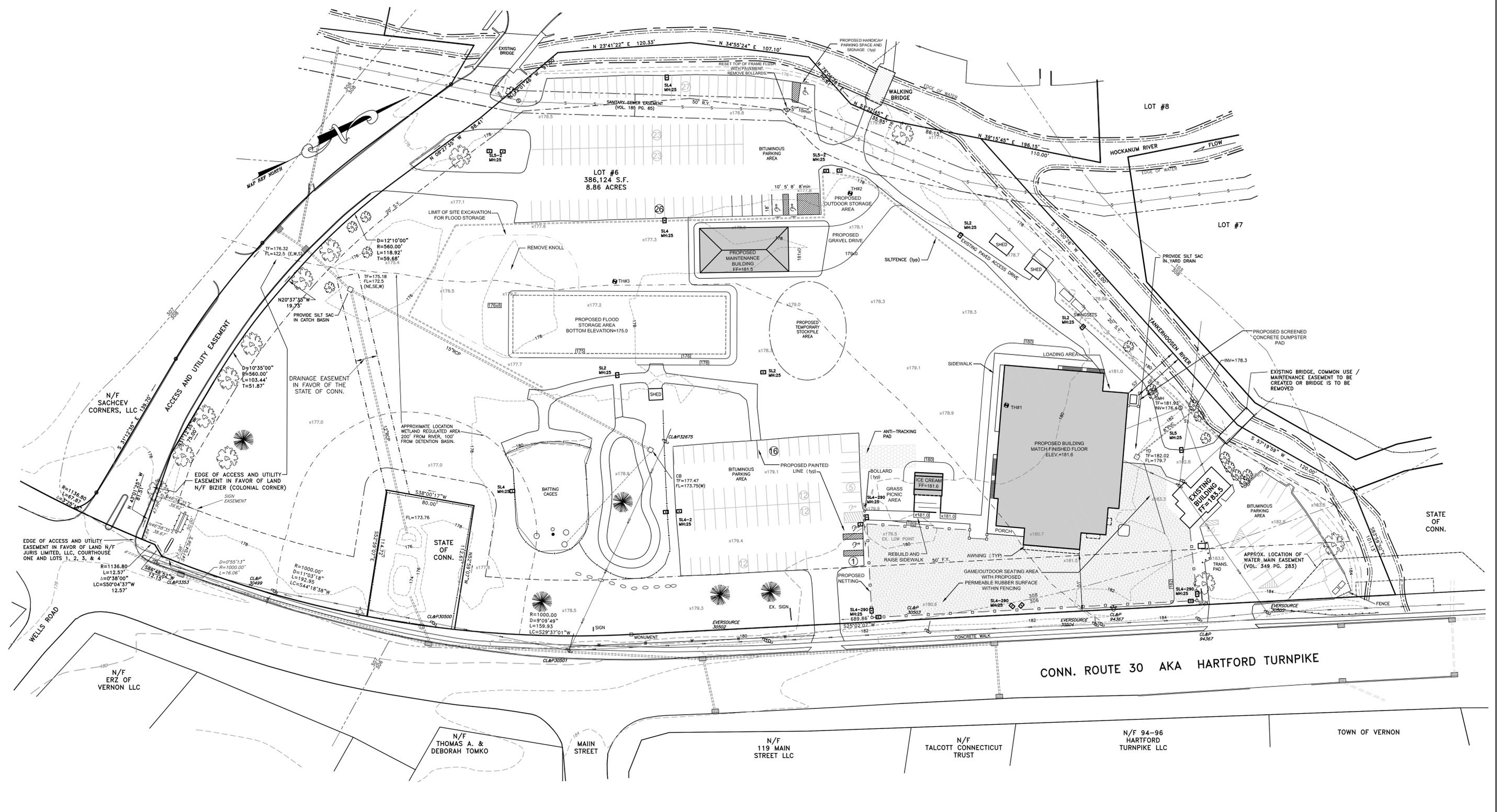
**SOILS LEGEND-WEB SOIL SURVEY**  
 103 Ripplowm fine sandy loam  
 306 Udorthents-Urban land complex  
 307 Urban land  
 308 Udorthents, smoothed

**LEGEND:**  
 PROPERTY LINE  
 EXISTING CONTOUR  
 EXISTING MONUMENT  
 EXISTING CURB  
 EXISTING PAVEMENT  
 EDGE OF RIVER  
 EXISTING LIGHTPOLE  
 EXISTING UTILITY POLE  
 OVERHEAD WIRES  
 CATCH BASIN AND PIPE  
 REGULATED AREA  
 SOIL LINE  
 EXISTING FENCE  
 SEWER MANHOLE AND PIPE  
 SEWER EASEMENT  
 EXISTING LIGHT



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 KENNETH R. PETERSON  
 L.S. 10839  
 REGISTRATION NO.

<b>IMPROVEMENT LOCATION SURVEY</b>				
<b>EXISTING CONDITIONS PLAN CONNECTICUT GOLF LAND CT GOLF LAND, LLC #95 HARTFORD TURNPIKE VERNON, CONNECTICUT</b>				
<b>GARDNER &amp; PETERSON ASSOCIATES, LLC</b> 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
REVISIONS 09-01-2020		PROFESSIONAL ENGINEERS    LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=100'	08-15-2020	2 OF 4	8926-MGC



**LEGEND:**

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING MONUMENT
- EXISTING CURB
- EXISTING PAVEMENT
- EDGE OF RIVER
- EXISTING LIGHTPOLE
- EXISTING UTILITY POLE
- OVERHEAD WIRES
- CATCH BASIN AND PIPE
- REGULATED AREA
- SOIL LINE
- EXISTING FENCE
- SEWER MANHOLE AND PIPE
- SEWER EASEMENT
- PROPOSED PAVEMENT
- PROPOSED LIGHT
- PROPOSED BUILDING

**ZONING TABLE (CURRENT ZONE COMMERCIAL)**

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,000 SF	8.86 ACRES	-
MIN. LOT WIDTH	100'	1040'±	-
MIN. FRONT YARD	50'	66'	51'
MIN. SIDE YARD	20'	44'	23'
MIN. REAR YARD	50'	201'	124'
LOT COVERAGE	>60% SPECIAL PERMIT	33.9%	31.3%

**PROPOSED LOT COVERAGE BREAKDOWN:**

REMOVE EXISTING GO CART TRACK	- REDUCTION OF 18,125sf OF IMPERVIOUS SURFACE
REMOVE MINI-GOLF COURSE	- REDUCTION OF 6,000sf OF IMPERVIOUS SURFACE
REMOVE BUILDING	- REDUCTION OF 6,790sf OF IMPERVIOUS SURFACE
REMOVE WALKWAY SOUTH OF BLD.	- REDUCTION OF 950sf OF IMPERVIOUS SURFACE
REMOVE BUMPER BOAT, CONC. & PVM	- REDUCTION OF 5,600sf OF IMPERVIOUS SURFACE
PROPOSED BUILDING	+ ADDITIONAL 16,645sf OF IMPERVIOUS SURFACE
PROPOSED PORCH	+ ADDITIONAL 450sf OF IMPERVIOUS SURFACE
PROPOSED WALK ABUTTING BUILDING	+ ADDITIONAL 3,220sf OF IMPERVIOUS SURFACE
PROPOSED MAINTENANCE BUILDING	+ ADDITIONAL 3,200sf OF IMPERVIOUS SURFACE
PROPOSED ICE CREAM BUILDING	+ ADDITIONAL 900sf OF IMPERVIOUS SURFACE
PROPOSED DUMPSTER PAD	+ ADDITIONAL 100sf OF IMPERVIOUS SURFACE
PROPOSED LIGHT	+ ADDITIONAL 30sf OF IMPERVIOUS SURFACE
(2) CONCRETE LANDINGS	-
<b>TOTAL</b>	<b>- 12,900sf REDUCTION IN IMPERVIOUS SURFACE</b>

**PARKING TABLE**

**COMMERCIAL RECREATION AREA**  
 REQUIRED: 1 SPACE PER EMPLOYEE & 1 SPACE FOR EACH (4) PATRONS  
 18 EMPLOYEES AND UP TO 260 PATRONS  
 18 EMPLOYEE SPACES AND 65 PATRON SPACES TOTALING 83 SPACES

**RESTAURANT**  
 REQUIRED: 1 SPACE PER 50 SF OF PUBLIC FLOOR AREA - 4,000SF OR 80 SPACES

**PROVIDED:** 163 EXISTING (EXCLUDES SUBWAY), 163 PROPOSED (EXCLUDING SUBWAY)  
**REQUIRED:** 6 HANDICAP PARKING SPACES  
**PROVIDED:** 6 HANDICAP PARKING SPACES

**FLOOD STORAGE VOLUME**  
**PROPOSED FILL:** 1,454 c.y.  
**PROPOSED EXCAVATION:** 1,700c.y.

**SIGNAGE**

**EXISTING FREE STANDING SIGN:** REPLACE SIGN, NOT TO EXCEED 80s.f.

**PROPOSED BUILDING MOUNTED SIGNS:**  
 WESTERLY BUILDING FACE: NOT TO EXCEED 340s.f.  
 (3) EASTERLY BUILDING FACE SIGNS: NOT TO EXCEED 200s.f.  
 EASTERLY FACE ICE CREAM STAND: NOT TO EXCEED 50s.f.

SEE SHEET NUMBER 2 FOR NOTES & CERTIFICATION

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Kenneth R. Peterson*  
 KENNETH R. PETERSON  
 L.S. 10839  
 REGISTRATION NO.

**IMPROVEMENT LOCATION SURVEY  
 SITE PLAN AND**

**EROSION & SEDIMENT CONTROL PLAN  
 CONNECTICUT GOLF LAND  
 CT GOLF LAND, LLC  
 #95 HARTFORD TURNPIKE  
 VERNON, CONNECTICUT**

**GARDNER & PETERSON ASSOCIATES, LLC**  
 178 HARTFORD TURNPIKE  
 TOLLAND, CONNECTICUT

REVISIONS  
 09-01-2020

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=40'	08-15-2020	3 OF 4	8926-MGC

**CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST**

PROJECT NAME: CONNECTICUT GOLF LAND  
 LOCATION: 95 HARTFORD TURNPIKE, VERNON, CT  
 PROJECT DESCRIPTION: COMMERCIAL BUILDING MODIFICATIONS AND EXPANSION  
 PARCEL AREA: 8.86 Acres  
 RESPONSIBLE PERSONNEL: STEVE LAMESA

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CONTACT CBYD			
DISCONNECT UTILITIES			
REMOVE FENCING	INSTALL ANTI TRACKING PAD		
DEMOLISH GO CART TRACK	INSTALL SILT FENCE		
DEMOLISH MINI-GOLF AREA			
DEMOLISH EXISTING BUILDING			
CONSTRUCT NEW BUILDINGS	INSPECT EROSION CONTROLS		
CONSTRUCT STORMWATER AREA	REPAIR AS NECESSARY		
CONNECT UTILITIES			
REPAIR/REPLACE WALKS			
CONSTRUCT OUTSIDE GAME AREA			
FINAL GRADE AND SEED ALL DISTURBED AREAS	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		
RE-STRIPE PARKING AREA			

PROJECT DATES:  
 DATE OF CONSTRUCTION START: November 2020  
 DATE OF CONSTRUCTION COMPLETION: One year from start

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

**TEMPORARY SEEDING SCHEDULE:**

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

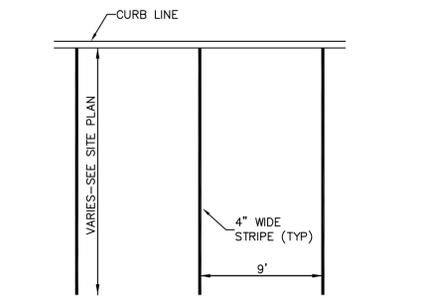
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

**FINAL SEEDING SCHEDULE:**

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

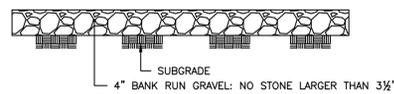
SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	



**PAVEMENT MARKING NOTES:**

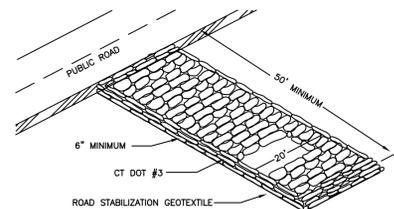
- All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
- Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
- Point shall be either white or tinted ready-mixed point conforming to AASHTO M70, Type 1.
- Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
- Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
- After applying point, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

**PAINTED PARKING STALL DETAIL**



- NOTES:  
 1. SIDE SLOPES SHALL NOT EXCEED 4:1.

**GRAVEL ACCESS DRIVEWAY DETAIL**



**CONSTRUCTION ENTRANCE**

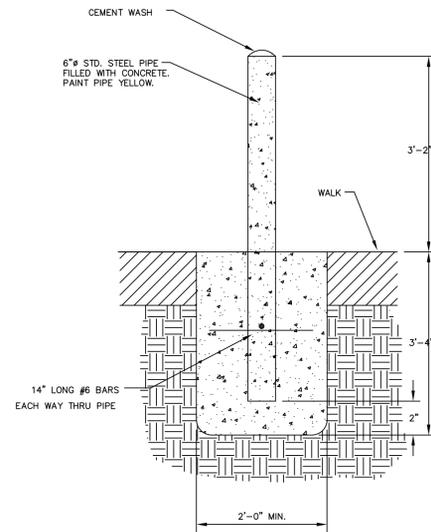
**SOIL TESTING RESULTS**  
 DATE TESTED: AUGUST 5, 2020  
 BY: GARDNER & PETERSON ASSOCIATES, LLC

TH 1-SOUTH END  
 0-15" FILL AND TOPSOIL  
 15-21" BROWN LOAMY SAND  
 21-53" SMALL COARSE SAND  
 PEA STONE WITH LARGER STONES AT BOTTOM  
 NO LEDGE, ROOTS OR MOTTLING  
 GROUNDWATER @ 53"  
 GROUNDWATER ESTIMATE @ 49"

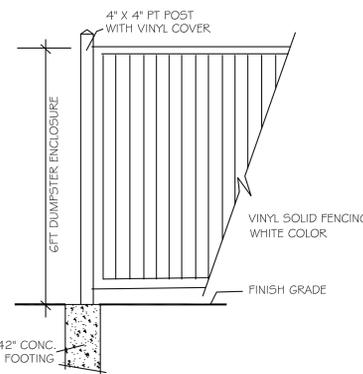
TH 1-NORTH END  
 0-16" TOPSOIL  
 16-27" BROWN LOAMY SAND  
 27-36" GRAY LOAMY SAND  
 36-53" VERY COARSE MEDIUM SAND

TH #2  
 0-12" TOPSOIL/FILL  
 12-20" RED/BROWN COARSE LOAMY SAND  
 20-40" BLACK, GRAY, WHITE COARSE FILL  
 40" COARSE SAND (NATURAL)  
 GROUNDWATER TABLE ESTIMATE-40" (RUSTY BAND)  
 NO LEDGE OR ROOTS

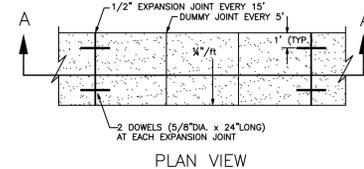
TH #3  
 0-15" TOPSOIL AND FILL  
 15-24" BURIED TOPSOIL  
 24-44" RED BROWN SANDY LOAM WITH SILT  
 44-54" FINE TO MEDIUM COARSE SAND  
 54-70" COARSE SAND WITH STONES  
 NO LEDGE OR ROOTS  
 GROUNDWATER TABLE @ 70"  
 MOTTLING @ 50"



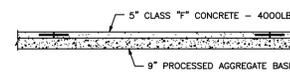
**BOLLARD DETAIL**  
 NOT TO SCALE



**SCREEN FENCING DETAIL**



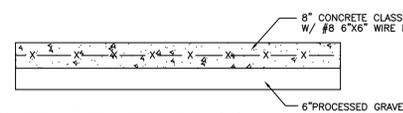
**PLAN VIEW**



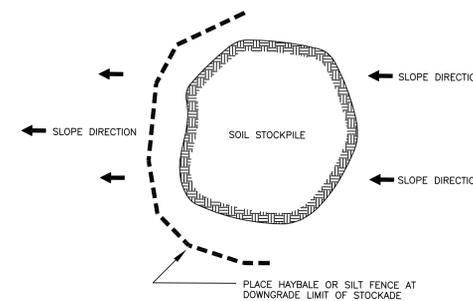
**SECTION "A-A"**

NOTE: PROVIDE TACTILE WARNING STRIP CONFORMING WITH SECTION 705 OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN AT ALL RAMP, CHANGES IN SURFACE MATERIAL, AND AS REQUIRED BY SAID STANDARDS.

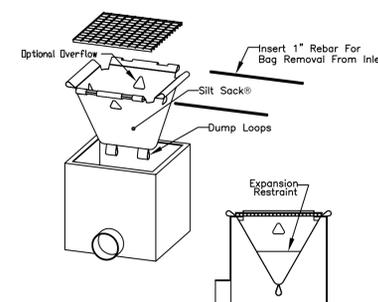
**CONCRETE SIDEWALK**



**CONCRETE DUMPSTER PAD DETAIL**

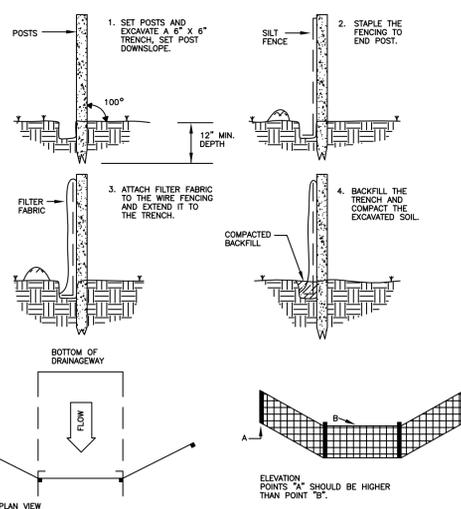


**STOCKADE EROSION PROTECTION DETAIL**  
 N.T.S.



**CATCH BASIN INLET PROTECTION**

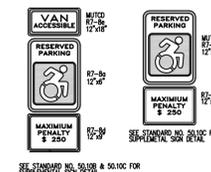
**PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER**



**HAY BALE APPLICATIONS**

**Sheet Flow Applications**

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled) with straw to prevent water from escaping between the bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.) In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet Maximum).
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Bale barriers shall be removed when they have served their usefulness, but not before the upslope areas have been permanently stabilized.



**HANDICAP SIGN**

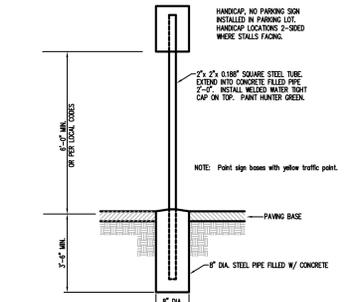
NOTE: ALL STRIPES TO BE 4" PAINTED WHITE



**PAINTED HANDICAP SYMBOL**

**ACCESSIBLE PARKING AND SIGNAGE STANDARDS**

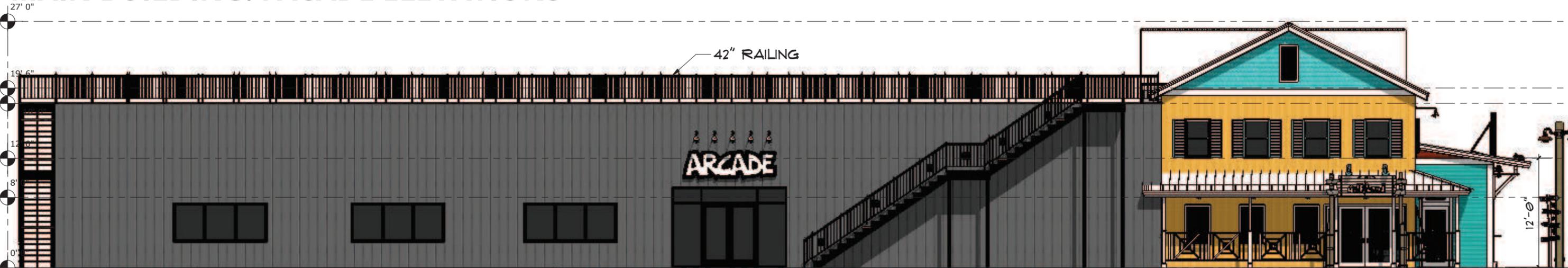
- NOTES:  
 1. PROVIDE DETECTABLE WARNING FOR CURB RAMPS. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOME SURFACE ON RIGID TACTILE PAVING TILES. TILES SHALL BE 2'x3' FOR 4' WIDE RAMPS AND 2'x4' FOR 5' WIDE RAMPS. TILE COLOR SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE.  
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT HANDICAP SPACING, GRADING SIGNAGE AND APPURTENANCE IN ACCORDANCE WITH CURRENT FEDERAL, STATE OR LOCAL CODES. THE CONTRACTOR SHALL CONSULT WITH THE LOCAL BUILDING OFFICIAL TO OBTAIN CURRENT INFORMATION



CONSTRUCTION DETAILS				
<b>CONNECTICUT GOLF LAND</b>				
CT GOLF LAND, LLC				
#95 HARTFORD TURNPIKE				
VERNON, CONNECTICUT				
<b>GARDNER &amp; PETERSON ASSOCIATES, LLC</b>				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	AS SHOWN	08-15-2020	4 OF 4	8926-MGC

REVISIONS  
 09-01-2020

# MAIN BUILDING: FACADE ELEVATIONS



WEST ELEVATION  
SCALE: 3/32" = 1' @

122'-0"

28'-0"

36'-6"



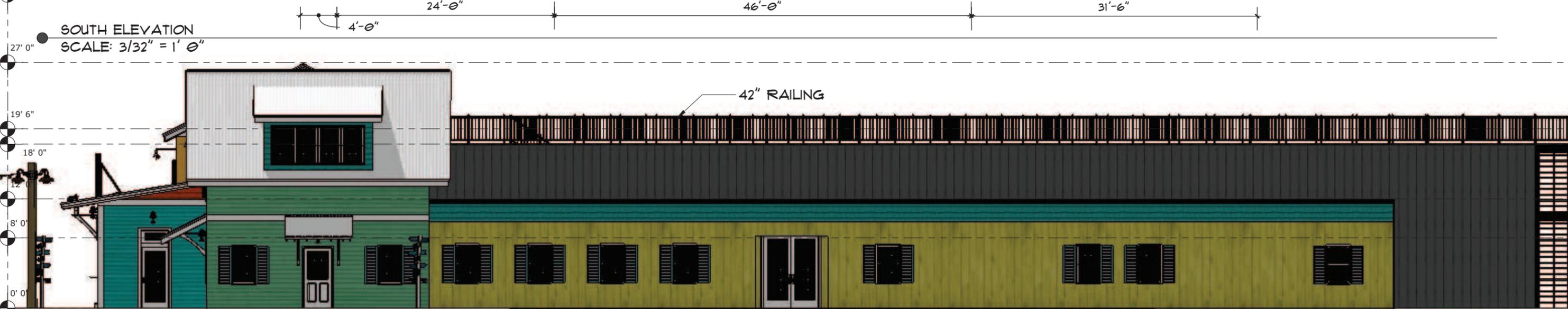
SOUTH ELEVATION  
SCALE: 3/32" = 1' @

4'-0"

24'-0"

46'-0"

31'-6"



EAST ELEVATION  
SCALE: 3/32" = 1' @

24'-6"

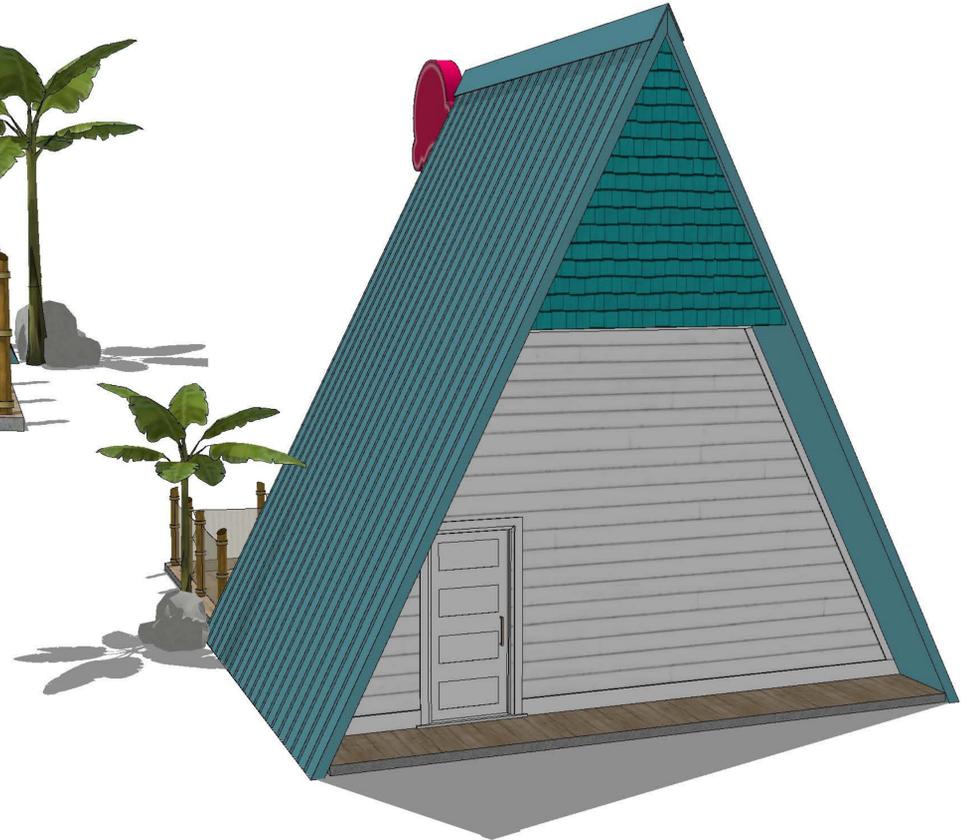
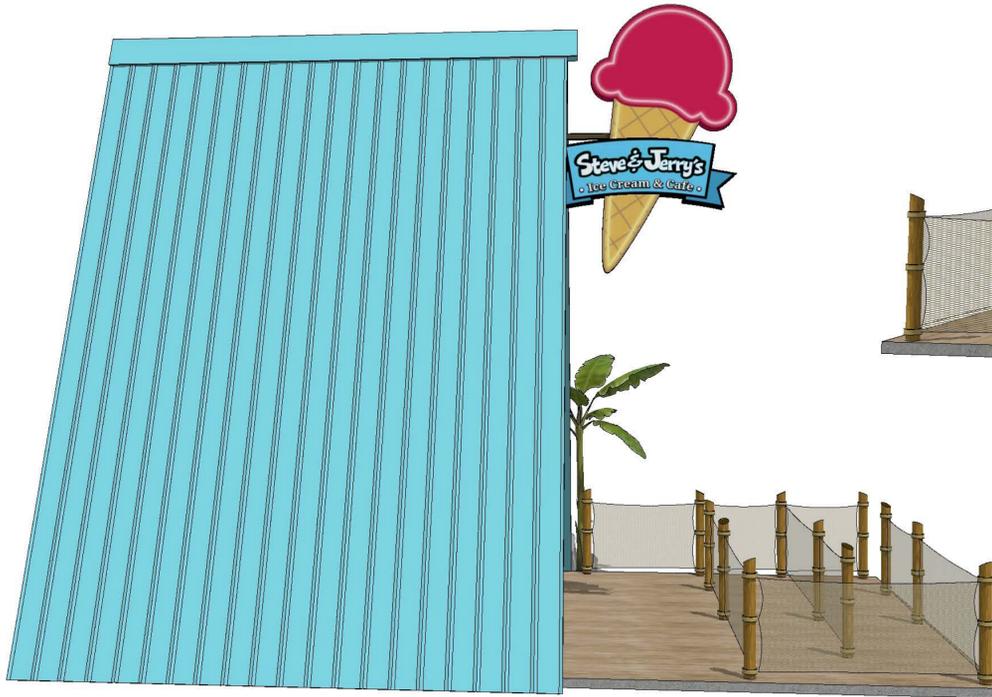
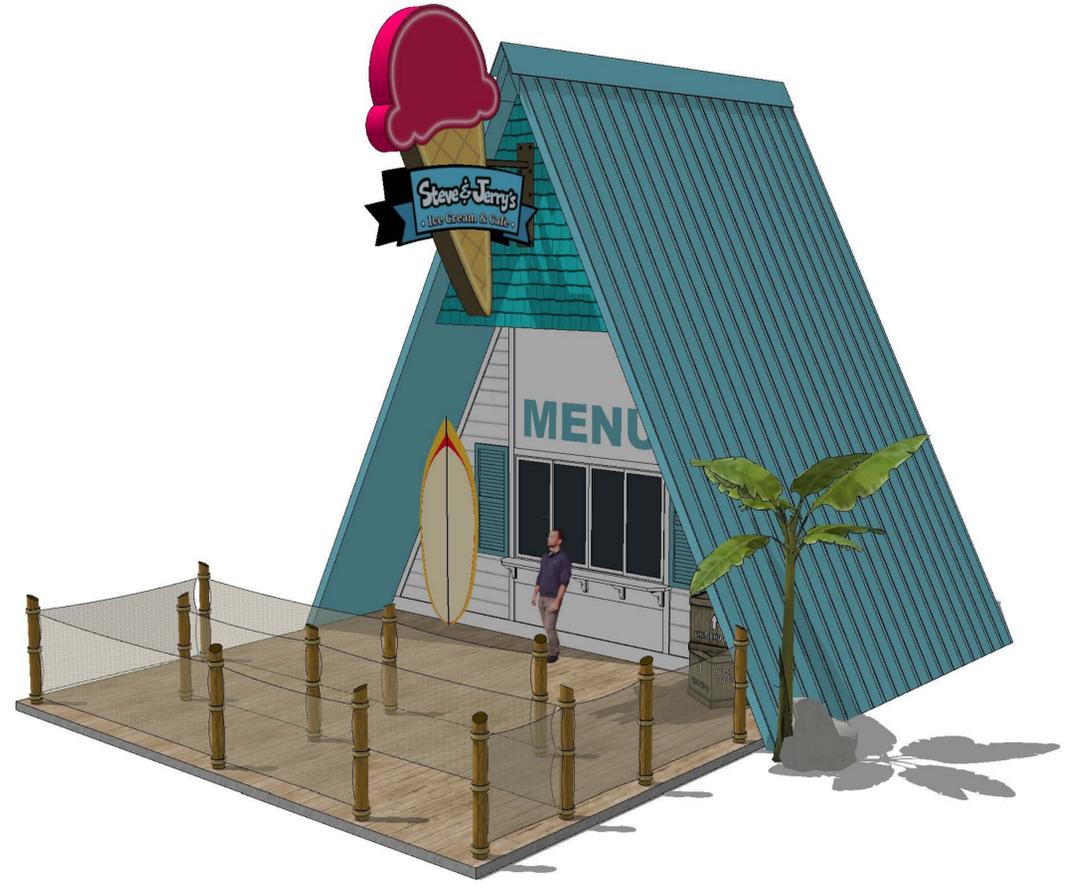
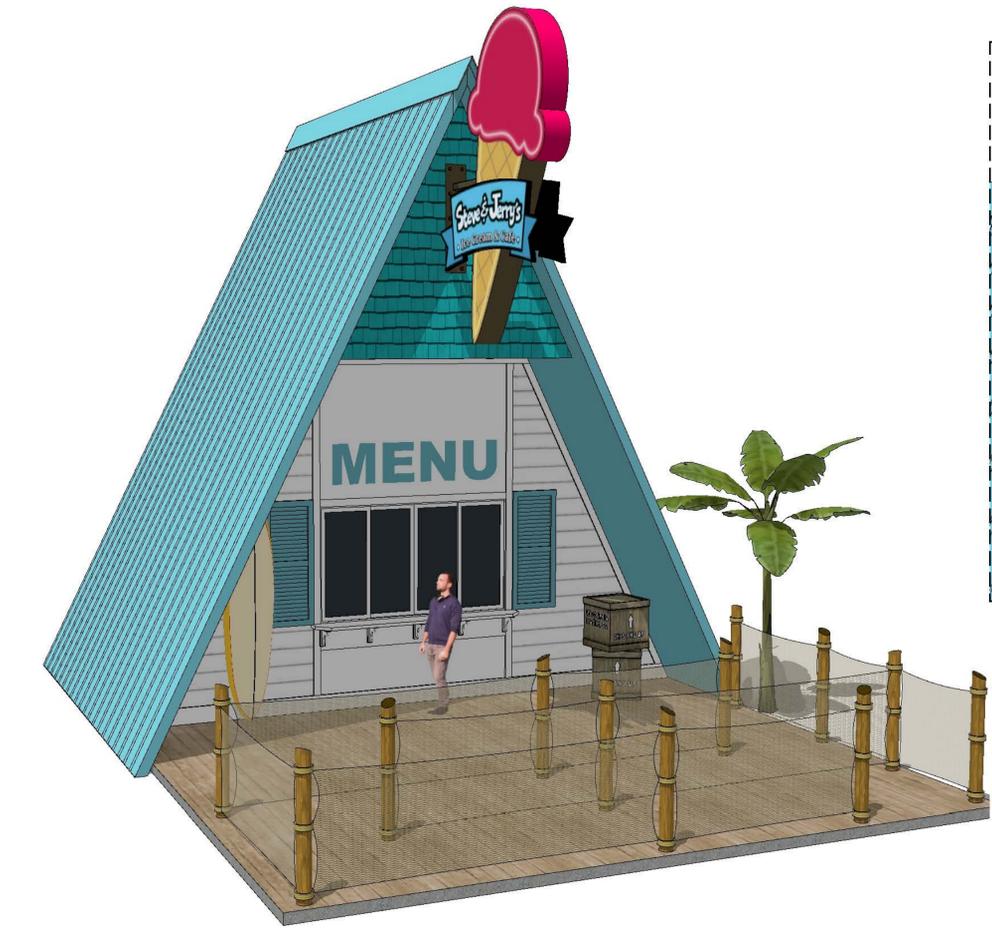
106'-6"

15'-8"

# PERSPECTIVE: AERIAL



Digital Quill Studio  
logos | print services | web design | 2d/3d renderings | drafting | animations



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

CLIENT:  
 Steve Lamesa  
 PO BOX 280915  
 East Hartford CT 06128  
 PH: 860.280.8555  
 mgcdev01@aol.com

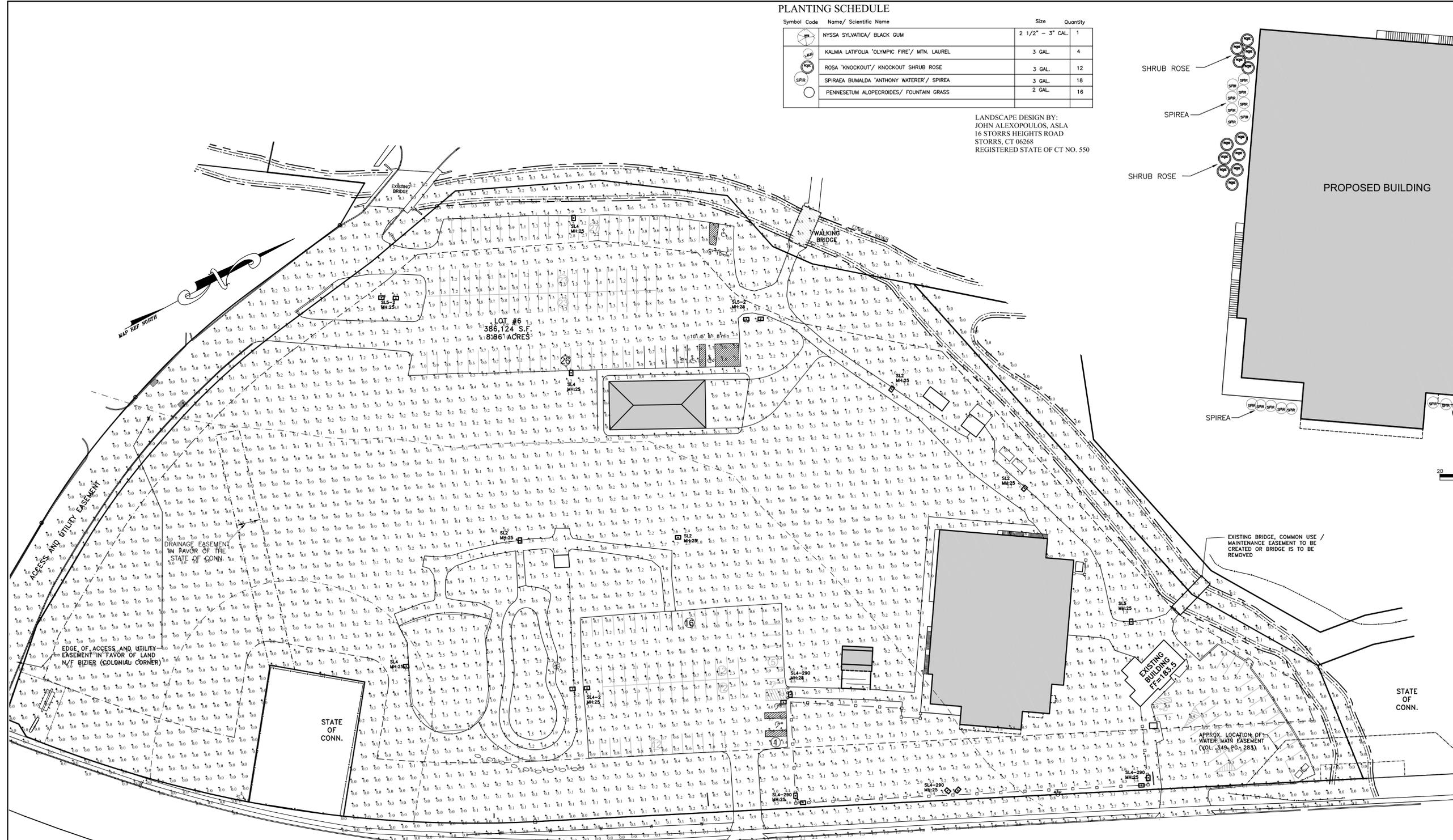
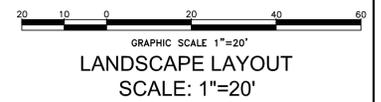
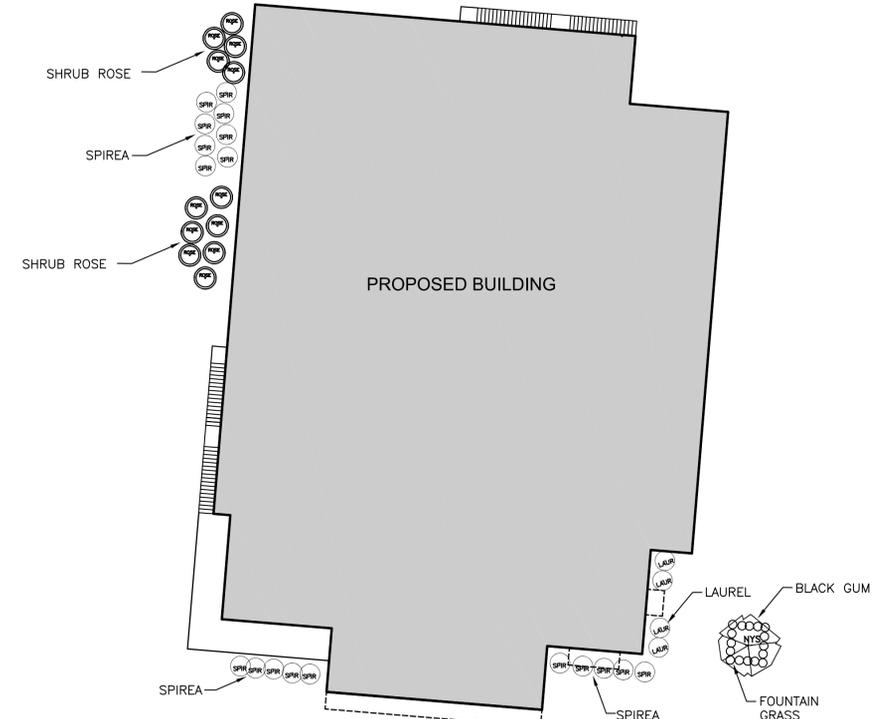
**Digital Quill Studio**  
logos | print services | web design | 3d rendering | crafting | animations  
 RILEY HAMILTON  
 riley@digitalquillstudio.com  
 www.digitalquillstudio.com

3D PERSPECTIVES

**PLANTING SCHEDULE**

Symbol Code	Name/ Scientific Name	Size	Quantity
⊗	NYSSA SYLVATICA/ BLACK GUM	2 1/2" - 3" CAL.	1
⊗	KALMIA LATIFOLIA 'OLYMPIC FIRE'/ MTN. LAUREL	3 GAL.	4
⊗	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	3 GAL.	12
⊗	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	3 GAL.	18
⊗	PENNESETUM ALOPECUROIDES/ FOUNTAIN GRASS	2 GAL.	16

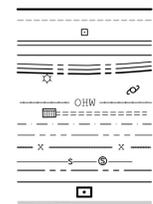
LANDSCAPE DESIGN BY:  
JOHN ALEXOPOULOS, ASLA  
16 STORRS HEIGHTS ROAD  
STORRS, CT 06268  
REGISTERED STATE OF CT NO. 550



CONN. ROUTE 30 AKA HARTFORD TURNPIKE

N/F THOMAS A. & DEBORAH TOMKO      MAIN STREET      N/F 119 MAIN STREET LLC      N/F TALCOTT CONNECTICUT TRUST      N/F 94-96 HARTFORD TURNPIKE LLC      TOWN OF VERNON

- LEGEND:**
- PROPERTY LINE
  - EXISTING CONTOUR
  - EXISTING MONUMENT
  - EXISTING CURB
  - EXISTING PAVEMENT
  - EDGE OF RIVER
  - EXISTING LIGHTPOLE
  - EXISTING UTILITY POLE
  - OVERHEAD WIRES
  - CATCH BASIN AND PIPE
  - REGULATED AREA
  - SOIL LINE
  - EXISTING FENCE
  - SEWER MANHOLE AND PIPE
  - SEWER EASEMENT
  - PROPOSED PAVEMENT
  - PROPOSED LIGHT
  - PROPOSED BUILDING



LIGHTING LAYOUT  
SCALE: 1"=40'

Filename: 95 Hartford Turnpike Site Lighting - Vernon - REV 1.AGI

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	BUG Rating	Description
⊗	4	SL2	SINGLE	11640	125	0.900	B3-04-03	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
⊗	3	SL4	SINGLE	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
⊗	1	SL4-2	BACK-BACK	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM28AS DBLXD 25FT POLE
⊗	4	SL4-290	2 @ 90 DEGREES	19277	163	0.900	B3-04-04	Lithonia DSX1 LED P4 50K T2M MVOLT RPA DBLXD - RSS 25 5B DM29AS DBLXD 25FT POLE
⊗	1	SL5	SINGLE	19881	163	0.900	B5-04-03	Lithonia DSX1 LED P4 50K T5W MVOLT RPA DBLXD - RSS 25 5B DM19AS DBLXD 25FT POLE
⊗	2	SL5-2	BACK-BACK	19881	163	0.900	B5-04-03	Lithonia DSX1 LED P4 50K T5W MVOLT RPA DBLXD - RSS 25 5B DM28AS DBLXD 25FT POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.78	6.9	0.0	N.A.	N.A.
LARGE PARKING AREA	Illuminance	Fc	1.79	6.1	0.4	4.48	15.25
LOT 6 PARKING LOT	Illuminance	Fc	1.38	4.2	0.2	6.90	21.00

Lighting Design By:  
Greg Loda  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067  
website: www.lightingaffiliates.com  
Voice Number: (860) 721-1171 x 219  
Email Address: gloda@lightingaffiliates.com

**LIGHTING/LANDSCAPING PLAN  
CONNECTICUT GOLF LAND  
CT GOLF LAND, LLC  
#95 HARTFORD TURNPIKE  
VERNON, CONNECTICUT**

**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS      LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	AS SHOWN	09-01-2020	1 OF 1	8926L

G:\1437\8926L\LANDSCAPE\95-01-20\Landscaping\Lighting\_09-01-20.dwg